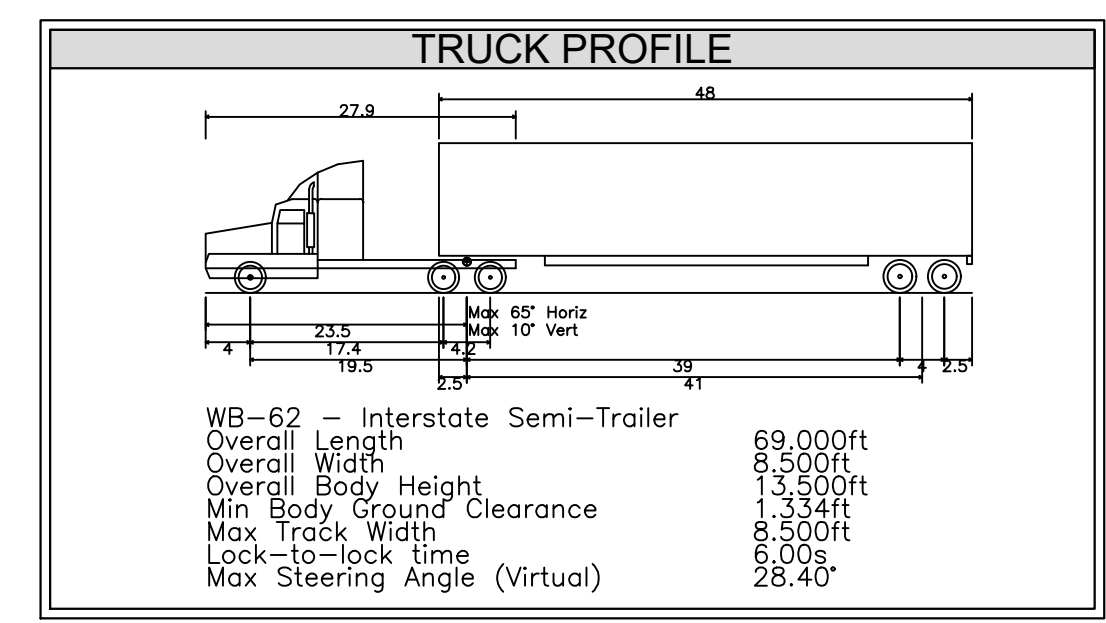
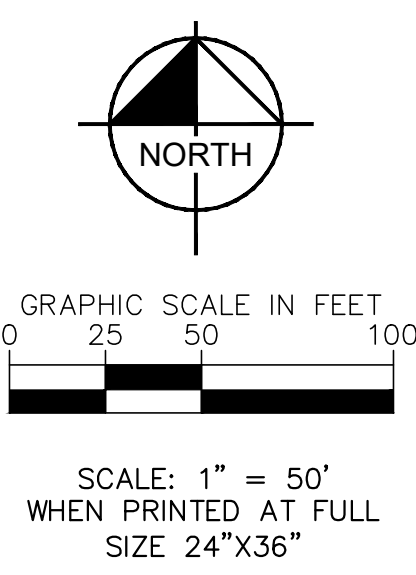


Plotted By: Irene Llorca - Sheet Set: KHA - Layout: WB-62 TT Exhibit - April 16, 2026 11:47:23am - X:\Grocery Outlet\99005_GO #2678 Sebastopol_CA\02-Correspondence\Kimley-Horn_Truck_Turn_Study\Received\260416_Updated CAD_WB-48 WB-62 Truck Turn_Truck Turn 2.dwg
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- PLAN NOTES**
1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION FROM:
218 N MAIN STREET, SEBASTOPOL, CA
DATED: 07/04/2023
 2. THIS PLAN WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
 3. THIS PLAN IS PRELIMINARY IN NATURE AND SHOULD NOT BE USED FOR ZONING ANALYSIS. PREPARATION OF A SITE SURVEY AND ADDITIONAL EVALUATION WILL BE REQUIRED TO DETERMINE THE FEASIBILITY OF THE PROPOSED TRUCK MOVEMENT AND TO REVIEW ZONING REQUIREMENTS.
 4. A WB-62 TRUCK IS RECOMMENDED AS IT HAS THE SPACE TO MANEUVER THE SITE WITHOUT ANY CONFLICT.



No.	REVISIONS	DATE	BY

© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
 1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92868
 PHONE: 714-939-1030 FAX: 714-938-9488
 WWW.KIMLEY-HORN.COM

KHA PROJECT	194156109
DATE	04/16/2026
SCALE	AS SHOWN
DESIGNED BY	JA
DRAWN BY	JA
CHECKED BY	EO

218 N MAIN ST, SEBASTOPOL, CA
 PREPARED FOR
GROCERY OUTLET
 SONOMA COUNTY CA

TRUCK TURN EXHIBIT

1

SHEET NUMBER



950 Atlantic Avenue
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

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PROJECT TEAM

DATE	DESCRIPTION
02/22/2024	FIXTURE PLAN V1
02/26/2024	FIXTURE PLAN V2
02/27/2024	FIXTURE PLAN V3
06/18/2025	FIXTURE PLAN V4
06/29/2025	FIXTURE PLAN V5
07/01/2025	FIXTURE PLAN V6
07/03/2025	FIXTURE PLAN V7

ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/22/2024	FIXTURE PLAN V1
02/26/2024	FIXTURE PLAN V2
02/27/2024	FIXTURE PLAN V3
06/18/2025	FIXTURE PLAN V4
06/29/2025	FIXTURE PLAN V5
07/01/2025	FIXTURE PLAN V6
07/03/2025	FIXTURE PLAN V7

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
C11530 SIVERA
PROJECT MANAGER
MATT SPANOL
QUALITY CONTROL
SARA AMERI
DRAWN BY
AN SANCHEZ / PRANAY SHARMA

PROJECT NAME

GROCERY OUTLET
218 N MAIN ST,
SEBASTOPOLE, CA 95472

PROJECT NUMBER
59005

SHEET TITLE
FIXTURE PLAN

SHEET NUMBER

F1-01

NOT ISSUED FOR CONSTRUCTION

FLOOR AREAS

ROOM NAME	AREA
BACK OFFICE	54 SF
BREAK ROOM	129 SF
DAIRY/PRODUCE COOLER	609 SF
EQUIPMENT ROOM	328 SF
FIRE RISER ROOM	67 SF
FREEZER	383 SF
FRONT OFFICE	120 SF
HALLWAY	135 SF
MEAT COOLER	125 SF
RECEIVING AREA	223 SF
RESTROOM #1	63 SF
RESTROOM #2	63 SF
SALES FLOOR	9902 SF
STOCK ROOM	2540 SF

FLOOR AREAS

SALES (NET)	= 9,907 SF
STOCK + RCVG (NET)	= 2,763 SF
BOXES (NET)	= 1,112 SF
SUPPORT + MISC. (NET)	= 961 SF
TOTAL FLOOR AREA (NET)	= 14,547 SF
LEASABLE AREA (GROSS)	= 15,946 SF
F.O.H. =	10,081 SF
<INCLUDES SALES, VESTIBULE, OFFICES>	
B.O.H. =	4,662 SF
<INCLUDES SUPPORT, BOXES>	

BEER & WINE

DESCRIPTION / REMARK	LENGTH	AREA
CHILLED B&W (MULTI-DECK)	12 LF	43 SF
32" GONDOLAS (PERIMETER)	19 LF	38 SF
18" GONDOLAS (CENTER)	0 LF	0 SF
14" X 42" END CAPS	0 LF	0 SF
TOTALS:	31 LF	81 SF

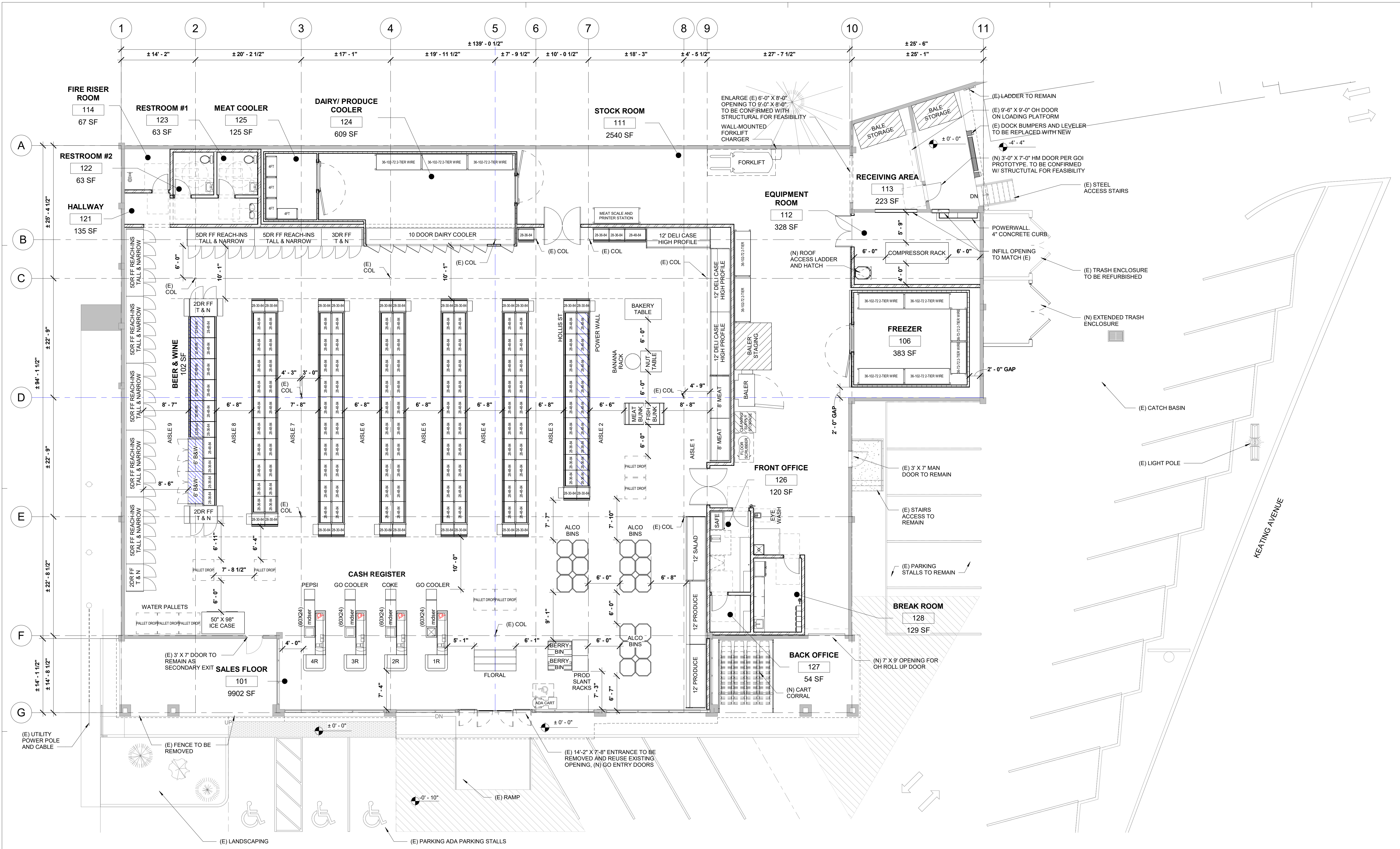
102 SF = ALLOCATED FLOOR AREA - B&W
1.03% = RATIO TO TOTAL SALES FLOOR

FIXTURE & AREA CALCULATIONS

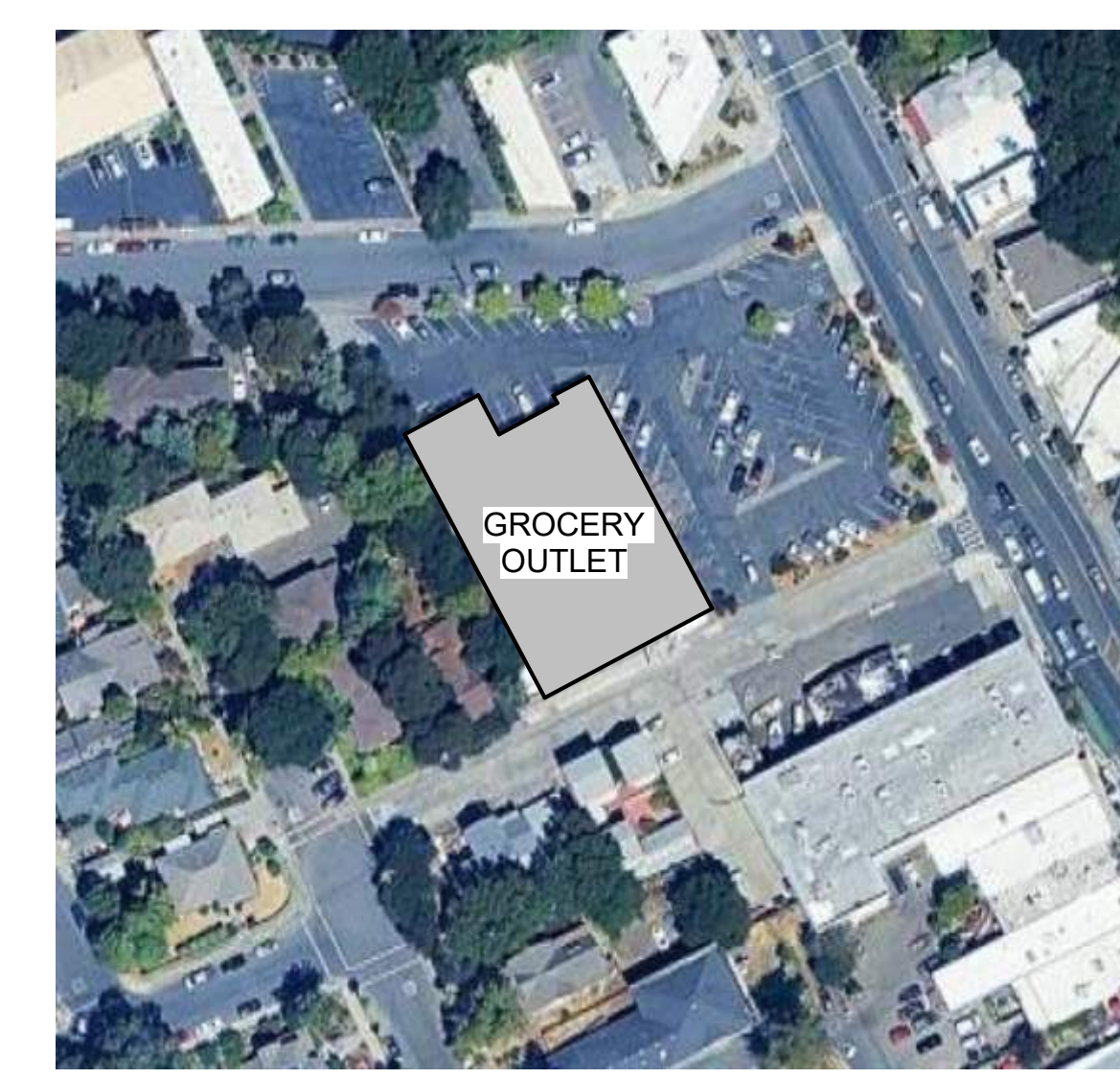
REFRIGERATION	16K VE - REAR LOAD
NUMBER OF BUNKERS	2
NUMBER OF BERRY BINS	2
NUMBER OF FREEZER DOORS	44
NUMBER OF COOLER DOORS	10
LENGTH OF REFRIGERATED PRODUCE CASES	24'-0"
LENGTH OF REFRIGERATED SALAD CASES	12'-0"
LENGTH OF REFRIGERATED DELI CASES	36'-0"
LENGTH OF REFRIGERATED MEAT CASES	16'-0"
LENGTH OF BEER CASE W/ DOORS	12'-0"
LENGTH OF SALES FLOOR GONDOLAS - 64" TALL	571'-0"
LENGTH OF SALES FLOOR GONDOLAS - 48" TALL	0'-0"
LENGTH OF BEER & WINE GONDOLAS	31'-0"
LENGTH OF STEEL SHELVES AT B.O.H. & COOLERS	101'-9"
TOTAL F.O.H. FLOOR AREA AND PERCENT OF OVERALL NET AREA	10,081 SF (69.3%)
TOTAL B.O.H. FLOOR AREA AND PERCENT OF OVERALL NET AREA	4,662 SF (31.0%)

SALES FLOOR SHELVING

DESCRIPTION	PROPOSED	16K	18K
FL. HT. GONDOLAS	571 LF	657 LF	877 LF



1 FLOOR PLAN - FIXTURE LAYOUT
1/8" = 1'-0"
TRUE NORTH



2 KEY PLAN
3/16" = 1'-0"

INTERIOR SIGNAGE
USE 4'-0" PACKAGE
LIGHTING AT +14'-0" A.F.F.

SERPENTINE
HEIGHT: 48"
BASE DEPTH: 18"
SHELF DEPTH: 16"
SHELVES PER SECTION: 3
COLOR: SAHARA

CENTER STORE
HEIGHT: 34"
BASE DEPTH: 32"
SHELF DEPTH: 28"
SHELVES PER SECTION: 6
COLOR: SAHARA

PERIMETER
HEIGHT: 54"
BASE DEPTH: 28"
SHELF DEPTH: 24"
SHELVES PER SECTION: 7
COLOR: SAHARA

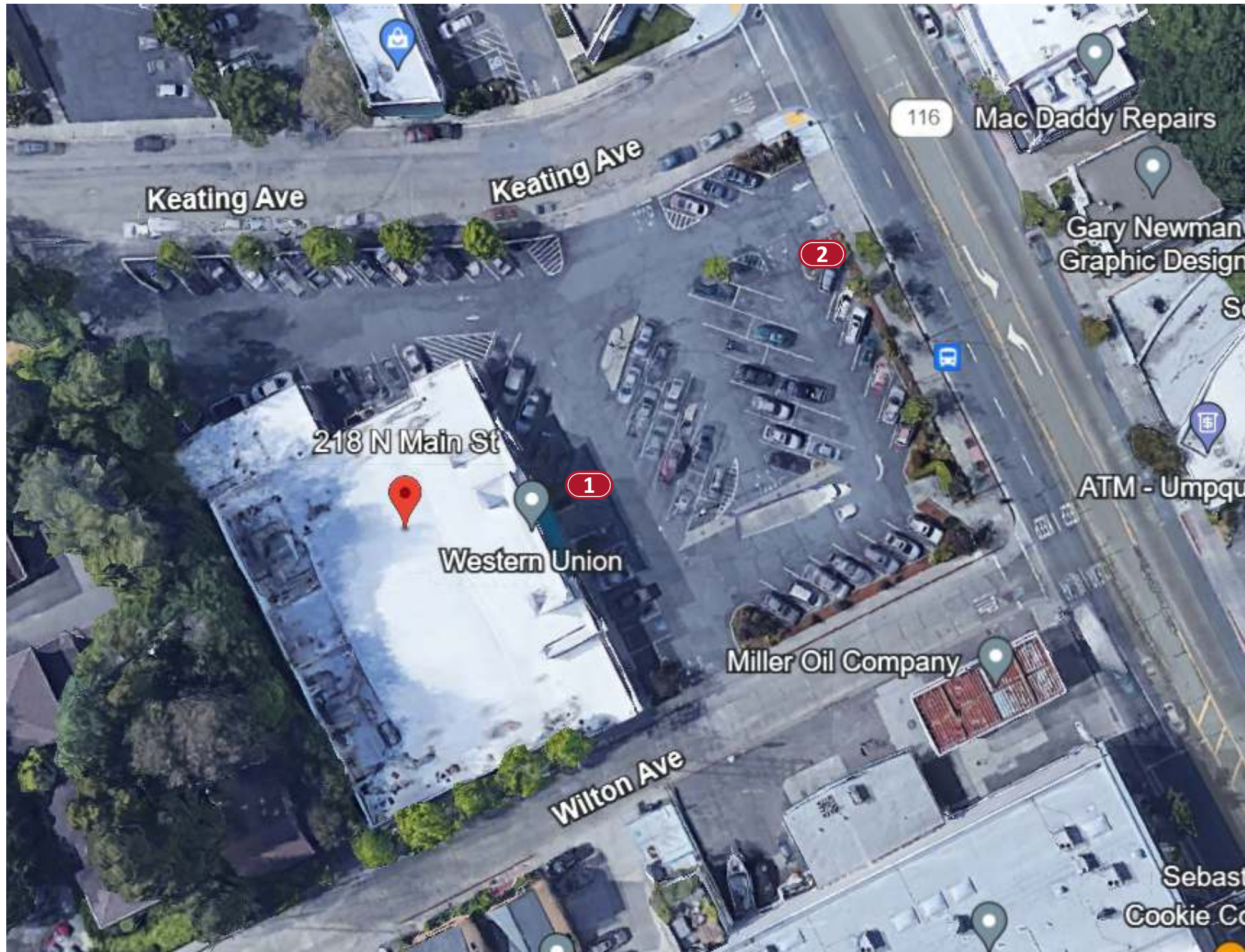
FIXTURE PLAN LEGEND:

- [Symbol] = BRASS BELL (AT CHECKSTAND #1)
- [Symbol] = ECO BAG GRIDS (3 - PER PLAN)

WALL LEGEND:

- [Symbol] = EXISTING SHELL STRUCTURAL WALLS
- [Symbol] = SHELL STRUCTURAL WALLS (CMU)
- [Symbol] = T.I. LOAD-BEARING / SHEAR WALLS
- [Symbol] = T.I. FULL HT. PARTITIONS (TO BOTTOM OF ROOF)
- [Symbol] = T.I. PARTITIONS (TO BOTTOM OF CEILING)
- [Symbol] = T.I. COOLER WALLS (BY MANUF.)

Last Modified: 4/16/2025, 3:15:15 PM Drawing Name: C:\Users\jason\Documents\59005_05_Sebastopol_CA_254 - General\jasonmark\F1-01.dwg



SITE PLAN

1	STOREFRONT SIGNAGE
2	PROPOSED MONUMENT SIGN

SITE PLAN : OVERVIEW

PRE-PERMIT SIGN INFO		Property ID:	GO
A.) Project Name:	Grocery Outlet	Date Completed:	7/7/2025
B.) Street Address:	218 N Main Street		
C.) City, State Zip:	Sebastopol, CA 95472		
D.) Municipal Contact:	Planning Dept (no response)		
E.) Contact Phone:	(707) 823-6167	Email:	kvsanstrom@cityofsebastopol.gov
F.) Address, City, ST Zip:	7120 Bodega Avenue Sebastopol, CA 95472		
G.) Jurisdiction:	City/Town of: Sebastopol	Fax:	Not available
H.) Zone/Category/Class:	DC / Downtown Core		
I.) Overlay/ MSP	No		
J.) Permit app fee:	\$30 min		
K.) Permit Process time:	30 days		
L.) Permit required to Reface?	Yes		
M.) Property Owner approval?	Yes	Engineer Seal Required?	OnRequest
N.) Temp./coming-soon Banners allowed? Size?	Size not stipulated		
O.) Temporary freestanding Signs allowed?Size?	Size not stipulated		
P.) Temp signs require a permit? Time allowed:	30 days before the event, & must be removed no more than 7 days after the event.		
Notes:	No response from City. All info based on zoning map and City Code. Please verify before submitting permits, if possible.		
ATTACHED SIGNS			
1.) Formula (Max: Main ID & Secondary):	Depends on building Frontage, see Note 1.. For buildings fronting on more than one public right-of-way, the length of two frontages may be used to calculate the total allowable sign area for all signs on the premises.		
2.) SqFt: sides/rear:	Formula		
3.) Transferrable?	No		
4.) # allowed:	Two see Note 2		
5.) Max. Overall Height:	Roofline/parapet		
6.) Calculation Method:	Sign area is defined as the area of a rectangle drawn around note 3		
7.) Cabinet signs allowed?	Yes (verify with LL)		
8.) Special Wall sign codes:	No		
9.) Storefront Bldg colors:	No		
FREESTANDING SIGNS			
1.) Formula (Max: Main ID & Secondary):	Depends on building frontage see Note 1.		
2.) # allowed:	One note 2		
3.) Height Max:	8' note 2		
4.) Set-back:	5' from sidewalk (or ROW if there is no sidewalk)		
DIRECTIONAL SIGNS			
1.) # Allowed:	As needed		
2.) Max. SqFt:	2 sf		
3.) Permit:	Yes		
VARIANCE			
1. Variance Meeting:	second and fourth Tuesdays of each month		
2. Processing Time:	2-3 months		
3. Attorney or expeditor required?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
4. Permit Docs: # of Sets	As advised		
5. Probability of approval?	Depends on hardship		
Other:	<input checked="" type="checkbox"/> Sign Details <input type="checkbox"/> Engineering Seal <input type="checkbox"/> UL Number <input checked="" type="checkbox"/> Building Elevations <input checked="" type="checkbox"/> Owner Authorization Ltr. <input type="checkbox"/> Property ID# <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> Legal Description <input type="checkbox"/> Addl Prof Seals		
Note:	<small>Sign criteria is reported as presented to us as of the "Date Completed". This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. Where required by local authority, it is understood a permit will be obtained prior to manufacture.</small>		

PRE-PERMIT SIGN INFO - Notes - Page 2		Property ID:	GO		
Note 1					
Table 17.120-1. Maximum Allowable Sign Area (Sq. Ft.)					
Building Frontage	Max. Allowable Sign Area	Building Frontage	Max. Allowable Sign Area	Building Frontage	Max. Allowable Sign Area
Up to 25'	25.0	43'	52.0	61'	79.0
26'	26.5	44'	53.5	62'	80.5
27'	28.0	45'	55.0	63'	82.0
28'	29.5	46'	56.5	64'	83.5
29'	31.0	47'	58.0	65'	85.0
30'	32.5	48'	59.5	66'	86.5
31'	34.0	49'	61.0	67'	88.0
32'	35.5	50'	62.5	68'	89.5
33'	37.0	51'	64.0	69'	91.0
34'	38.5	52'	65.5	70'	92.5
35'	40.0	53'	67.0	71'	94.0
36'	41.5	54'	68.5	72'	95.5
37'	43.0	55'	70.0	73'	97.0
38'	44.5	56'	71.5	74'	98.5
39'	46.0	57'	73.0	75'	100.0
40'	47.5	58'	74.5	76' - 100'	125.0
41'	49.0	59'	76.0	101' - 125'	150.0
42'	50.5	60'	77.5	126' +	175.0

PRE-PERMIT SIGN INFO - Additional Notes - Page 3		Property ID:	GO
Note 2			
Signs Permitted in Commercial and Office Districts.			
1. Each building is permitted to have one freestanding business identification sign. This sign may not exceed eight feet in height.			
2. A maximum of two window, awning, wall, or fascia business identification signs are permitted for each ground floor use or tenant. One of those two signs may be a projecting sign, providing that the sign does not exceed six square feet in area or 18 inches in height, and has a minimum clearance of seven and one-half feet above the sidewalk.			
3. Commercial or professional uses located above the main floor of the building may display permanent window, awning, or wall signs. The total sign area for each use shall be determined in accordance with SMC 17.120.050(A)(3).			
4. Temporary window signs related to special events, sales promotions, and the sale of merchandise are permitted for a period of 30 days only.			
5. Portable signs, consistent with SMC 17.120.020(A)(3)(d).			
6. A maximum of two area identification signs per entry, with a maximum height of eight feet and maximum total area of			
Note 3			
Computation of Frontage and Sign Area Calculations.			
1. "Sign area" is defined as the area of a rectangle drawn around the outermost area of sign copy, graphics, background materials, and borders or frame, and any similar display area which is capable of receiving copy at a future time. The structure supporting a sign is not included in determining the sign area, unless the structure contains advertising copy or business logo.			
2. The area of all signs which are governed by this chapter shall be included when determining compliance with the maximum allowable sign area.			

Code:
 Building frontage is 126'+, max allowed sign area is 175 sq ft.
 Including the backer panel. For buildings fronting on more than one public right-of-way,
 the length of two frontages may be used to calculate the total allowable sign area for
 all signs on the premises.
 # allowed - 2



STOREFRONT EAST ELEVATION

NOT TO SCALE

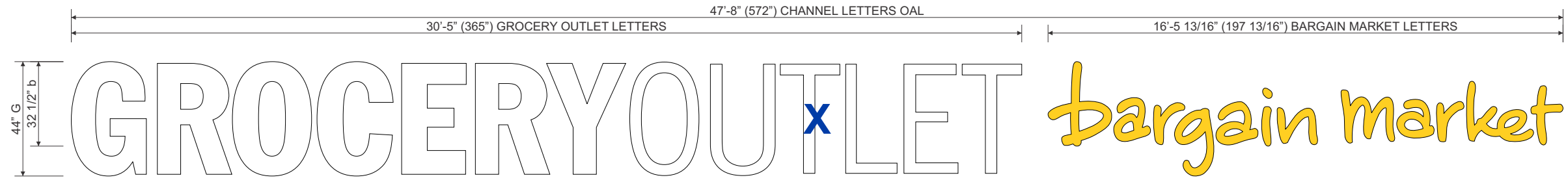
ADART
 700 Parker Sq STE 205
 Flower Mound, TX 75028
 T. 800.675.6353

Project: Grocery Outlet
Location: 218 N. Main Street
 Sebastopol, California 95472
Date: 10/3/25 **Sales:** DH **Designer:** MH
File Name: GO Sebastopol

Revision
 R6:MH:10/3/25:REVISED REMOVE OPTIONS.
 R7:MH:10/30/25:REVISED BUILDING.
 R8:MH:10/30/25:REVISED BUILDING.
 R9:MH:10/30/25:REVISED BUILDING.
 R10:

Approvals
Customer:
Landlord:

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1 CUSTOM : 44" FACE-LIT REMOTE CHANNEL LETTERS
(1) REQUIRED

SCALE: 1/4" = 1'-0"

Letters: 175.0 SF

SPECIFICATIONS

G.O. LETTERS:

- 5" DEEP ALUMINUM RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
- ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
- 1" BLACK TRIM CAP.
- 3/16" TH. WHITE ACRYLIC FACES WITH FIRST SURFACE RED VINYL.
- INTERNALLY ILLUMINATED WITH WHITE LEDS.

B.M. LETTERS:

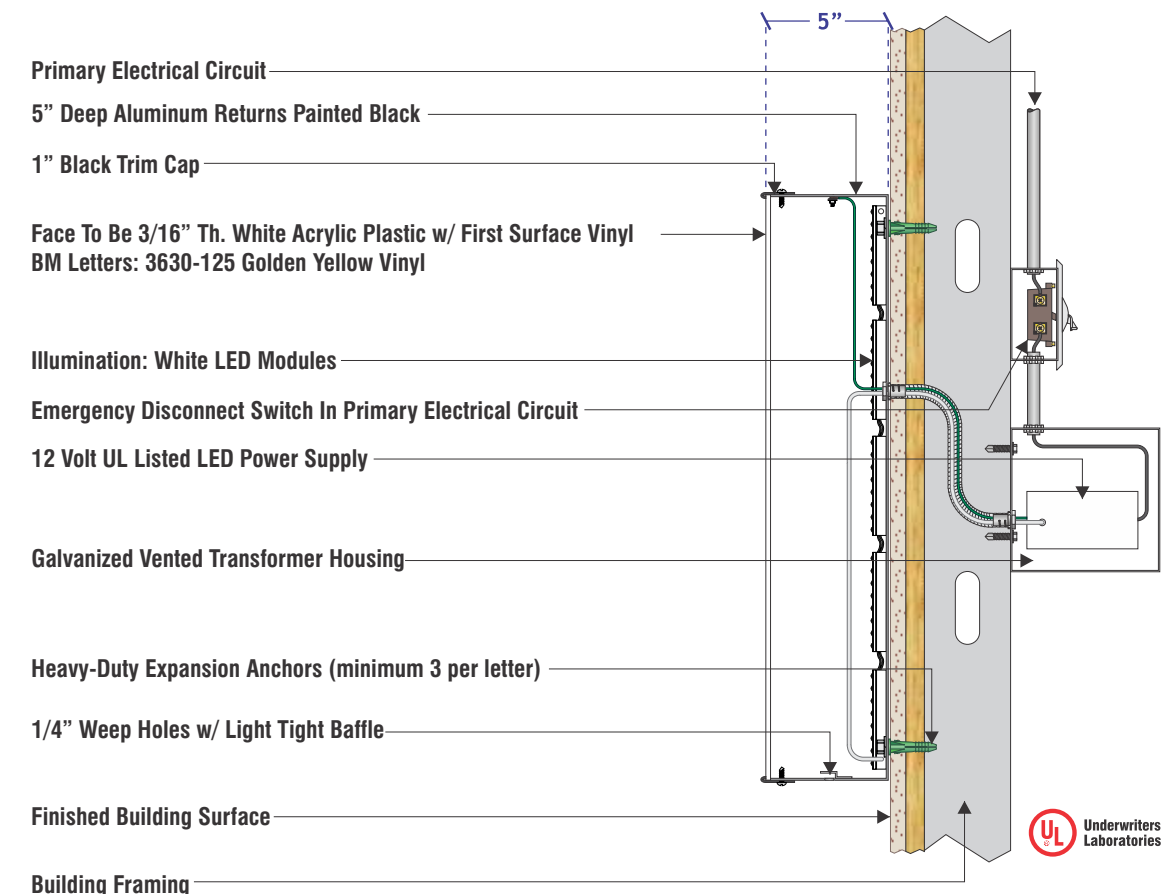
- 5" DEEP ALUMINUM RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
- ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
- 1" BLACK TRIM CAP.
- 3/16" TH. WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630125 GOLDEN YELLOW VINYL OVERLAYS.
- INTERNALLY ILLUMINATED WITH WHITE LEDS.

- CHANNEL LETTERS MOUNTED FLUSH TO FASCIA WITH APPROPRIATE NON-CORROSIVE MOUNTING HARDWARE.

GC TO PROVIDE (1) 20 AMP 120V DEDICATED CIRCUIT. THIS IS TO BE PLACED BEHIND THE WALL AT THE AT CENTER OF THE SIGN. (LETTER X)



VINYL COLOR SCHEDULE	
	3M 3630-73 DARK RED PMS 7621 C RED
	3M 3630-125 GOLDEN YELLOW PMS 1235 C YELLOW
	3M 3630-22 BLACK PMS BLACK
	3M 3630-20 WHITE PMS WHITE



700 Parker Sq STE 205
 Flower Mound, TX 75028
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Project: Grocery Outlet

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- R10:

Approvals

Customer:

Landlord:

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SHEET

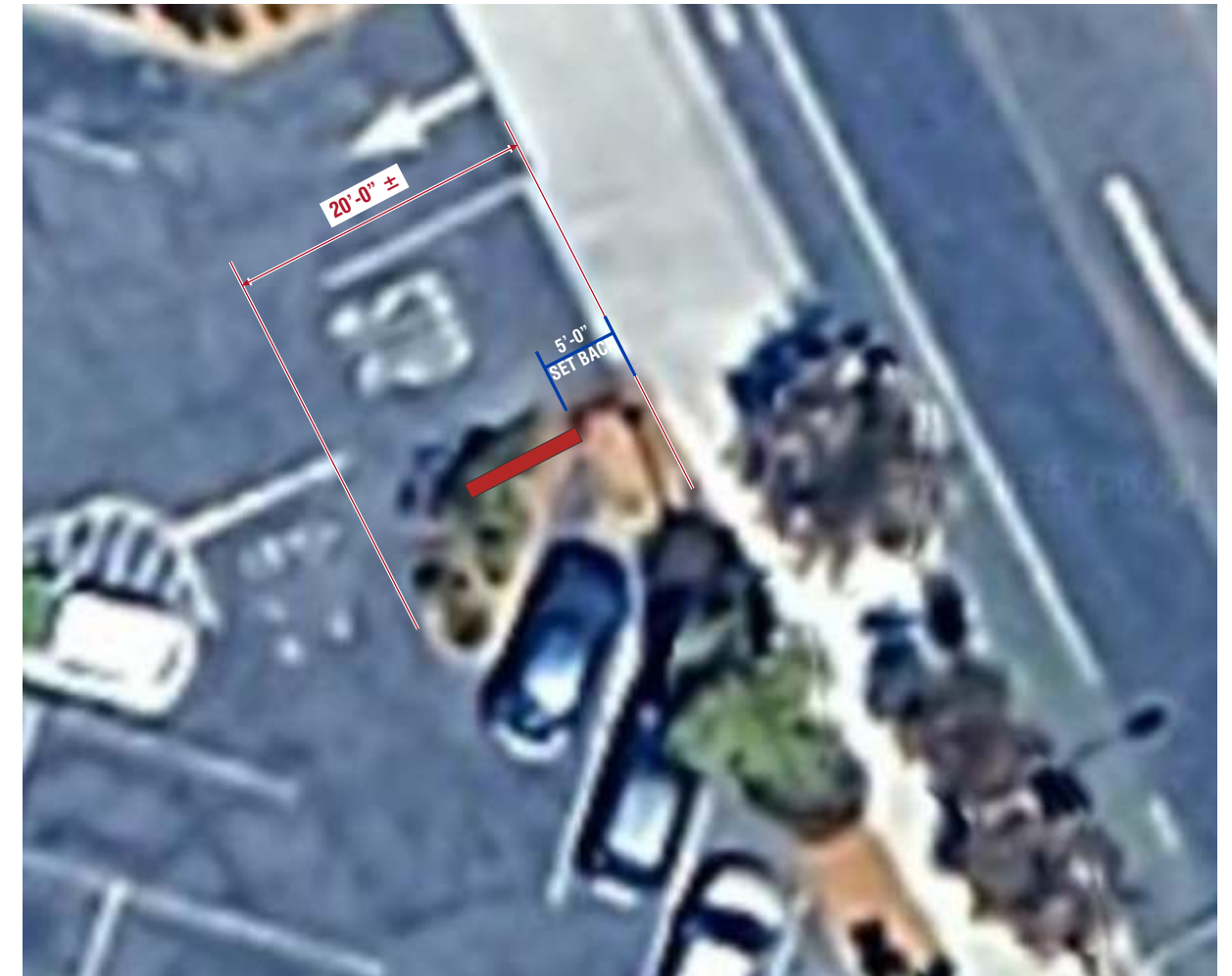
5



EXISTING ELEVATION



PROPOSED ELEVATION





SPECIFICATIONS

1. 12" DEEP ALUMINUM SKIN & FRAME CABINET FILLER PAINTED GO RED.
2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE
3. 2" EXTRUDED ALUMINUM RETAINER SECTIONS PAINTED GO RED.
4. FACES ARE WHITE LEXAN WITH FIRST SURFACE 3M 3630-73 DARK RED VINYL REVERSE CUT TO SHOW ALL LOGO COPY THRU WHITE.
5. 3M 3630-125 GOLDEN YELLOW VINYL BARGAIN MARKET COPY.
6. INTERNALLY ILLUMINATED WITH WHITE LEDS.
7. 12" DEEP ALUMINUM POLE COVER CLADDING & 2' REVEAL SECTION PAINTED BENJAMIN-MOORE HC-39 PUTNAM IVORY.

VINYL COLOR SCHEDULE	
	3M 3630-73 DARK RED PMS 7621 C RED
	3M 3630-125 GOLDEN YELLOW PMS 1235 C YELLOW
	3M 3630-22 BLACK PMS BLACK
	3M 3630-20 WHITE PMS WHITE
PAINT COLOR SCHEDULE	
	P-6 GROCERY OUTLET LIGHT GRAY

2 PROPOSED : D/F INTERNALLY ILLUMINATED MONUMENT SIGN CABINET / STRUCTURE
(1) REQUIRED

SCALE: 1/2" = 1'-0"
Cabinet: 40.0 SF



700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Grocery Outlet

Location: 218 N. Main Street
Sebastopol, California 95472

Date: 10/3/25 **Sales:** DH **Designer:** MH
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- R9:MH:10/30/25:REVISED BUILDING.
- R10:

Approvals

Customer: _____

Landlord: _____

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SHEET

7