



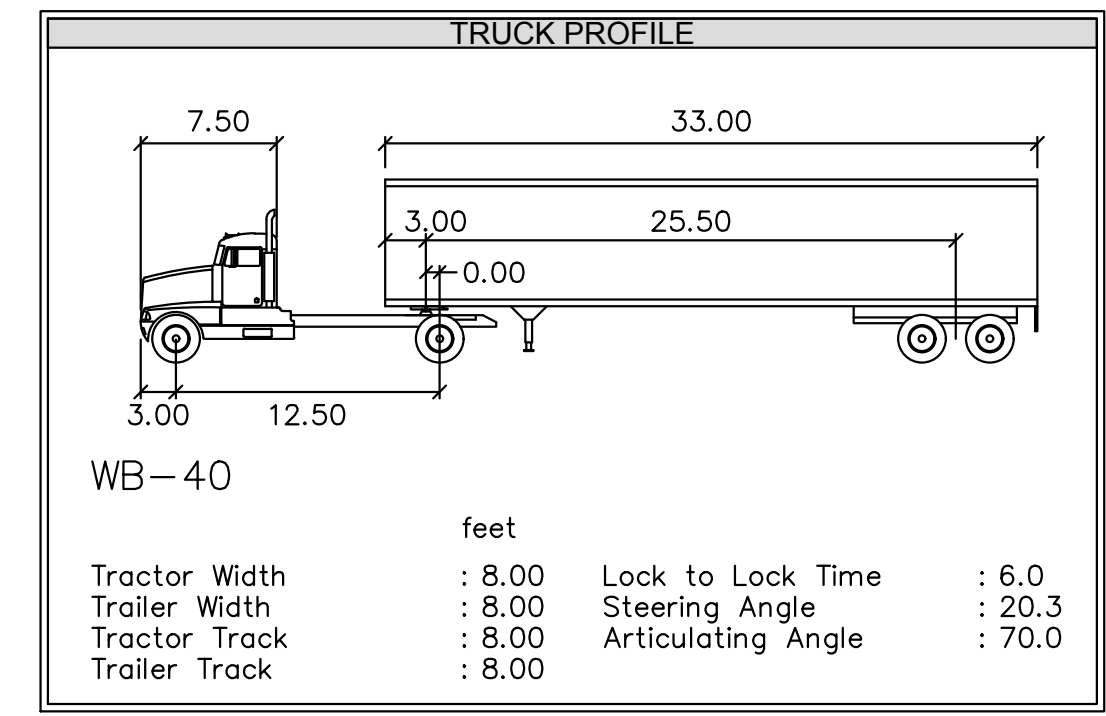
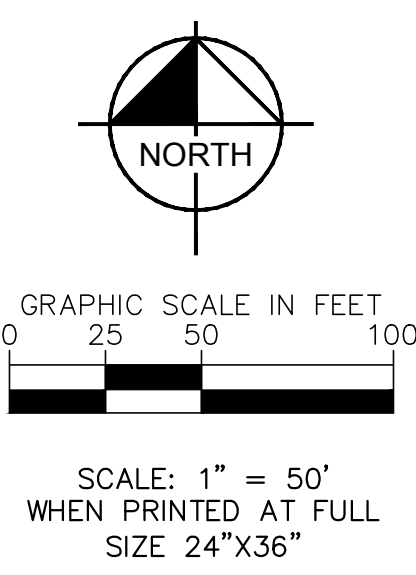


Plotted By: Ortuno, Esteban  
 Sheet Set: Kha\_Layout: WB-40 TT Exhibit March 04, 2024 10:06:13am K:\ORA\_LDEV\Grocery Outlet\XXXXXXXX - Sebastopol\CAD\Exhibits\Truck Turn\Truck Turn.dwg  
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KEYNOTE LEGEND	
(A)	PROPOSED GROCERY OUTLET LOCATION.
(B)	TRUCK PATH CONFLICTS WITH EXISTING CURB.

- PLAN NOTES**
1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION FROM:  
218 N MAIN STREET, SEBASTOPOL, CA  
DATED: 07/04/2023
  2. THIS PLAN WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
  3. THIS PLAN IS PRELIMINARY IN NATURE AND SHOULD NOT BE USED FOR ZONING ANALYSIS. PREPARATION OF A SITE SURVEY AND ADDITIONAL EVALUATION WILL BE REQUIRED TO DETERMINE THE FEASIBILITY OF THE PROPOSED TRUCK MOVEMENT AND TO REVIEW ZONING REQUIREMENTS.
  4. A WB-40 TRUCK IS RECOMMENDED AS IT HAS THE SPACE TO MANEUVER THE SITE WITHOUT MAJOR CONFLICT.
  6. A WB-67 TRUCK MANEUVER ALONG N MAIN STREET WITH A REVERSE MANEUVER WITHIN KEATING AVENUE AS SHOWN ON PLAN WOULD LIKELY RECEIVE CITY PUSHBACK AND WE DO NOT RECOMMEND THIS MOVEMENT AS THERE ARE SAFETY CONCERNS WITH ONCOMING TRAFFIC AND ENCROACHMENT INTO OPPOSING LANES. THE EXIT MANEUVER WILL ALSO HAVE MAJOR CONFLICT WITH EXISTING CONCRETE CURB/RAMP.



No.	REVISIONS	DATE	BY

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92868  
 PHONE: 714-939-1030 FAX: 714-938-9488  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	194156109
DATE	03/04/2024
SCALE	AS SHOWN
DESIGNED BY	IL
DRAWN BY	IL
CHECKED BY	TK

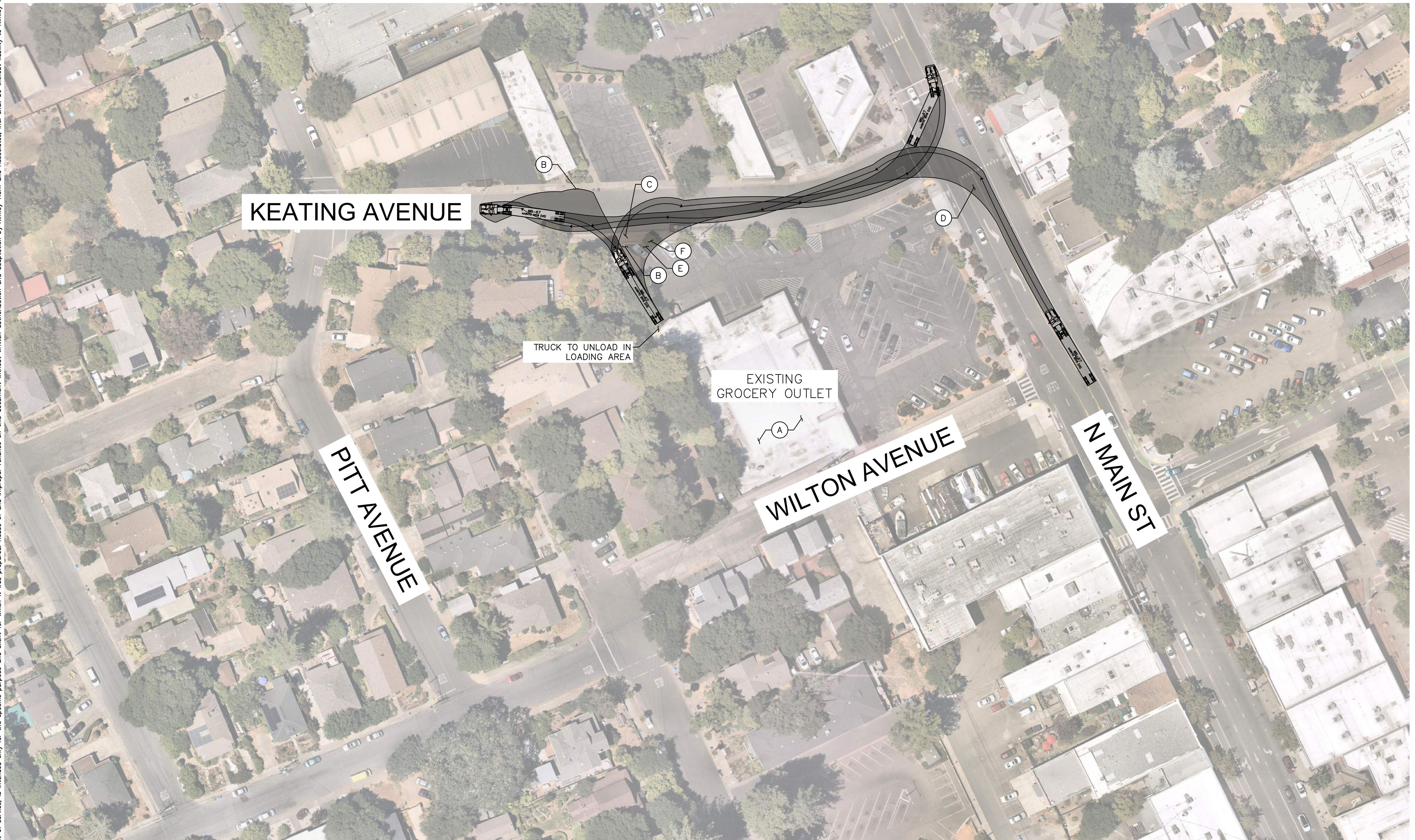
218 N MAIN ST, SEBASTOPOL, CA  
 PREPARED FOR  
**GROCERY OUTLET**  
 SONOMA COUNTY CA

TRUCK TURN EXHIBIT

SHEET NUMBER

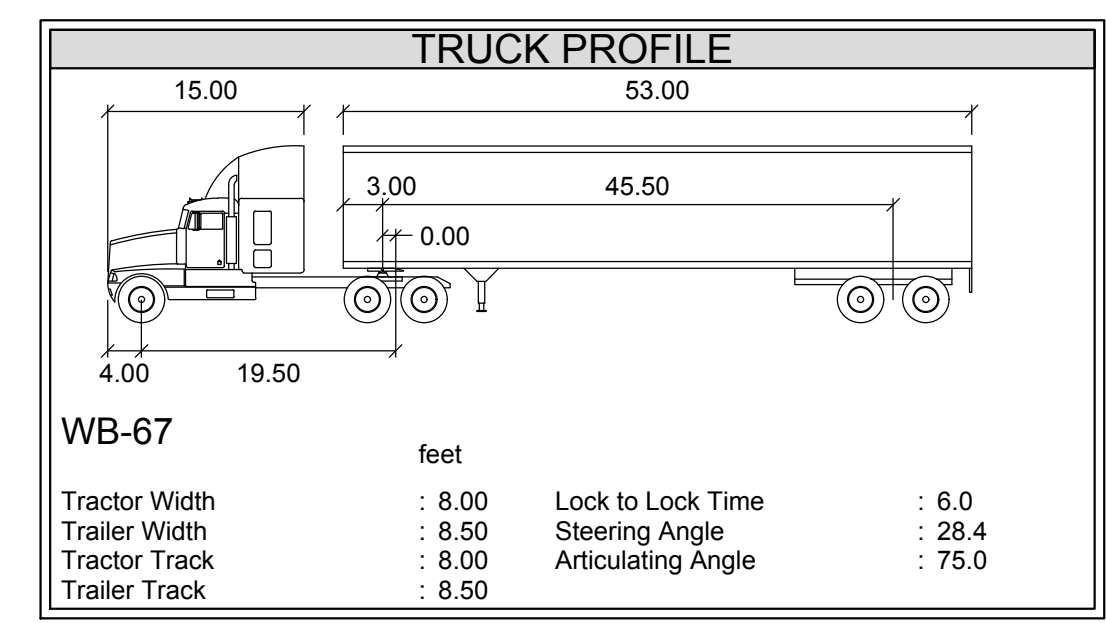
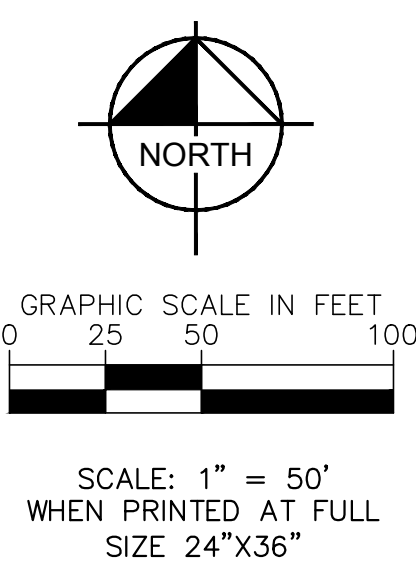
2

Plotted By: Ortuno, Esteban. Sheet Set: Kha\_Layout: WB-67 TT Exhibit. March 04, 2024. 09:59:26am. K:\ORA\_LDEV\Grocery Outlet\XXXXXXXXXX - Sebastopol\CAD\Exhibits\Truck Turn\Truck Turn.dwg  
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KEYNOTE LEGEND	
(A)	EXISTING GROCERY OUTLET LOCATION.
(B)	TRUCK PATH CONFLICTS WITH EXISTING CONCRETE CURB.
(C)	TRUCK PATH CONFLICTS WITH EXISTING CONCRETE RAMP.
(D)	TRUCK PATH CONFLICTS WITH OPPOSING TRAFFIC LANE.
(E)	TRUCK PATH CONFLICTS WITH EXISTING PARKING STALLS (2).
(F)	TRUCK PATH CONFLICTS WITH EXISTING TREE.

- PLAN NOTES**
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KHA PROJECT 194156109  
 DATE 03/04/2024  
 SCALE AS SHOWN  
 DESIGNED BY IL  
 DRAWN BY IL  
 CHECKED BY TK

218 N MAIN ST, SEBASTOPOL, CA  
 PREPARED FOR  
 GROCERY OUTLET

SONOMA COUNTY CA

TRUCK TURN EXHIBIT

SHEET NUMBER

1



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**PROJECT TEAM**



**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
02/29/2024	COLOR ELEVATION V1
06/09/2025	COLOR ELEVATION V2
07/01/2025	COLOR ELEVATION V3
07/03/2025	COLOR ELEVATION V4

**PROFESSIONAL SEAL**



**PROFESSIONAL IN CHARGE**  
CELSO SANCHEZ  
**PROJECT MANAGER**  
TANIA GRIFFIN  
**QUALITY CONTROL**

**DRAWN BY**  
IAN SANCHEZ / PRANAY SHARMA

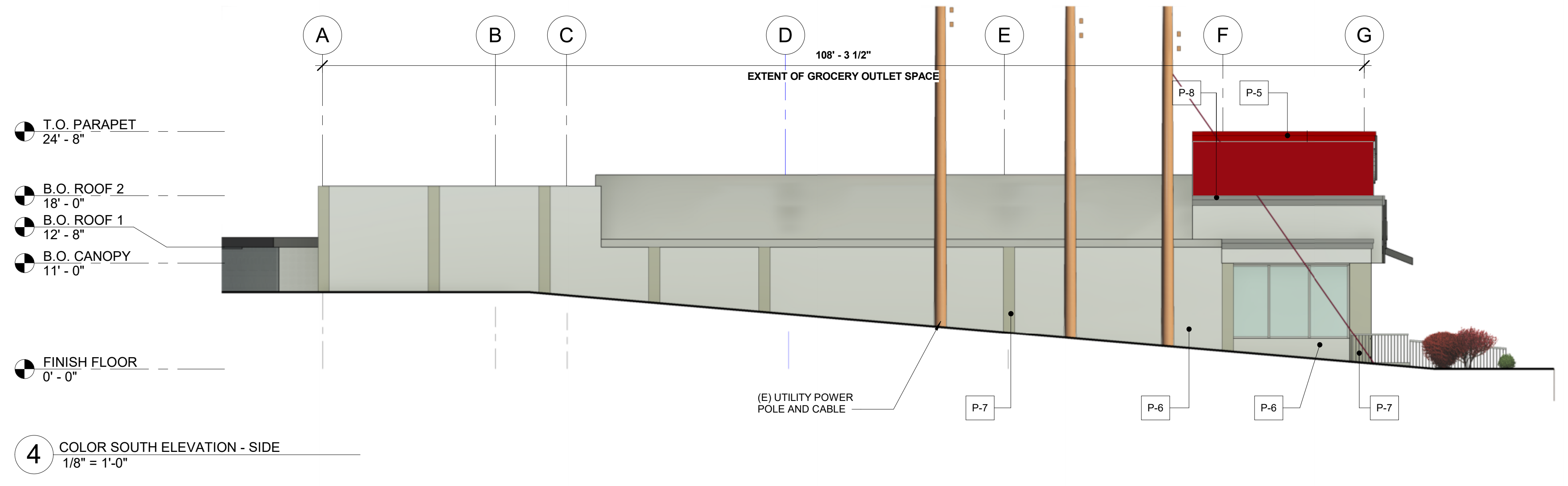
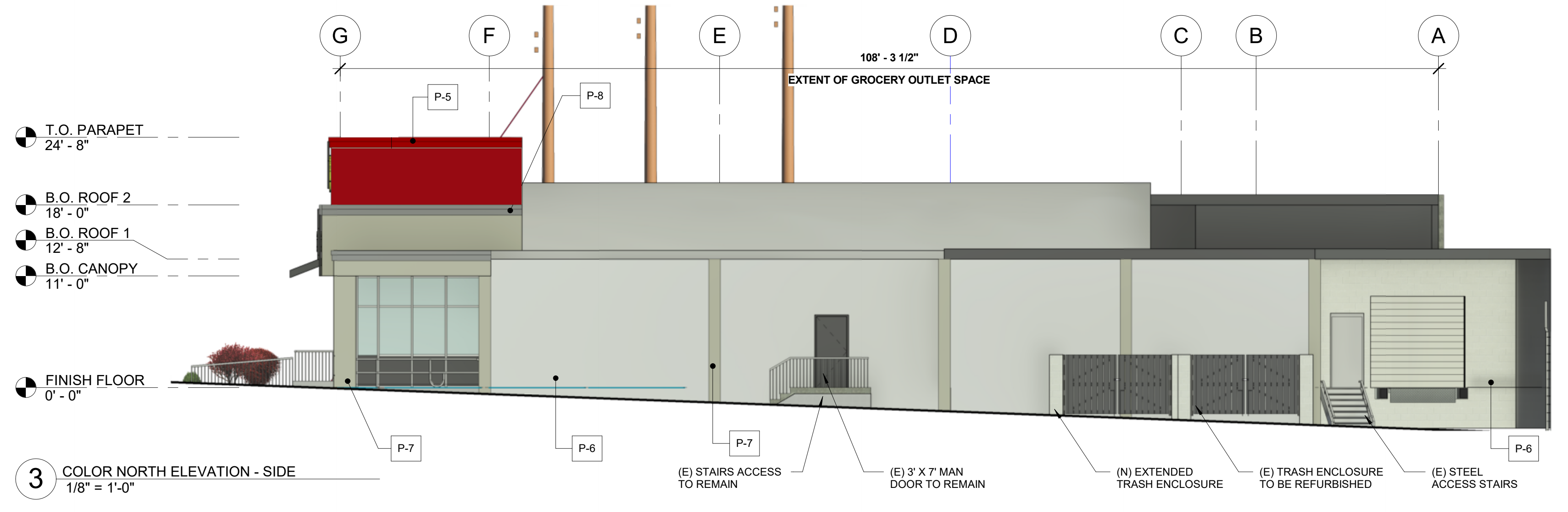
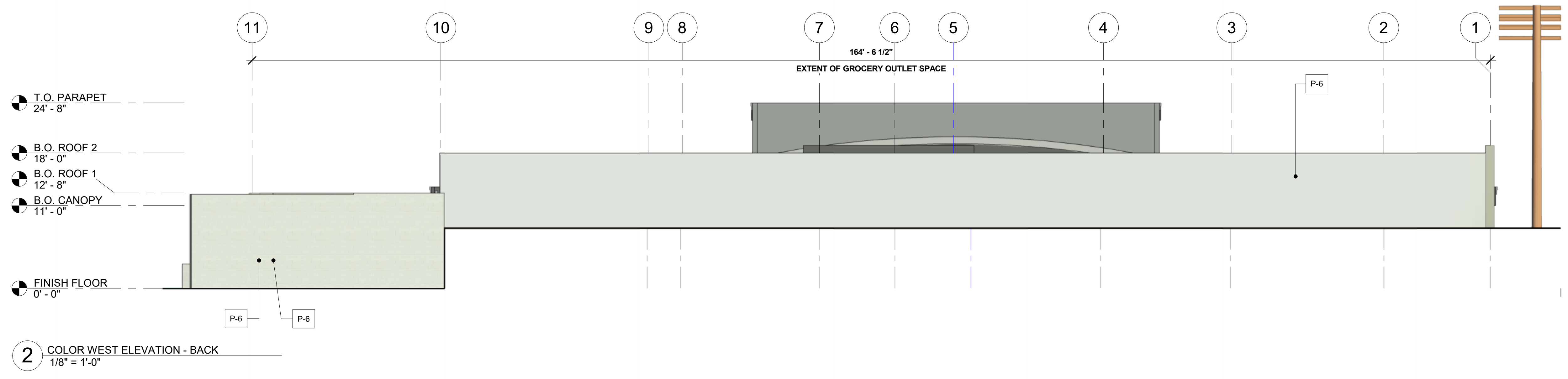
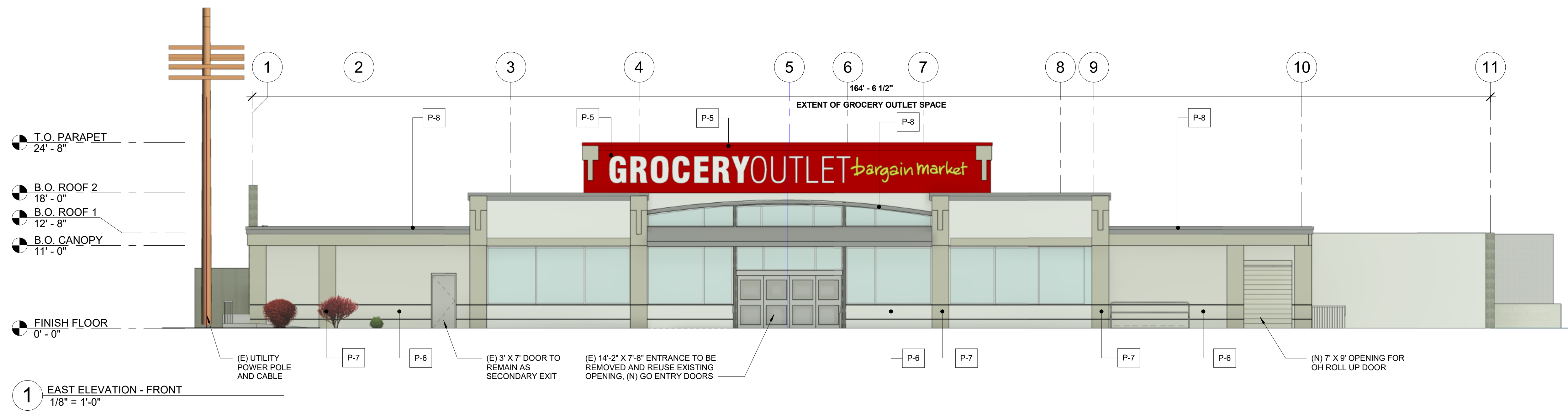
**PROJECT NAME**  
**GROCERY OUTLET**  
218 N MAIN ST,  
SEBASTOPOLE, CA 95472

**PROJECT NUMBER**  
XXXXXXXXXX

**SHEET TITLE**  
**COLOR ELEVATIONS**

**SHEET NUMBER**

**F2-01**



P-5 USED TO PAINT CEMENT PLASTER/CORNICHE	P-6 USED TO PAINT CEMENT PLASTER/CMU
P-7 USED TO PAINT CEMENT PLASTER	P-8 USED TO PAINT CEMENT PLASTER/CMU

**EXTERIOR PAINT SCHEDULE**

MARK	PAINT NAME
P-5	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET RED"
P-6	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET SHORELINE"
P-7	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET GRAY"
P-8	MFR: SHERWIN WILLIAMS, COLOR: "GROCERY OUTLET CHARCOAL"

# GROCERY OUTLET

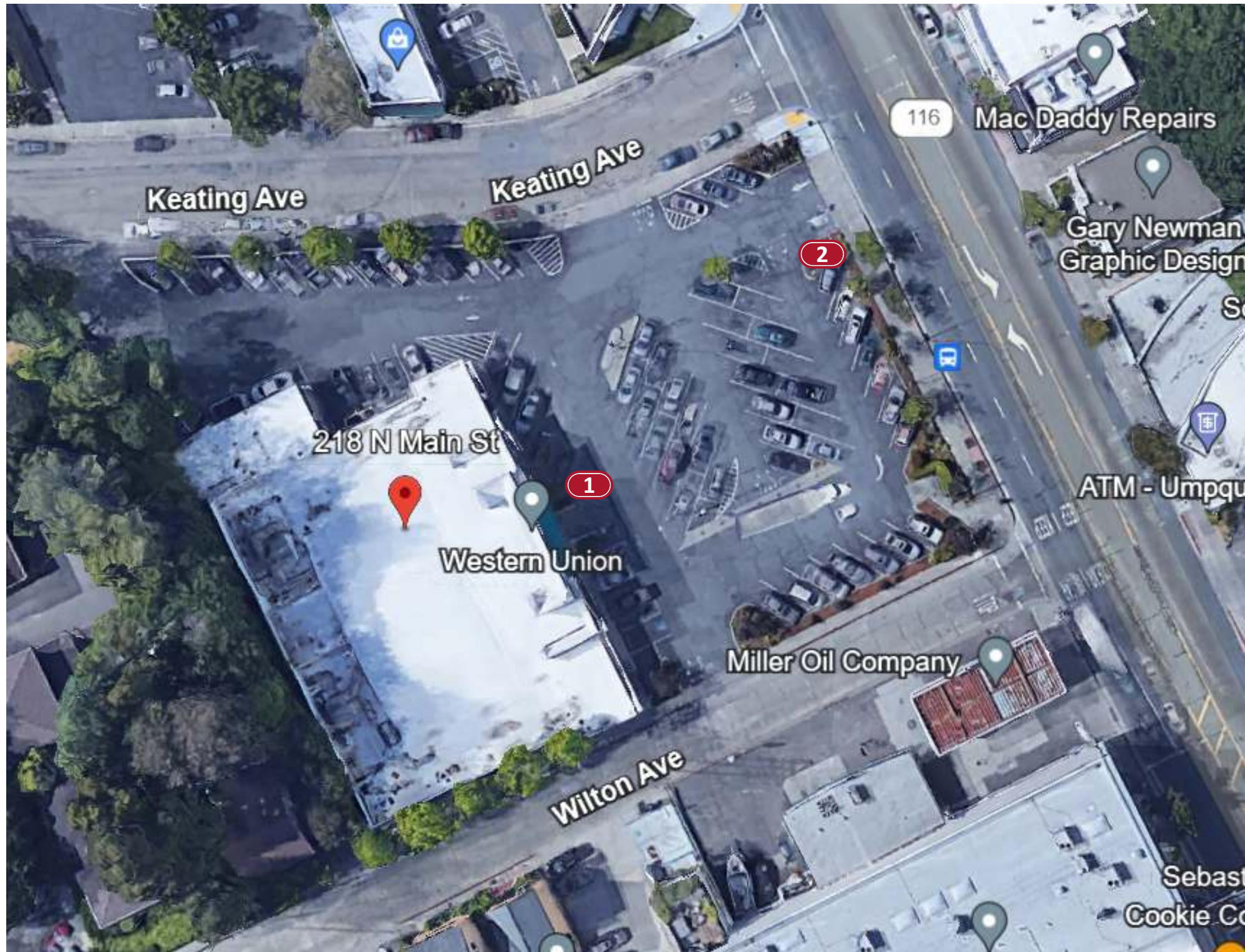
*bargain market*

218 N. Main Street  
Sebastopol, California 95472

Offered by:



700 PARKER SQUARE  
SUITE 205  
FLOWER MOUND, TX 75028  
T. 800.675.6353



SITE PLAN

<b>1</b>	STOREFRONT SIGNAGE
<b>2</b>	PROPOSED MONUMENT SIGN

SITE PLAN : OVERVIEW

PRE-PERMIT SIGN INFO		Property ID:	GO
A.) Project Name:	Grocery Outlet	Date Completed:	7/7/2025
B.) Street Address:	218 N Main Street		
C.) City, State Zip:	Sebastopol, CA 95472		
D.) Municipal Contact:	Planning Dept (no response)		
E.) Contact Phone:	(707) 823-6167	Email:	kvanstrom@cityofsebastopol.gov
F.) Address, City, ST Zip:	7120 Bodega Avenue Sebastopol, CA 95472		
G.) Jurisdiction:	City/Town of: Sebastopol	Fax:	Not available
H.) Zone/Category/Class:	DC / Downtown Core		
I.) Overlay/ MSP	No		
J.) Permit app fee:	\$30 min		
K.) Permit Process time:	30 days		
L.) Permit required to Reface?	Yes		
M.) Property Owner approval?	Yes	Engineer Seal Required?	OnRequest
N.) Temp./coming-soon Banners allowed? Size?	Size not stipulated		
O.) Temporary freestanding Signs allowed?Size?	Size not stipulated		
P.) Temp signs require a permit? Time allowed:	30 days before the event, & must be removed no more than 7 days after the event.		
Notes:	No response from City. All info based on zoning map and City Code. Please verify before submitting permits, if possible.		
ATTACHED SIGNS			
1.) Formula (Max: Main ID & Secondary):	Depends on building Frontage, see Note 1.. For buildings fronting on more than one public right-of-way, the length of two frontages may be used to calculate the total allowable sign area for all signs on the premises.		
2.) SqFt: sides/rear:	Formula		
3.) Transferrable?	No		
4.) # allowed:	Two see Note 2	Illumination:	Internal/External
5.) Max. Overall Height:	Roofline/parapet		
6.) Calculation Method:	Sign area is defined as the area of a rectangle drawn around note 3		
7.) Cabinet signs allowed?	Yes (verify with LL)		
8.) Special Wall sign codes:	No		
9.) Storefront Bldg colors:	No		
FREESTANDING SIGNS			
1.) Formula (Max: Main ID & Secondary):	Depends on building frontage see Note 1.		
2.) # allowed:	One note 2	Illumination:	Internal/External
3.) Height Max:	8' note 2	Grade-to-sign Clearance:	Not stipulated
4.) Set-back:	5' from sidewalk (or ROW if there is no sidewalk)	Calculation Method:	Largest face
DIRECTIONAL SIGNS			
1.) # Allowed:	As needed	Illumination:	Not stipulated
2.) Max. SqFt:	2 sf	Max. Height:	5'
3.) Permit:	Yes	Custom Logo:	Shall not advertise in any way
VARIANCE			
1. Variance Meeting:	second and fourth Tuesdays of each month	App. Deadline:	30 days
2. Processing Time:	2-3 months	Est. Fees:	\$100 min
3. Attorney or expeditor required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Permit Docs: # of Sets	As advised	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Probability of approval?	Depends on hardship	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other:			
Note:			
<small>Sign criteria is reported as presented to us as of the "Date Completed". This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. Where required by local authority, it is understood a permit will be obtained prior to manufacture.</small>			

PRE-PERMIT SIGN INFO - Notes - Page 2		Property ID:	GO		
Note 1					
Table 17.120-1. Maximum Allowable Sign Area (Sq. Ft.)					
Building Frontage	Max. Allowable Sign Area	Building Frontage	Max. Allowable Sign Area	Building Frontage	Max. Allowable Sign Area
Up to 25'	25.0	43'	52.0	61'	79.0
26'	26.5	44'	53.5	62'	80.5
27'	28.0	45'	55.0	63'	82.0
28'	29.5	46'	56.5	64'	83.5
29'	31.0	47'	58.0	65'	85.0
30'	32.5	48'	59.5	66'	86.5
31'	34.0	49'	61.0	67'	88.0
32'	35.5	50'	62.5	68'	89.5
33'	37.0	51'	64.0	69'	91.0
34'	38.5	52'	65.5	70'	92.5
35'	40.0	53'	67.0	71'	94.0
36'	41.5	54'	68.5	72'	95.5
37'	43.0	55'	70.0	73'	97.0
38'	44.5	56'	71.5	74'	98.5
39'	46.0	57'	73.0	75'	100.0
40'	47.5	58'	74.5	76' - 100'	125.0
41'	49.0	59'	76.0	101' - 125'	150.0
42'	50.5	60'	77.5	126' +	175.0

PRE-PERMIT SIGN INFO - Additional Notes - Page 3		Property ID:	GO
Note 2			
Signs Permitted in Commercial and Office Districts.			
1. Each building is permitted to have one freestanding business identification sign. This sign may not exceed eight feet in height.			
2. A maximum of two window, awning, wall, or fascia business identification signs are permitted for each ground floor use or tenant. One of those two signs may be a projecting sign, providing that the sign does not exceed six square feet in area or 18 inches in height, and has a minimum clearance of seven and one-half feet above the sidewalk.			
3. Commercial or professional uses located above the main floor of the building may display permanent window, awning, or wall signs. The total sign area for each use shall be determined in accordance with SMC 17.120.050(A)(3).			
4. Temporary window signs related to special events, sales promotions, and the sale of merchandise are permitted for a period of 30 days only.			
5. Portable signs, consistent with SMC 17.120.020(A)(3)(d).			
6. A maximum of two area identification signs per entry, with a maximum height of eight feet and maximum total area of			
Note 3			
Computation of Frontage and Sign Area Calculations.			
1. "Sign area" is defined as the area of a rectangle drawn around the outermost area of sign copy, graphics, background materials, and borders or frame, and any similar display area which is capable of receiving copy at a future time. The structure supporting a sign is not included in determining the sign area, unless the structure contains advertising copy or business logo.			
2. The area of all signs which are governed by this chapter shall be included when determining compliance with the maximum allowable sign area.			

**Code:**  
 Building frontage is 126'+, max allowed sign area is 175 sq ft.  
 Including the backer panel. For buildings fronting on more than one public right-of-way,  
 the length of two frontages may be used to calculate the total allowable sign area for  
 all signs on the premises.  
 # allowed - 2



**STOREFRONT EAST ELEVATION**

NOT TO SCALE

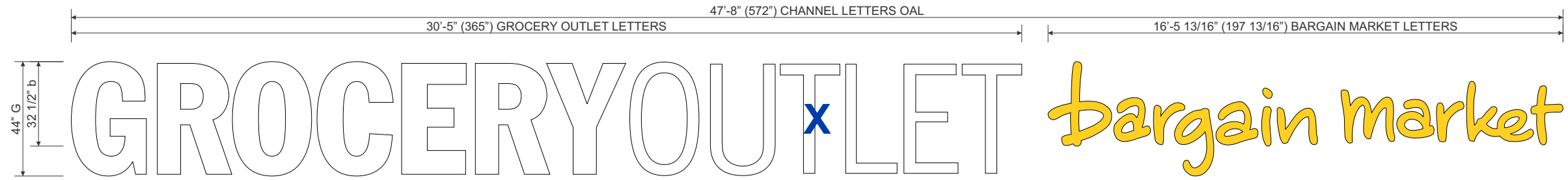
**ADART**  
 700 Parker Sq STE 205  
 Flower Mound, TX 75028  
 T. 800.675.6353

**Project:** Grocery Outlet  
**Location:** 218 N. Main Street  
 Sebastopol, California 95472  
**Date:** 10/3/25 **Sales:** DH **Designer:** MH  
**File Name:** GO Sebastopol

**Revision**  
 R6:MH:10/3/25:REVISED REMOVE OPTIONS.  
 R7:MH:10/30/25:REVISED BUILDING.  
 R8:MH:10/30/25:REVISED BUILDING.  
 R9:MH:10/30/25:REVISED BUILDING.  
 R10:

**Approvals**  
**Customer:**  
**Landlord:**

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**1 CUSTOM : 44" FACE-LIT REMOTE CHANNEL LETTERS**  
**( 1 ) REQUIRED**

SCALE: 1/4" = 1'-0"

Letters: 175.0 SF

**SPECIFICATIONS**

**G.O. LETTERS:**

1. 5" DEEP ALUMINUM RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
2. ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
3. 1" BLACK TRIM CAP.
4. 3/16" TH. WHITE ACRYLIC FACES WITH FIRST SURFACE RED VINYL.
5. INTERNALLY ILLUMINATED WITH WHITE LEDS.





**B.M. LETTERS:**

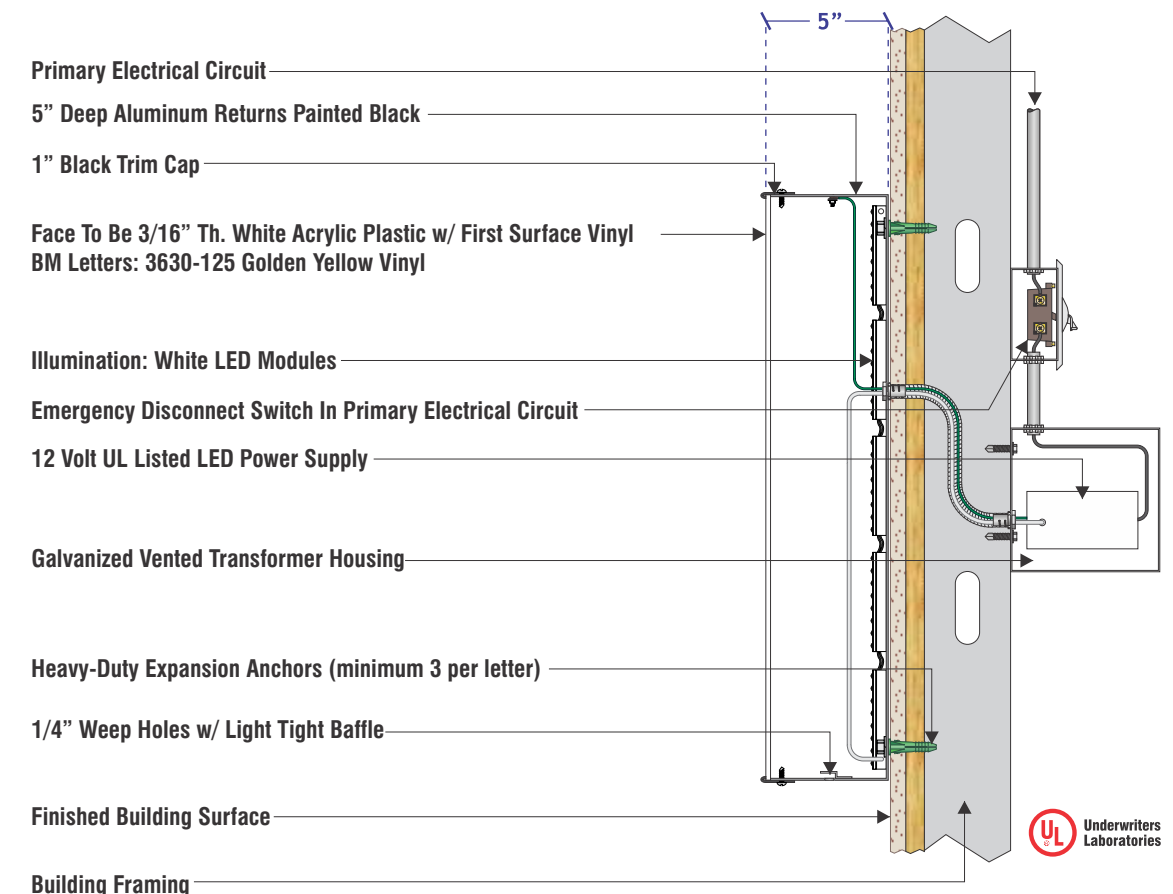
1. 5" DEEP ALUMINUM RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
2. ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
3. 1" BLACK TRIM CAP.
4. 3/16" TH. WHITE ACRYLIC FACES WITH FIRST SURFACE 3M 3630125 GOLDEN YELLOW VINYL OVERLAYS.
5. INTERNALLY ILLUMINATED WITH WHITE LEDS.

1. CHANNEL LETTERS MOUNTED FLUSH TO FASCIA WITH APPROPRIATE NON-CORROSIVE MOUNTING HARDWARE.

**GC TO PROVIDE (1) 20 AMP 120V DEDICATED CIRCUIT. THIS IS TO BE PLACED BEHIND THE WALL AT THE AT CENTER OF THE SIGN. (LETTER X)**



VINYL COLOR SCHEDULE	
	3M 3630-73 DARK RED PMS 7621 C RED
	3M 3630-125 GOLDEN YELLOW PMS 1235 C YELLOW
	3M 3630-22 BLACK PMS BLACK
	3M 3630-20 WHITE PMS WHITE



700 Parker Sq STE 205  
 Flower Mound, TX 75028  
 T. 800.675.6353

**Project:** Grocery Outlet

**Location:** 218 N. Main Street  
 Sebastopol, California 95472

**Date:** 10/3/25 **Sales:** DH **Designer:** MH  
**File Name:** GO Sebastopol

**Revision**

- R6:MH:10/3/25:REVISED REMOVE OPTIONS.
- R7:MH:10/30/25:REVISED BUILDING.
- R8:MH:10/30/25:REVISED BUILDING.
- R9:MH:10/30/25:REVISED BUILDING.
- R10:

**Approvals**

**Customer:**

**Landlord:**

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**SHEET**

**5**

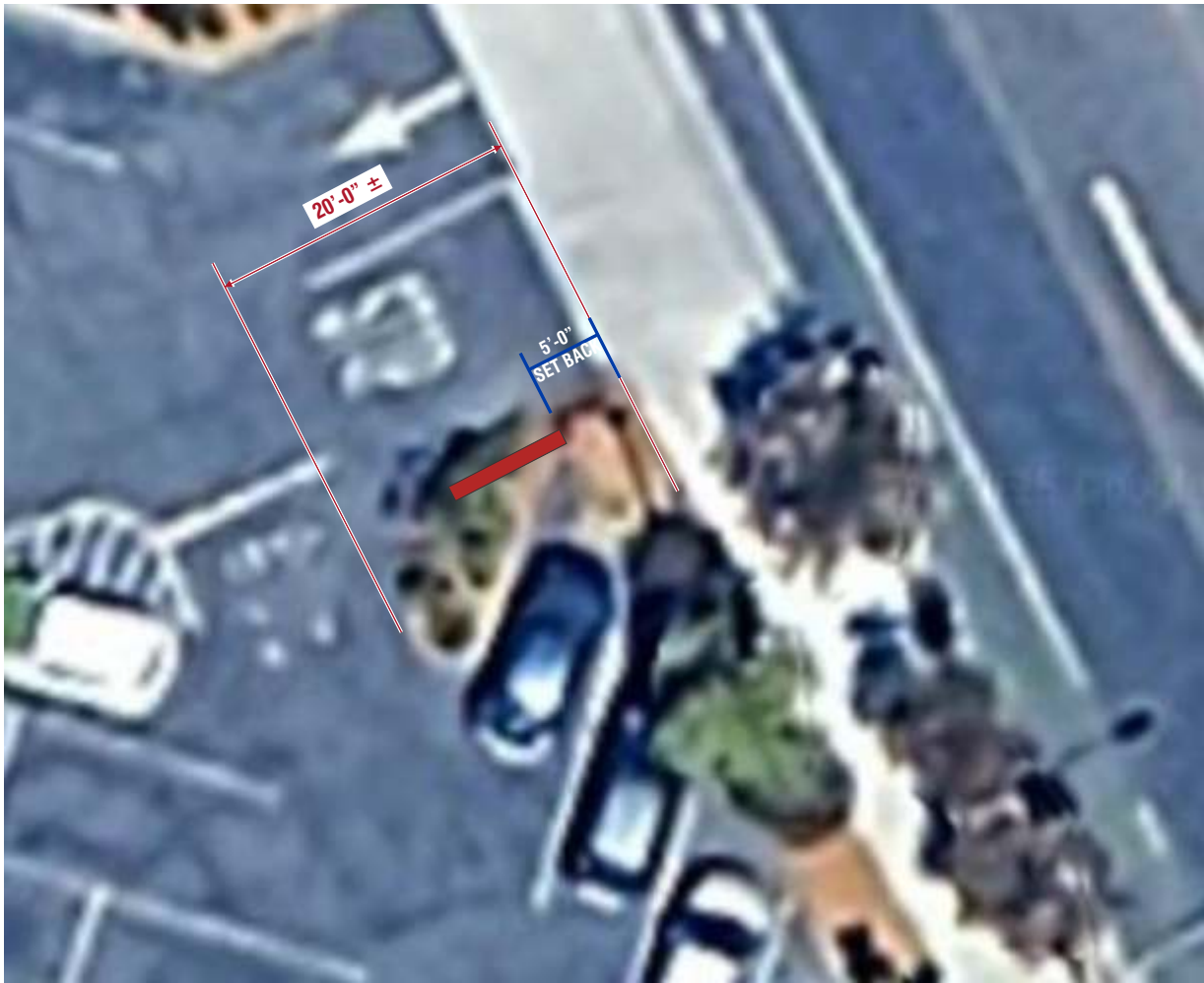




EXISTING ELEVATION



PROPOSED ELEVATION



SITE PLAN



700 Parker Sq STE 205  
Flower Mound, TX 75028  
T. 800.675.6353

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**Location:** 218 N. Main Street  
Sebastopol, California 95472

**Date:** 10/3/25 **Sales:** DH **Designer:** MH  
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- R10:

**Approvals**

**Customer:** \_\_\_\_\_

**Landlord:** \_\_\_\_\_

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SHEET

6



**SPECIFICATIONS**

1. 12" DEEP ALUMINUM SKIN & FRAME CABINET FILLER PAINTED GO RED.
2. ALL CABINET INTERIORS PAINTED LIGHT ENHANCEMENT WHITE
3. 2" EXTRUDED ALUMINUM RETAINER SECTIONS PAINTED GO RED.
4. FACES ARE WHITE LEXAN WITH FIRST SURFACE 3M 3630-73 DARK RED VINYL REVERSE CUT TO SHOW ALL LOGO COPY THRU WHITE.
5. 3M 3630-125 GOLDEN YELLOW VINYL BARGAIN MARKET COPY.
6. INTERNALLY ILLUMINATED WITH WHITE LEDS.
7. 12" DEEP ALUMINUM POLE COVER CLADDING & 2' REVEAL SECTION PAINTED BENJAMIN-MOORE HC-39 PUTNAM IVORY.

VINYL COLOR SCHEDULE	
	3M 3630-73 DARK RED PMS 7621 C RED
	3M 3630-125 GOLDEN YELLOW PMS 1235 C YELLOW
	3M 3630-22 BLACK PMS BLACK
	3M 3630-20 WHITE PMS WHITE
PAINT COLOR SCHEDULE	
	P-6 GROCERY OUTLET LIGHT GRAY

**2** PROPOSED : D/F INTERNALLY ILLUMINATED MONUMENT SIGN CABINET / STRUCTURE  
( 1 ) REQUIRED

SCALE: 1/2" = 1'-0"  
Cabinet: 40.0 SF