

BUILDING CONSTRUCTION AND CLASSIFICATION:

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

PLANNING DIVISION
CITY OF SEBASTOPOL
3660 "D" STREET LA VERNE, CA 91750
PHONE: 909-596-8726
EMAIL: PLANNING@CITYOFLAVERNE.ORG

THE FOLLOWING ITEMS ARE TO BE SUBMITTED TO THE BUILDING AND FIRE DEPARTMENTS FOR REVIEW AND APPROVAL. FRAMING INSPECTION WILL NOT BE PERFORMED UNTIL PERMITS FOR FIRE SPRINKLER AND FIRE ALARM HAVE BEEN APPROVED AND ISSUED. INSTALLATION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

THE FOLLOWING SCOPE OF WORK WILL BE FILED UNDER SEPARATE PERMITS:

1. LETTER OF PUBLIC CONVENIENCE AND NECESSITY FOR ALCOHOL SALES TO BE OBTAINED BY THE CLIENT'S VENDOR.
2. PROVIDING A COMPLAINT TO BE OBTAINED BY THE CLIENT PRIOR TO FINAL OCCUPANCY INSPECTION.
3. THE SITE SHALL COMPLY WITH BOTH STATE AND FEDERAL ACCESSIBILITY STANDARDS AND THE SLOPE OF RAMPS, SIGNAGE, STRIPING, AND NUMBER OF PARKING SPACES BUILDING PERMIT TO BE OBTAINED.
4. IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOS ANGELES HEALTH DEPARTMENT AND CITY OF LOS ANGELES FIRE DEPARTMENT PLANS SHALL COMPLY WITH ALL REGULATIONS OF THE CITY HAVING JURISDICTION, INCLUDING THE CITY'S MUNICIPAL CODE AND BUILDING CODE.
5. THE PROJECT SHALL MEET ALL OF THE CITY'S SOLID WASTE DISPOSAL REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, CALIFORNIA SB1383, CALIFORNIA AB341, AND THE CITY'S MUNICIPAL CODE REQUIREMENTS.
6. THE PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY'S SEPARATE ENCROACHMENT PERMIT FROM THE CITY'S GENERAL SERVICES DEPARTMENT.
7. ARCHITECTURAL TENANT IMPROVEMENT PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO FINAL BUILDING PERMIT. THE BUILDING PERMIT REQUIREMENTS FOR PLANS SHALL BE SUBMITTED PRIOR TO FINAL BUILDING PERMIT BEING ISSUED.
8. APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW OR EXISTING BUILDINGS IN SUCH A POSITION THAT THE BUILDING NUMBER IS EASILY READ FROM THE FRONTING THE PROPERTY. THE MINIMUM SIZE OF THE NUMBERS SHALL NOT BE LESS THAN SIX (6) INCHES AND SHALL BE PLACED IMMEDIATELY ADJACENT TO A LIGHT SOURCE. THE NUMBERS SHALL ALSO CONTRAST WITH THE BUILDING COLOR.
9. GATES SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY EMERGENCY ACCESS GATES AND BARRIERS STANDARD. PLAN SUBMITTAL IS REQUIRED PRIOR TO INSTALLATION.

	<u>ROOM TAG</u> ROOM NAME ROOM NUMBER
	WINDOW TYPE
	DOOR TAG
	GRID HEAD
	EQUIPMENT TAG
	PARTITION TAG
	KEYNOTE
	<u>SECTION HEAD</u> DETAIL NUMBER SHEET NUMBER
	<u>CALLOUT HEAD</u> DETAIL NUMBER SHEET NUMBER <u>ELEVATION TAG</u> DETAIL NUMBER SHEET NUMBER
	<u>LEVEL/ ELEVATION HEAD</u> REFERENCE HEIGHT/ ELEVATION
	REVISION TAG
	CENTERLINE

SUE/REVISION RECORD

[illegible]**PROFESSIONAL SEAL**

PROFESSIONAL IN CHARGE

LSO RIVERA

PROJECT MANAGER

LA GRIFFIN

QUALITY CONTROL

DRAWN BY

SANCHEZ

PROJECT NAME

ROCERY

ROBERT WELCH

OUTLET

18 N MAIN ST

10 N MAIN ST,
EASTORP, CA 95

PROJECT NUMBER

005

MEET TITLE

OVER SHEET

FEET NUMBER

00 00

SHIMADZU

20-00

NOT ISSUED FOR CONSTRUCTION

GROCERY OUTLET

bargain market®

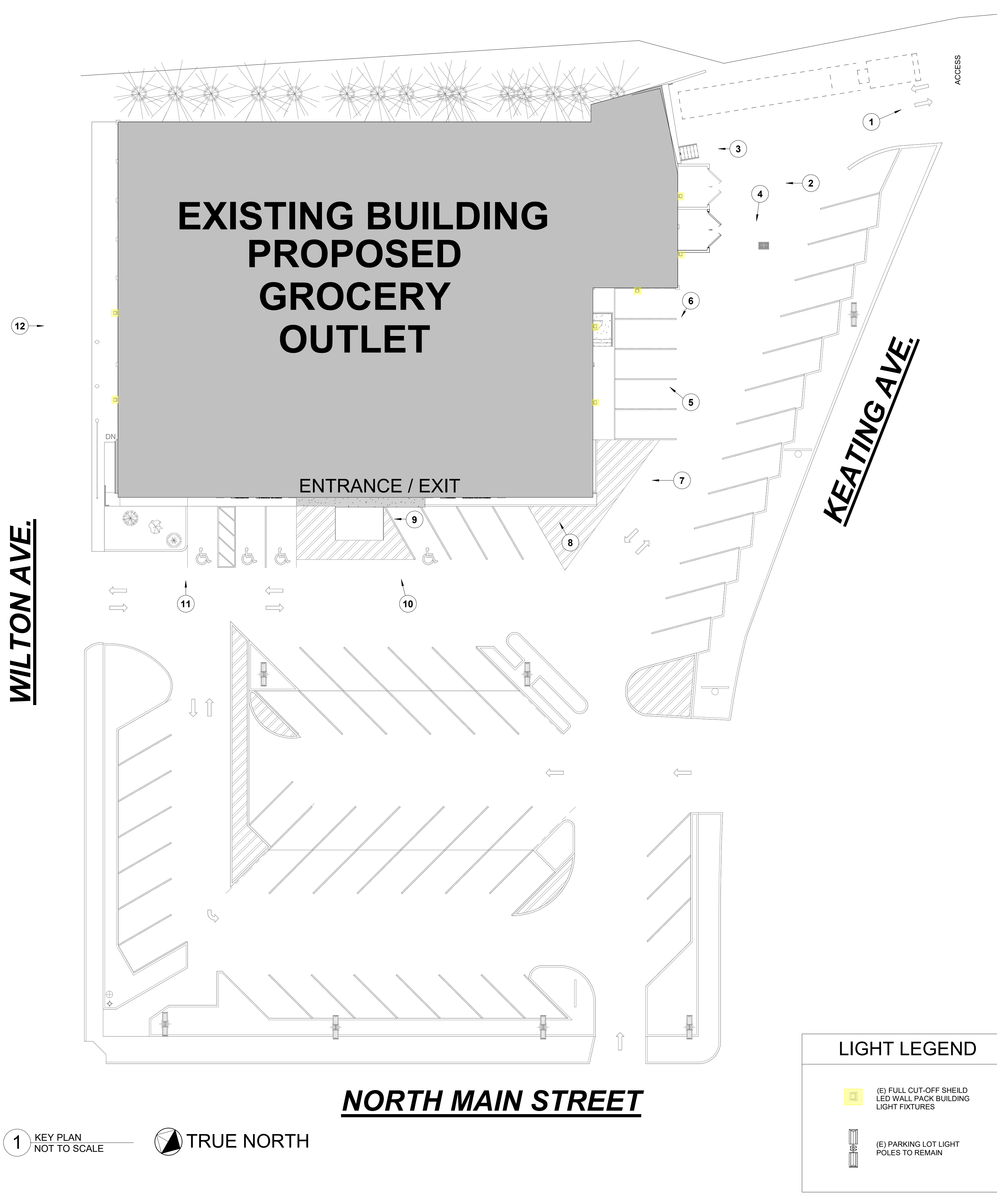
NEW GROCERY OUTLET STORE

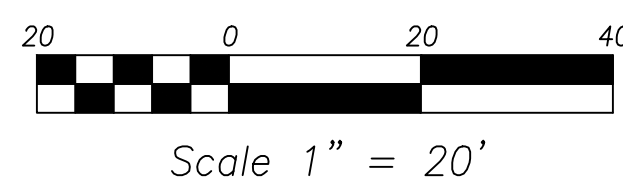
CUP PACKAGE

- FORMULA BUSINESS CONDITIONAL USE PERMIT
- ALCOHOL USE PERMIT & DESIGN REVIEW
APPLICATION WITH NEW EXTERIOR PAINT FINISH,
NEW TRASH ENCLOSURE AND EXTERIOR SIGNAGE

INDEX OF DRAWINGS - CUP

[illegible]





- SURVEY NOTES:

1. THIS IS A TOPOGRAPHIC SURVEY OF THE PROPERTY ONLY. IT IS INTENDED TO SHOW THE MAJOR TOPOGRAPHIC FEATURES OF THE PROPERTY: CURBS, ISLANDS, WALKS, BUILDING, VISIBLE UTILITIES, GRADES, TREES, DRIVEWAYS, SIGNS.

PROPERTY LINES ARE BASED ON A COMPILATION OF DEED INFORMATION, RECORDED MAPS IN THE AREA AND AN ALTA SURVEY (DONE BY OTHERS) PROVIDED TO THIS ENGINEER.

THIS DRAWING IS NOT A FORMAL RECORDED SURVEY WITH THE COUNTY UNDER THE REQUIREMENTS AND STANDARDS FOR A "RECORD OF SURVEY".

THIS SURVEY IS BASED ON FOUND MONUMENTS IN KEATING AVENUE PER PARCEL MAP NO. 51, BOOK 260 OF MAPS, AT PAGE 5, SONOMA COUNTY RECORDS.
2. THIS SURVEY WAS DONE WITHOUT A TITLE REPORT PROVIDED TO THIS ENGINEER. ONLY THE PERIMETER PROPERTY LINES ARE SHOWN. IT IS UNKNOWN WHAT, AND IF ANY, EASEMENTS MAY EXIST.
3. SURVEY IS BASED ON GROUND MEASUREMENTS MADE BY THIS ENGINEER IN MAY, 2026.

SHEET INDEX:

T1: OVERALL PROPERTY, NOTES, LEGEND, VICINITY MAP
T2: ENLARGED SURVEY, SOUTH PORTION AT 1"=10'
T3: ENLARGED SURVEY, NORTH PORTION AT 1"=10'

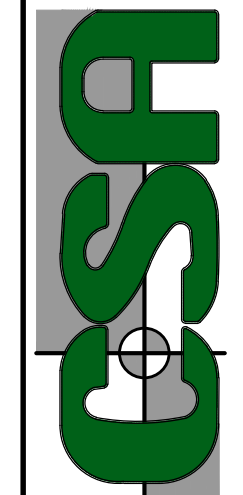
PREPARED UNDER
DIRECTION OF:

Dan Cullen
DANIEL W. CULLEN
5-30-26
DATE



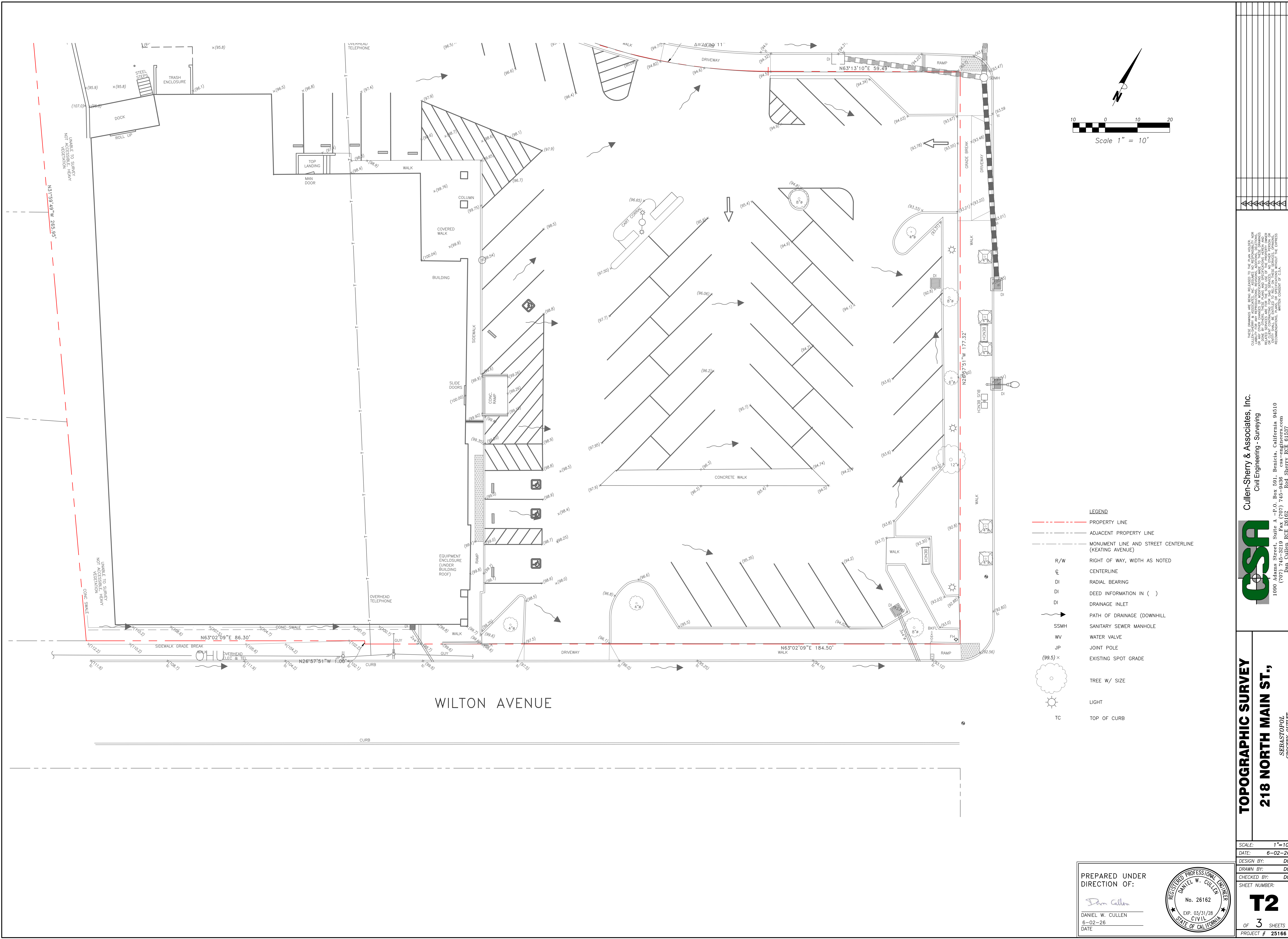
TOPOGRAPHIC SURVEY
218 NORTH MAIN ST.,

Cullen-Sherry & Associates, Inc.
Civil Engineering - Surveying



1090 Adams Street, Suite A - P.O. Box 591, Benicia, California 94510
(707) 745-3219 Fax (707) 745-9436 csa-engineers.com
Dan Cullen RCE 26162 Rod Sherry RCE 61537

SCALE:	1"=20'
DATE:	MAY 30, 2026
DESIGN BY:	DC
DRAWN BY:	DC
CHECKED BY:	DC
SHEET NUMBER:	
T1	
OF 3 SHEETS	
PROJECT # 25166	

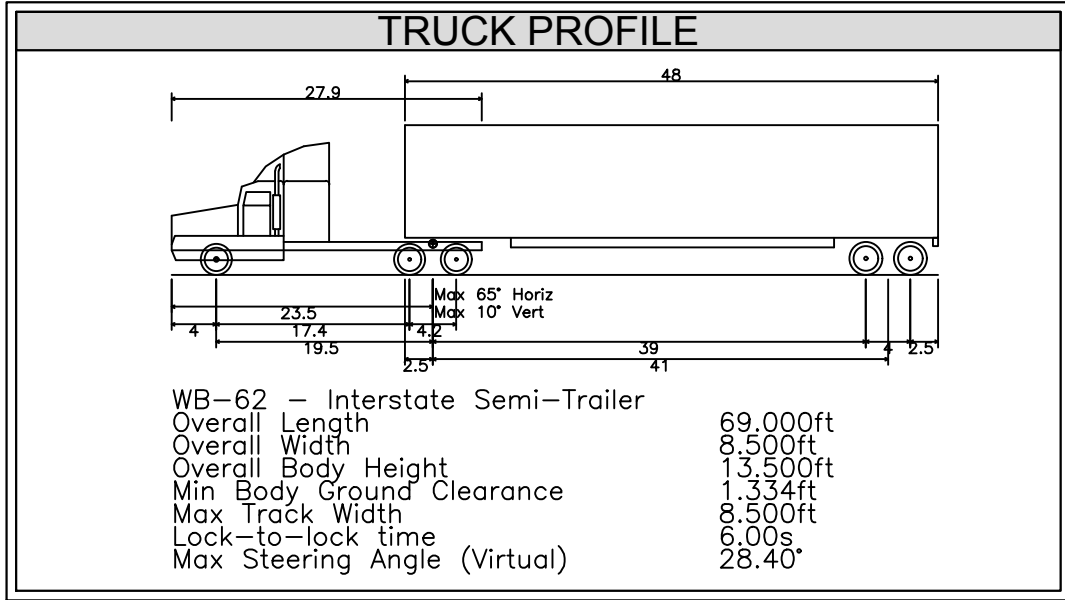
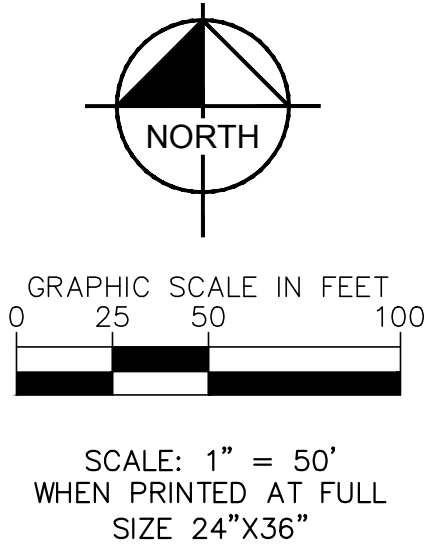


Sheet Set: KHA - Layout: WB-62 TT Exhibit - May 26, 2026 01:37:36pm - K:\ORA_LDEV\Grocery Outlet\XXXXXXX - Sebastopol\CAD\Exhibits\Truck Turn\Truck Turn 3.dwg
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KEYNOTE LEGEND	
(A)	PROPOSED GROCERY OUTLET LOCATION.
(B)	TRUCK PATH CONFLICTS WITH OPPOSING LANE.

PLAN NOTES	
1.	THIS PLAN REFERENCES DOCUMENTS AND INFORMATION FROM: 218 N MAIN STREET, SEBASTOPOL, CA DATED: 07/04/2023
2.	THIS PLAN WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
3.	THIS PLAN IS PRELIMINARY IN NATURE AND SHOULD NOT BE USED FOR ZONING ANALYSIS. PREPARATION OF A SITE SURVEY AND ADDITIONAL EVALUATION WILL BE REQUIRED TO DETERMINE THE FEASIBILITY OF THE PROPOSED TRUCK MOVEMENT AND TO REVIEW ZONING REQUIREMENTS.
4.	A WB-62 TRUCK MANEUVER ALONG N MAIN STREET WITH A REVERSE MANEUVER WITHIN KEATING AVENUE AS SHOWN ON PLAN IS NOT RECOMMEND AS THERE ARE SAFETY CONCERNS WITH ONCOMING TRAFFIC AND ENCROACHMENT INTO OPPOSING LANES.



No.	REVISIONS	DATE	BY

© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92868
PHONE: 714-939-1030 FAX: 714-938-9488
WWW.KIMLEY-HORN.COM

KHA PROJECT
194156109
DATE
05/26/2026
SCALE AS SHOWN
DESIGNED BY JA
DRAWN BY JA
CHECKED BY EO

218 N MAIN ST, SEBASTOPOL, CA
PREPARED FOR
GROCERY OUTLET

SONOMA COUNTY

CA

TRUCK TURN EXHIBIT

SHEET NUMBER
1



960 Atlantic Avenue
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

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PROJECT TEAM

FLOOR AREAS	
ROOM NAME	AREA
BACK OFFICE	54 SF
BREAK ROOM	129 SF
DAIRY/ PRODUCE COOLER	609 SF
EQUIPMENT ROOM	328 SF
FIRE RISER ROOM	67 SF
FREEZER	383 SF
FRONT OFFICE	120 SF
HALLWAY	135 SF
MEAT COOLER	125 SF
RECEIVING AREA	223 SF
RESTROOM #1	63 SF
RESTROOM #2	63 SF
SALES FLOOR	9902 SF
STOCK ROOM	2540 SF

FLOOR AREAS	
SALES (NET) =	9,907 SF
STOCK + RCVG (NET) =	2,763 SF
BOXES (NET) =	1,112 SF
SUPPORT + MISC. (NET) =	961 SF

TOTAL FLOOR AREA (NET) = 14,547 SF
LEASABLE AREA (GROSS) = 15,946 SF

F.O.H. = 10,081 SF
<INCLUDES SALES, VESTIBULE, OFFICES>
B.O.H. = 4,662 SF
<INCLUDES SUPPORT, BOXES>

BEER & WINE		
DESCRIPTION / REMARK	LENGTH	AREA
CHILLED B&W (MULTI-DECK)	12 LF	43 SF
32" GONDOLAS (PERIMETER)	19 LF	38 SF
18" GONDOLAS (CENTER)	0 LF	0 SF
14" X 42" END CAPS	0 LF	0 SF
TOTALS:	31 LF	81 SF

102 SF = ALLOCATED FLOOR AREA - B&W
1.03% = RATIO TO TOTAL SALES FLOOR

FIXTURE & AREA CALCULATIONS		
REFRIGERATION	16K VE - REAR LOAD	
NUMBER OF BUNKERS	2	
NUMBER OF BERRY BINS	2	
NUMBER OF FREEZER DOORS	44	
NUMBER OF COOLER DOORS	10	
LENGTH OF REFRIGERATED PRODUCE CASES	24'-0"	
LENGTH OF REFRIGERATED SALAD CASES	12'-0"	
LENGTH OF REFRIGERATED DELI CASES	36'-0"	
LENGTH OF REFRIGERATED MEAT CASES	16'-0"	
LENGTH OF BEER CASE W/ DOORS	12'-0"	
LENGTH OF SALES FLOOR GONDOLAS - 84" TALL	571'-0"	
LENGTH OF SALES FLOOR GONDOLAS - 48" TALL	0'-0"	
LENGTH OF BEER & WINE GONDOLAS	31'-0"	
LENGTH OF STEEL SHELVES AT B.O.H. & COOLERS	101'-9"	
TOTAL F.O.H. FLOOR AREA AND PERCENT OF OVERALL NET AREA	10,081 SF (69.3%)	
TOTAL B.O.H. FLOOR AREA AND PERCENT OF OVERALL NET AREA	4,662 SF (31.0%)	

SALES FLOOR SHELVING			
DESCRIPTION	PROPOSED	16K	18K
FL HT. GONDOLAS	571 LF	657 LF	877 LF

ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/22/2024	FIXTURE PLAN V1
02/26/2024	FIXTURE PLAN V2
02/27/2024	FIXTURE PLAN V3
06/18/2025	FIXTURE PLAN V4
06/26/2025	FIXTURE PLAN V5
07/01/2025	FIXTURE PLAN V6
07/03/2025	FIXTURE PLAN V7
06/03/2026	RESPONSE TO PCC #1

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

CELSO RIVERA

PROJECT MANAGER

MATT SPANOL

QUALITY CONTROL

SARA AMERI

DRAWN BY

RN SANCHEZ / PRANAY SHARMA

PROJECT NAME

GROCERY

OUTLET

218 N MAIN ST,
SEBASTOPOL, CA 95472

PROJECT NUMBER

59005

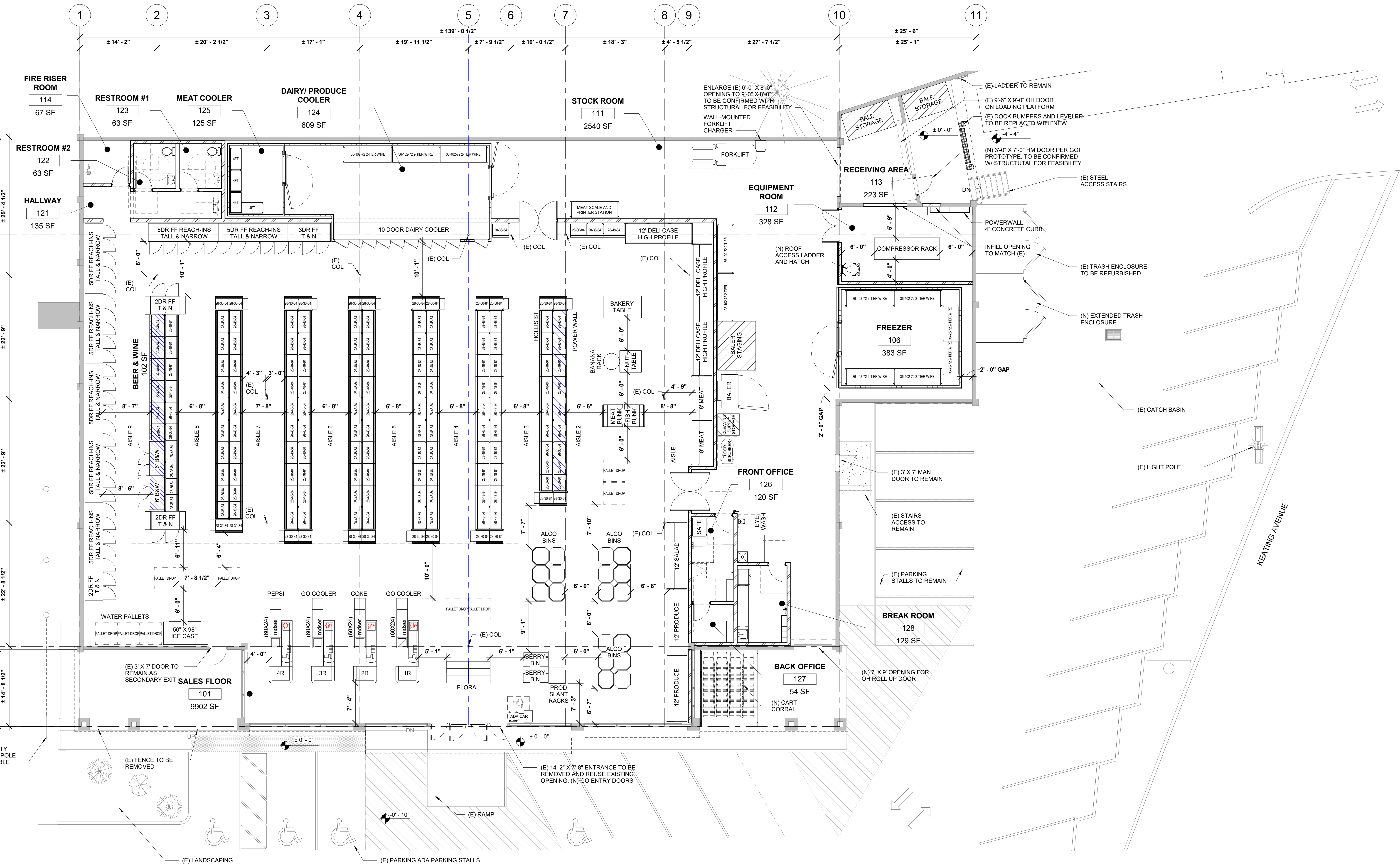
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FIXTURE PLAN

SHEET NUMBER

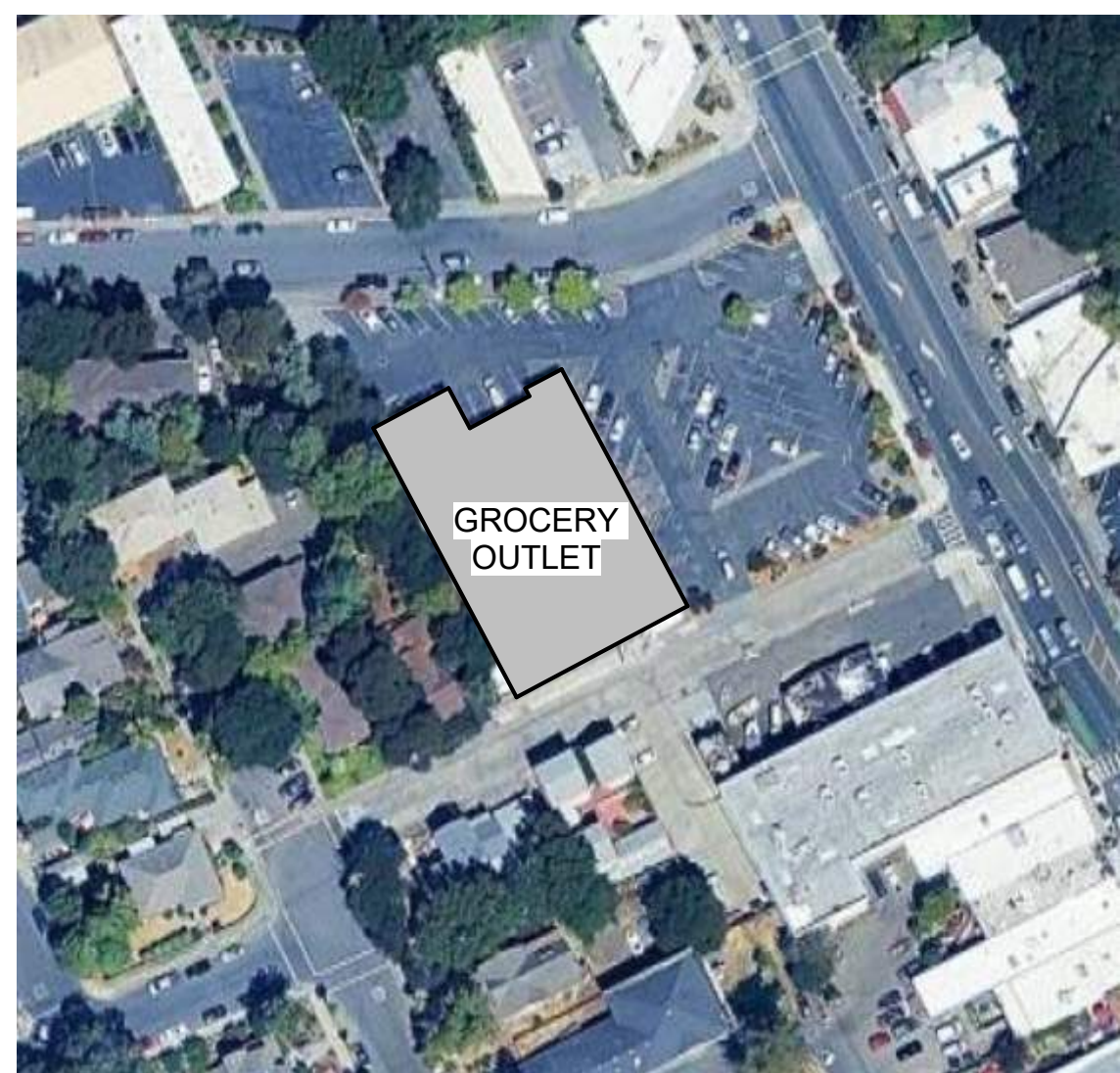
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NOT ISSUED FOR CONSTRUCTION



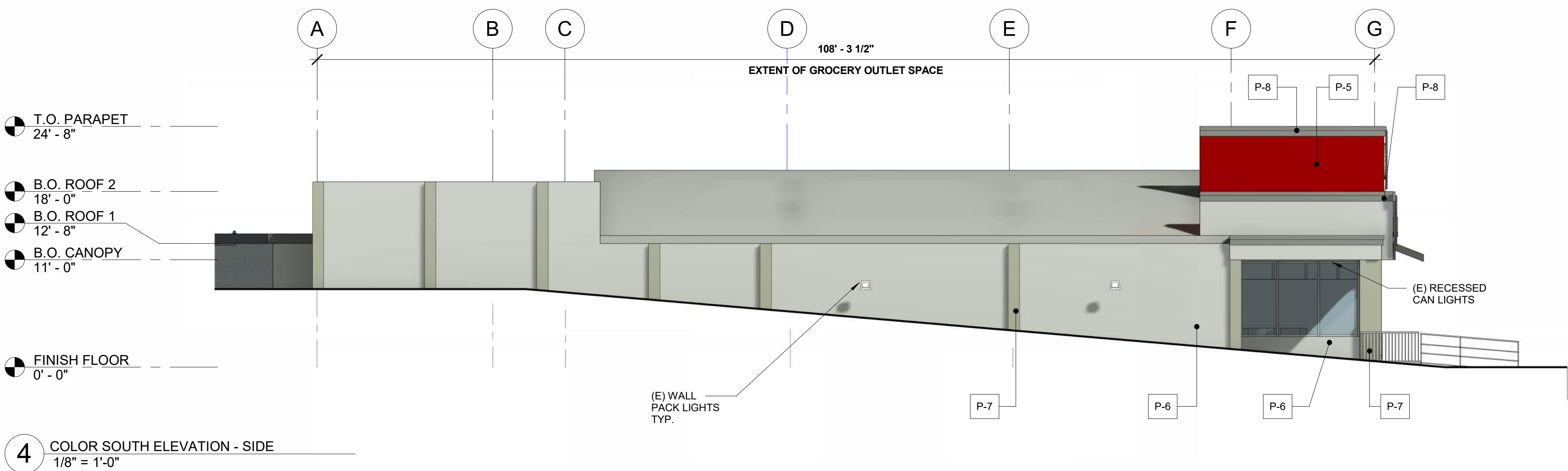
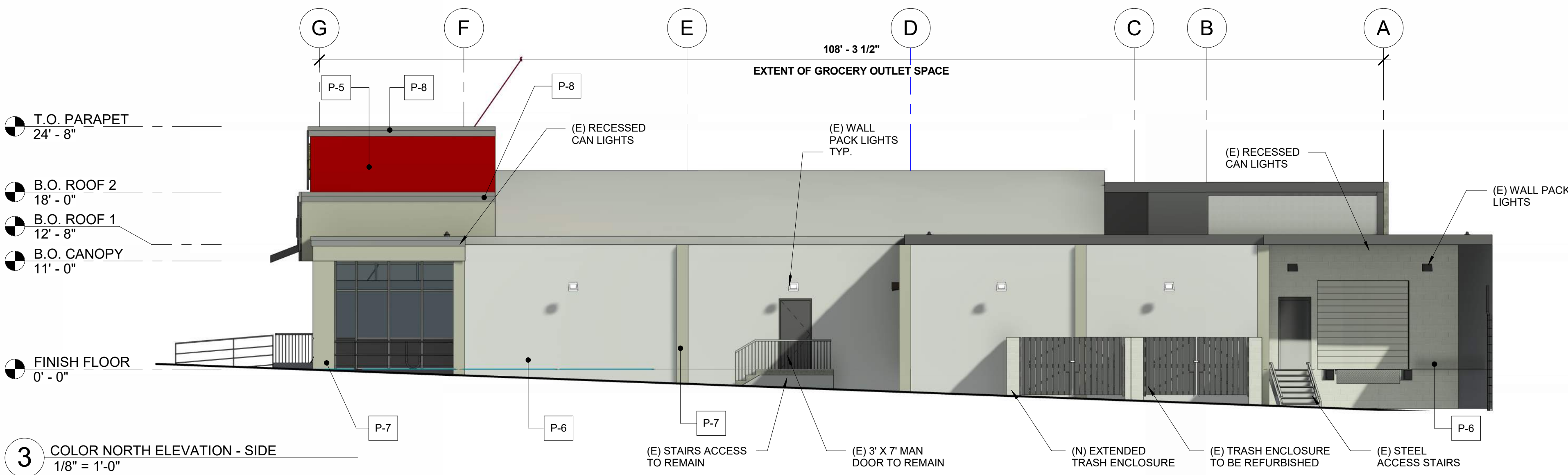
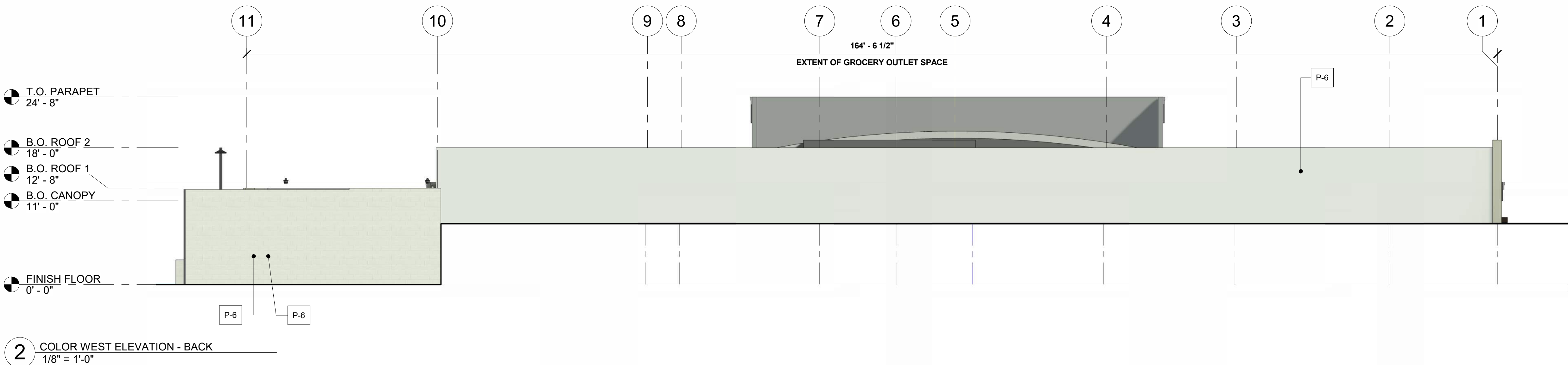
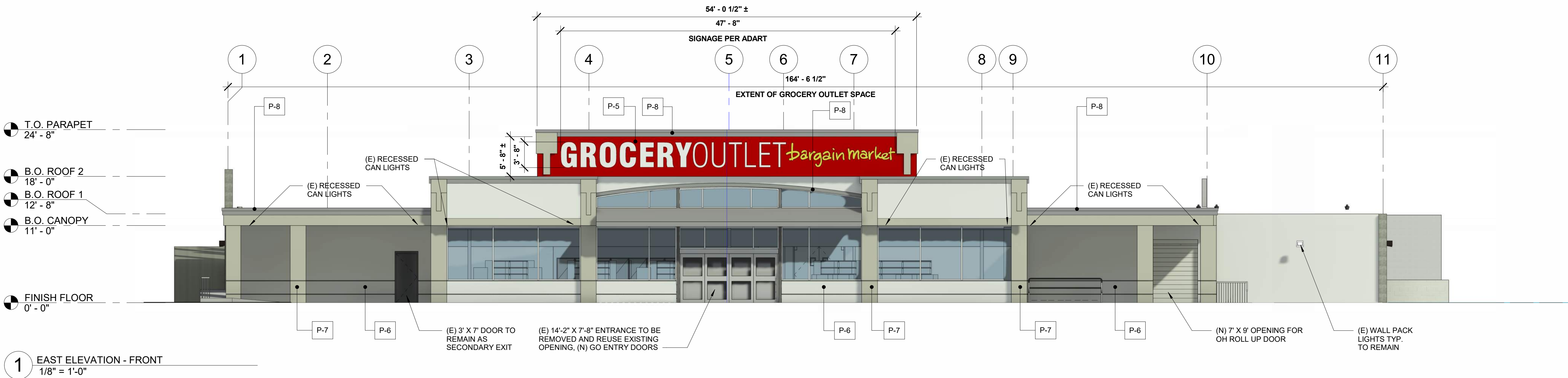
1 FLOOR PLAN - FIXTURE LAYOUT
1/8" = 1'-0"

TRUE NORTH



2 KEY PLAN
3/16" = 1'-0"

INTERIOR SIGNAGE	
USE 4'-0" PACKAGE	
LIGHTING AT +14'-0" A.F.F.	
SERPENTINE HEIGHT: 48" BASE DEPTH: 18" SHELF DEPTH: 16" # SHELVES PER SECTION: 3 COLOR: SAHARA	CENTER STORE HEIGHT: 84" BASE DEPTH: 32" SHELF DEPTH: 28" # SHELVES PER SECTION: 6 COLOR: SAHARA
PERIMETER HEIGHT: 84" BASE DEPTH: 28" SHELF DEPTH: 24" # SHELVES PER SECTION: 7 COLOR: SAHARA	
FIXTURE PLAN LEGEND:	
= BRASS BELL (AT CHECKSTAND #1)	
= ECO BAG GRIDS (3 - PER PLAN)	
WALL LEGEND:	
= EXISTING SHELL STRUCTURAL WALLS	
= SHELL STRUCTURAL WALLS (CMU)	
= T.I. LOAD-BEARING / SHEAR WALLS	
= T.I. FULL HT. PARTITIONS (TO BOTTOM OF ROOF)	
= T.I. PARTITIONS (TO BOTTOM OF CEILING)	
= T.I. COOLER WALLS (BY MANUF.)	



EXTERIOR PAINT SCHEDULE	
MARK	PAINT NAME
P-5	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET RED"
P-6	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET SHORELINE"
P-7	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET GRAY"
P-8	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET CHARCOAL"



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PROJECT TEAM

218 N MAIN ST, SEBASTOPOL, CA 95472



P-7

MFR: SHERWIN WILLIAMS

**COLOR: GOI GRAY
SW 9170 ACIER**

**CLEAR ANODIZED FINISH
ALUMINUM FRAME STOREFRONT AUTO
SLIDING DOOR ENTRANCE AND
STOREFRONT WINDOW SYSTEM**

MFR: SHERWIN WILLIAMS
COLOR: GOI CHARCOAL
SW 7068 GRIZZLE GRAY

[illegible]

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

Approver _____

PROJECT MANAGER
Designer

QUALITY CONTROL

Checker _____

DRAWN BY _____

Author

PROJECT NAME

GROCERY

GROCERY

OUTLET

218 N MAIN ST,

SEBASTOPOL, CA 95472

PROJECT NUMBER

59005 [REDACTED]

SHEET TITLE

MATERIAL BOARD

SHEET NUMBER

SHEET NUMBER

1000

E2-02

12-02

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PROJECT TEAM

ISSUE/REVISION RECORD

[illegible]

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGEApprover

PROJECT MANAGER

Designer

QUALITY CONTROL

Checker

DRAWN BY

Author

PROJECT NAME

GROCERY

OUTLET
218 N MAIN ST,
SEBASTOPOL, CA 95472

PROJECT NUMBER

59005

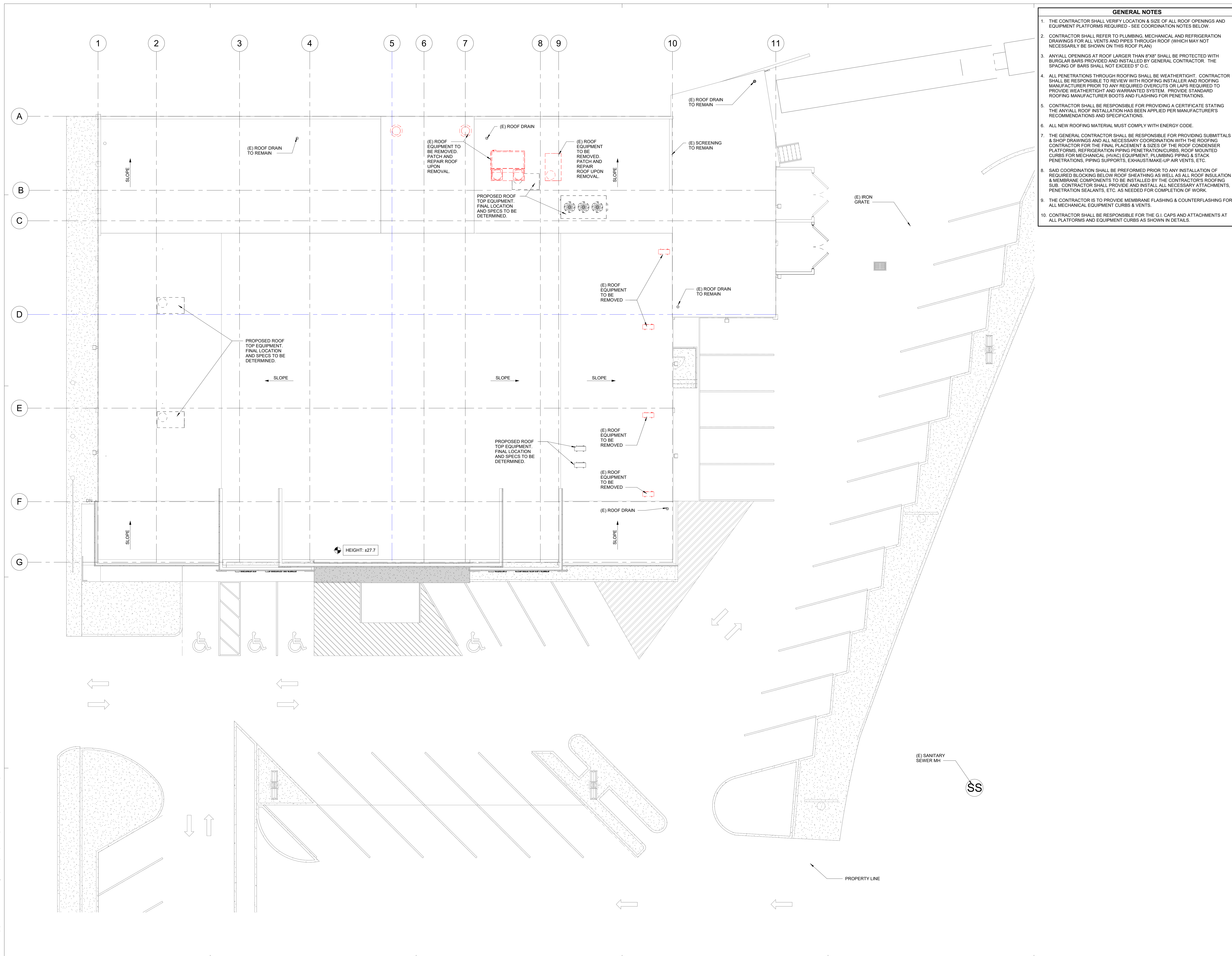
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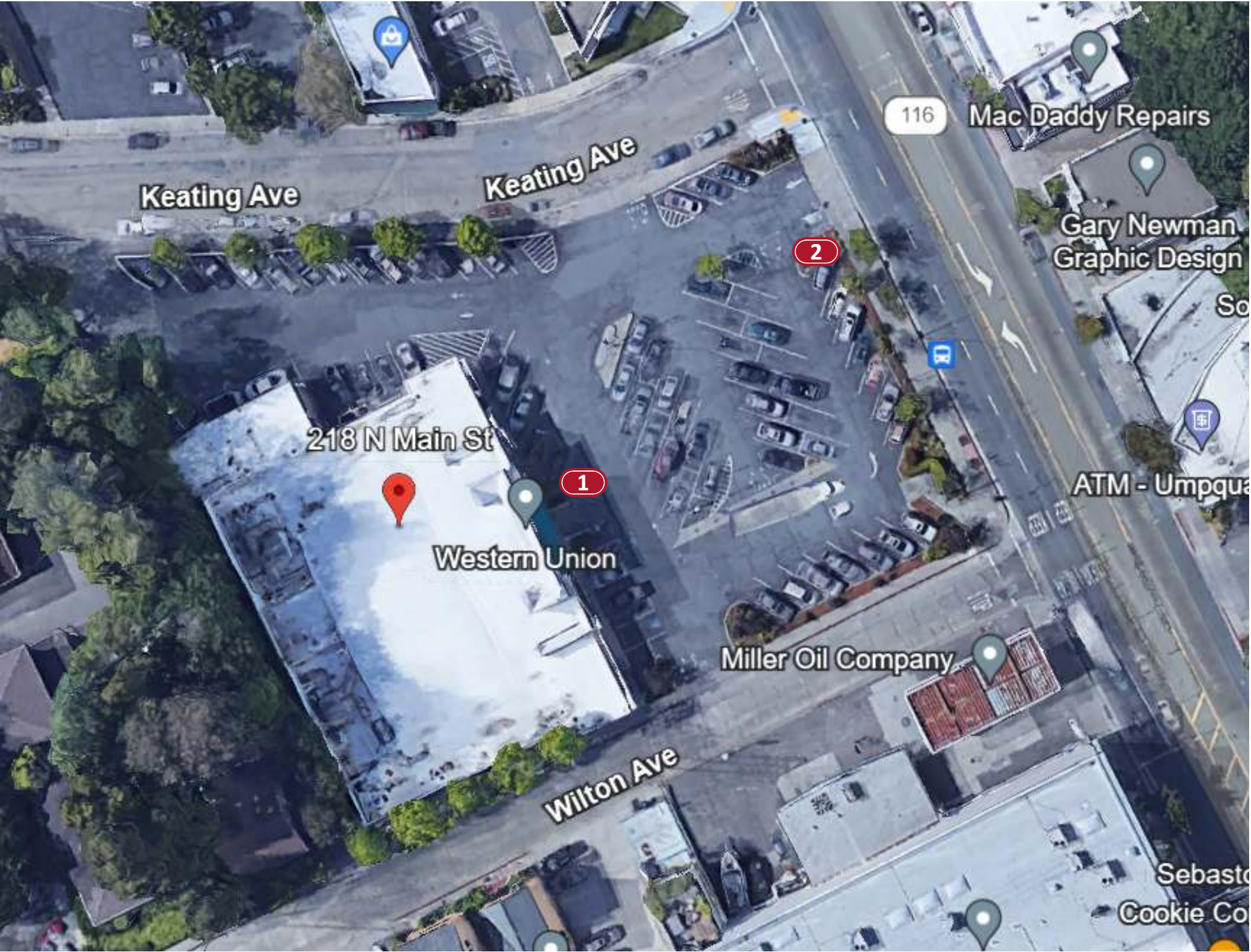
ROOF PLAN

SHEET NUMBER

F3-01

NOT ISSUED FOR CONSTRUCTION





SITE PLAN

1	STOREFRONT SIGNAGE
2	PROPOSED MONUMENT SIGN

SITE PLAN : OVERVIEW

 700 Parker Sq STE 205 Flower Mound, TX 75028 T. 800.675.6353	Project: Grocery Outlet		Revision R6:MH:10/3/25:REVISED REMOVE OPTIONS. R7:MH:10/30/25:REVISED BUILDING. R8:MH:10/30/25:REVISED BUILDING. R9:MH:10/30/25:REVISED BUILDING. R10:	Approvals Customer: Landlord:	CONCEPTUAL DRAWINGS ONLY: Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications. ALL RIGHTS RESERVED: This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.	SHEET 2
	Location: 218 N. Main Street Sebastopol, California 95472	Date: 10/3/25 Sales: DH Designer: MH File Name: GO Sebastopol				

PRE-PERMIT SIGN INFO

Property ID:GO

A.) Project Name:Grocery Outlet

B.) Street Address:218 N Main Street

C.) City, State Zip:Sebastopol, CA 95472

D.) Municipal Contact:Planning Dept (no response)

E.) Contact Phone:(707) 823-6167

F.) Address, City, ST Zip:7120 Bodega Avenue Sebastopol, CA 95472

G.) Jurisdiction:City/Town of:Sebastopol

Date Completed:7/7/2025

Email:ksvanstrom@cityofsebastopol.gov

Fax:Not available

H.) Zone/Category/Class:DC / Downtown Core

I.) Overlay/ MSP:No

J.) Permit app fee:\$30 min

K.) Permit Process time:30 days

L.) Permit required to Reface?Yes

M.) Property Owner approval?Yes

N.) Temp./coming-soon Banners allowed? Size?Size not stipulated

O.) Temporary freestanding Signs allowed?Size?Size not stipulated

P.) Temp signs require a permit? Time allowed:30 days before the event, & must be removed no more than 7 days after the event.

Notes:No response from City. All info based on zoning map and City Code. Please verify before submitting permits, if possible.

ATTACHED SIGNS

1.) Formula (Max: Main ID & Secondary):Depends on building Frontage, see Note 1.. For buildings fronting on more than one public right-of-way, the length of two frontages may be used to calculate the total allowable sign area for all signs on the premises.

2.) SqFt: sides/rear:Formula

3.) Transferrable?No

4.) # allowed:Two see Note 2

5.) Max. Overall Height:Roofline/parapet

6.) Calculation Method:Sign area is defined as the area of a rectangle drawn around note 3

7.) Cabinet signs allowed?Yes (verify with LL)

8.) Special Wall sign codes:No

9.) Storefront Bldg colors:No

FREESTANDING SIGNS

1.) Formula (Max: Main ID & Secondary):Depends on building frontage see Note 1.

2.) # allowed:One note 2

3.) Height Max:8' note 2

4.) Set-back:5' from sidewalk (or ROW if there is no sidewalk)

DIRECTIONAL SIGNS

1.) # Allowed:As needed

2.) Max. SqFt:2 sf

3.) Permit:Yes

VARIANCE

1. Variance Meeting:second and fourth Tuesdays of each month

2. Processing Time:2-3 months

3. Attorney or expeditor required?

4. Permit Docs: # of SetsAs advised

5. Probability of approval?Depends on hardship

App. Deadline:30 days

Est. Fees:\$100 min

Sign Details

Building Elevations

Site Plan

Engineering Seal

Owner Authorization Ltr.

Legal Description

UL Number

Property ID#

Addl Prof Seals

Other:

Note:

Sign criteria is reported as presented to us as of the "Date Completed". This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. Where required by local authority, it is understood a permit will be obtained prior to manufacture.

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PRE-PERMIT SIGN INFO - Notes - Page 2

Property ID:

GO

Note 1

Table 17.120-1. Maximum Allowable Sign Area (Sq. Ft.)

Building Frontage	Max. Allowable Sign Area	Building Frontage	Max. Allowable Sign Area	Building Frontage	Max. Allowable Sign Area
Up to 25'	25.0	43'	52.0	61'	79.0
26'	26.5	44'	53.5	62'	80.5
27'	28.0	45'	55.0	63'	82.0
28'	29.5	46'	56.5	64'	83.5
29'	31.0	47'	58.0	65'	85.0
30'	32.5	48'	59.5	66'	86.5
31'	34.0	49'	61.0	67'	88.0
32'	35.5	50'	62.5	68'	89.5
33'	37.0	51'	64.0	69'	91.0
34'	38.5	52'	65.5	70'	92.5
35'	40.0	53'	67.0	71'	94.0
36'	41.5	54'	68.5	72'	95.5
37'	43.0	55'	70.0	73'	97.0
38'	44.5	56'	71.5	74'	98.5
39'	46.0	57'	73.0	75'	100.0
40'	47.5	58'	74.5	76' – 100'	125.0
41'	49.0	59'	76.0	101' – 125'	150.0
42'	50.5	60'	77.5	126' +	175.0

PRE-PERMIT SIGN INFO - Additional Notes - Page 3

Property ID:GO

Note 2

Signs Permitted in Commercial and Office Districts.

1. Each building is permitted to have one freestanding business identification sign. This sign may not exceed eight feet in height.

2. A maximum of two window, awning, wall, or fascia business identification signs are permitted for each ground floor use or tenant. One of those two signs may be a projecting sign, providing that the sign does not exceed six square feet in area or 18 inches in height, and has a minimum clearance of seven and one-half feet above the sidewalk.

3. Commercial or professional uses located above the main floor of the building may display permanent window, awning, or wall signs. The total sign area for each use shall be determined in accordance with SMC 17.120.050(A)(3).

4. Temporary window signs related to special events, sales promotions, and the sale of merchandise are permitted for a period of 30 days only.

5. Portable signs, consistent with SMC 17.120.020(A)(3)(d).

6. A maximum of two area identification signs per entry, with a maximum height of eight feet and maximum total area of

Note 3

Computation of Frontage and Sign Area Calculations.

1. "Sign area" is defined as the area of a rectangle drawn around the outermost area of sign copy, graphics, background materials, and borders or frame, and any similar display area which is capable of receiving copy at a future time. The structure supporting a sign is not included in determining the sign area, unless the structure contains advertising copy or business logo.

2. The area of all signs which are governed by this chapter shall be included when determining compliance with the maximum allowable sign area.



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Grocery Outlet

Location: 218 N. Main Street
Sebastopol, California 95472

Date: 10/3/25Sales: DHDesigner: MH

File Name: GO Sebastopol

Revision

R6:MH:10/3/25:REVISED REMOVE OPTIONS.
R7:MH:10/30/25:REVISED BUILDING.
R8:MH:10/30/25:REVISED BUILDING.
R9:MH:10/30/25:REVISED BUILDING.
R10:

Approvals

Customer:

Landlord:

CONCEPTUAL DRAWINGS ONLY:

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SHEET

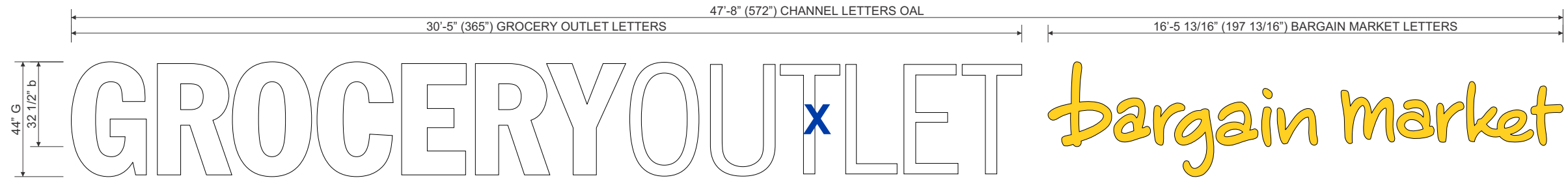
3

Code:
Building frontage is 126' + , max allowed sign area is 175 sq ft.
Including the backer panel. For buildings fronting on more than one public right-of-way,
the length of two frontages may be used to calculate the total allowable sign area for
all signs on the premises.
allowed - 2



STOREFRONT EAST ELEVATION

NOT TO SCALE



1 CUSTOM : 44” FACE-LIT REMOTE CHANNEL LETTERS
(1) REQUIRED

SCALE: 1/4” = 1’-0”
Letters: 175.0 SF

SPECIFICATIONS

G.O. LETTERS:

1. 5” DEEP ALUMINUM RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
2. ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
3. 1” BLACK TRIM CAP.
4. 3/16” TH. WHITE ACRYLIC FACES WITH FIRST SURFACE RED VINYL.
5. INTERNALLY ILLUMINATED WITH WHITE LEDS.

B.M. LETTERS:

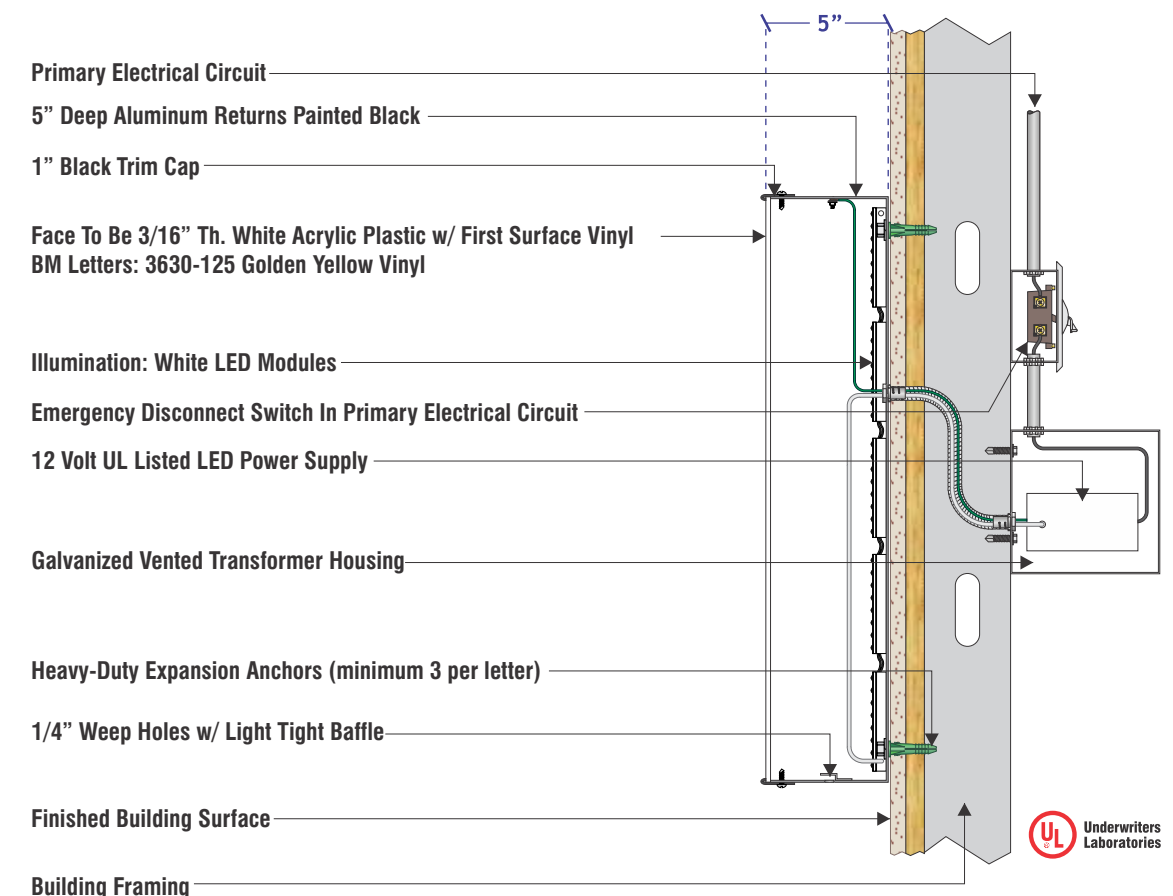
1. 5” DEEP ALUMINUM RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
2. ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
3. 1” BLACK TRIM CAP.
4. 3/16” TH. WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630125 GOLDEN YELLOW VINYL OVERLAYS.
5. INTERNALLY ILLUMINATED WITH WHITE LEDS.

1. CHANNEL LETTERS MOUNTED FLUSH TO FASCIA WITH APPROPRIATE NON-CORROSIVE MOUNTING HARDWARE.

GC TO PROVIDE (1) 20 AMP 120V DEDICATED CIRCUIT. THIS IS TO BE PLACED BEHIND THE WALL AT THE AT CENTER OF THE SIGN. (LETTER X)



VINYL COLOR SCHEDULE	
	3M 3630-73 DARK RED PMS 7621 C RED
	3M 3630-125 GOLDEN YELLOW PMS 1235 C YELLOW
	3M 3630-22 BLACK PMS BLACK
	3M 3630-20 WHITE PMS WHITE



Project: Grocery Outlet

Location: 218 N. Main Street
Sebastopol, California 95472

Date: 10/3/25 **Sales:** DH **Designer:** MH
File Name: GO Sebastopol

Revision

R6:MH:10/3/25:REVISED REMOVE OPTIONS.
R7:MH:10/30/25:REVISED BUILDING.
R8:MH:10/30/25:REVISED BUILDING.
R9:MH:10/30/25:REVISED BUILDING.
R10:

Approvals

Customer:

Landlord:

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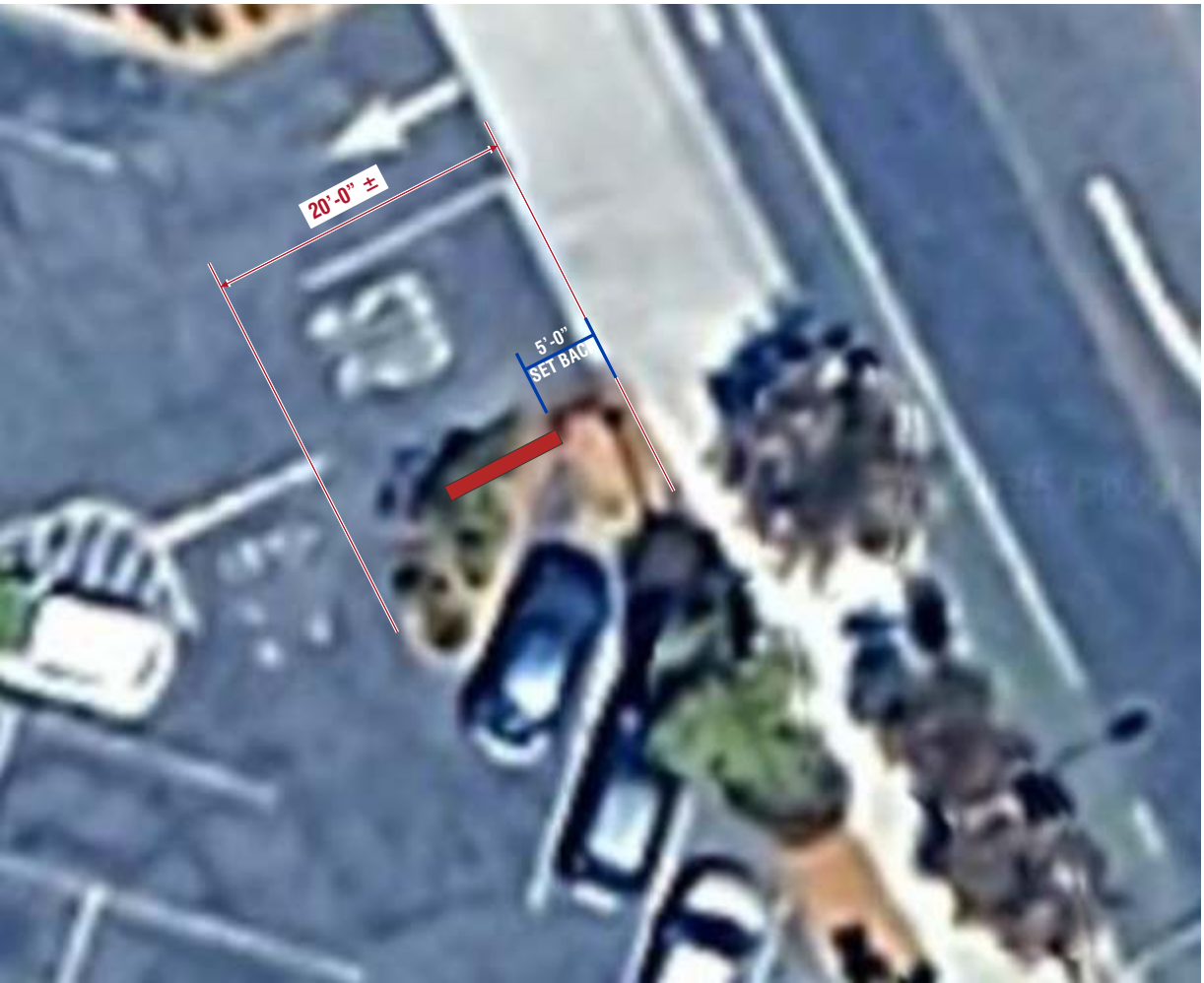
5



EXISTING ELEVATION



PROPOSED ELEVATION





SPECIFICATIONS

1. 12" DEEP ALUMINUM SKIN & FRAME CABINET FILLER PAINTED GO RED.
2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE
3. 2" EXTRUDED ALUMINUM RETAINER SECTIONS PAINTED GO RED.
4. FACES ARE WHITE LEXAN WITH FIRST SURFACE 3M 3630-73 DARK RED VINYL REVERSE CUT TO SHOW ALL LOGO COPY THRU WHITE.
5. 3M 3630-125 GOLDEN YELLOW VINYL BARGAIN MARKET COPY.
6. INTERNALLY ILLUMINATED WITH WHITE LEDS.
7. 12" DEEP ALUMINUM POLE COVER CLADDING & 2' REVEAL SECTION PAINTED BENJAMIN-MOORE HC-39 PUTNAM IVORY.

VINYL COLOR SCHEDULE	
	3M 3630-73 DARK RED PMS 7621 C RED
	3M 3630-125 GOLDEN YELLOW PMS 1235 C YELLOW
	3M 3630-22 BLACK PMS BLACK
	3M 3630-20 WHITE PMS WHITE
PAINT COLOR SCHEDULE	
	P-6 GROCERY OUTLET LIGHT GRAY

2

PROPOSED : D/F INTERNALLY ILLUMINATED MONUMENT SIGN CABINET / STRUCTURE

(1) REQUIRED

SCALE: 1/2" = 1'-0"

Cabinet: 40.0 SF



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

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