



City of Sebastopol Design Review Board/Tree Board Staff Report

Meeting Date: July 28, 2026 (Continued from the regular June 23, 2026, meeting)
Agenda Item: 6A
To: Design Review & Tree Board
From: John Jay, Associate Planner (contract)

Subject: Sign Permit with Exception
Recommendation: Consider Sign Application, options, and basis for exceptions, and provide direction to the applicant. If the DRB wishes to deny the application, they should do so without prejudice to allow the applicant to reapply. If the DRB wishes to approve the application as proposed or to approve a modified application, they should adopt a resolution for approval.

Applicant/Owner: Elliott Hogan
File Number: 2026-024
Address: 280 South Main Street (APN 004-203-024)
CEQA Status: Class 11 Exemption
General Plan: Central Core (CC)
Zoning: Downtown Core (CD)

Introduction:

The applicant, Elliott Hogan with Zero Ten Design, is proposing signage for Bonnie Bagels & Co. at 280 South Main Street. This application before the Board comes as a revision from the June 23, 2026 Design Review Board meeting, where the Board directed the applicant to return with a revised sign package for approval.

Project Description:

The proposal includes two options for the Board to consider:

- Option 1 retains the original proposal that was previously submitted with the larger, externally illuminated painted signage on both frontages of the building, but removes the existing pole sign and replaces it with new landscaping. The signage area would still measure 288 square feet.
- Option 2 would retain the existing pole sign with the wording "Have a Nice Day" which measures 48 sq ft, would remove the "Bagels & Co" from the frontage that spans 43' 3", and would add a three-square-foot sign mounted above the entrance door. This would decrease the overall signage of the request to 143 total square feet, where 288 sq ft was previously proposed.

As part of the discussion at the June 23rd meeting, the Design Review Board agreed to exempt the mural of the boy eating a bagel, determining that it should not count toward the signage total. Option 2 places the signage facing the street to pull in customers as they are driving, walking, or

biking by the location. As the building is significantly set back from the street and located behind a bus shelter that limits visibility, having larger signage could be a consideration the Board uses to allow the exception.

Allowable Signage: The size that the Zoning Code allows for signage for each building is based on that building's frontage along a public street, not including alleys. A strict interpretation of the City's Sign Ordinance allows this building a total of 25 SF of sign area, pursuant to Table 17.120-1 (Maximum Allowable Sign Area). The proposed sign area for both options is still larger than what is allowed unless exceptions are granted. While there are multiple conditions that apply to this site that may warrant the granting of exceptions to the Sign Ordinance, the Design Review Board should carefully consider each circumstance because allowing a significantly greater sign area than the Code allows for this business could set a precedent to be cited for future applicants who wish to have larger signs than the Code allows.

The freestanding pole sign is no longer proposed to be internally illuminated but will have simple plain lettering with the existing cabinet. This pole sign would be retained only as part of Option 2 that is before the Board. As the pole sign is existing in place, the sign ordinance allows for exemptions for the painting, repainting, cleaning, exact replacement, or normal maintenance and repair of a sign.

Findings Necessary for Exceptions.

Sign exceptions are intended to allow flexibility to the sign regulations while still fulfilling the purpose of the regulations. Creative design is encouraged, and exceptions to the strict sign regulations may be approved if certain findings can be made. The findings allow for modifications to address unusual site conditions, and/or allow signs that enhance the overall character of an area or building, or are appropriate for a particular business.

- a. The exception will allow a unique sign of exceptional design or style that will enhance the area or building, or that will be a visible landmark; or
- b. The exception will allow a sign that is more consistent with the architecture and development of the site, or site context, or is appropriate given the nature of the business; and
- c. The granting of the exception will not constitute the granting of a special privilege inconsistent with the sign limitations upon other properties in the same vicinity and district.

If the Design Review Board determines that the findings can be made to grant the necessary exceptions and approve the proposal, they should approve a resolution to allow for the signage exception. If the DRB does not feel that exceptions can be made, they may either continue the application and provide direction to the applicant, or they may provide direction and deny the proposal without prejudice, allowing the applicant to reapply within one year.

Environmental Review:

This project is categorically exempt from the requirements of the California Environmental Quality Act, pursuant to Section 15311, Class 11, which provides an exemption for accessory structures, including the installation of on-premises signage.

General Plan Consistency:

The General Plan Land Use Designation for the site is Central Core. The project does not have any land use implications because it only involves the installation of signage. The project supports the following General Plan policy:

Land Use Element

Policy 28: Rehabilitate Existing Commercial Buildings: Rehabilitate existing commercial buildings and retrofit them to meet current market needs and code requirements.

The project aligns with this policy by supporting the revitalization of commercial development through updated signage as part of greater improvement efforts of a new tenant moving into an existing commercial space.

Zoning Ordinance Consistency:

The Downtown Core (CD) District is intended to create, preserve, and enhance the downtown area as the historic retail core of Sebastopol. This district provides for a range of uses, including office, retail, restaurant, service, and other commercial uses, while allowing for residential growth, including mixed-use and affordable housing development, with the intent of increasing the vibrancy of the City's central downtown area. It is noted that the CD District is not applied to the entire downtown.

This is an existing building frontage with a new tenant needing to update the signs to incorporate the new business.

Public Comment:

Staff has not received any new public comments since the previous June 23, 2026, meeting and at the time of writing this staff report.

City Departmental Comments:

The Planning Department circulated the project to all relevant City departments for review. No comments or concerns were received in response.

Attachments:

Draft Resolution

Draft Conditions of Approval

Revised Sign Submittals Received June 16, 2026

Original Sign Submittals Date Stamped June 3, 2026

RESOLUTION NO. 26-XX

RESOLUTION OF THE DESIGN REVIEW BOARD OF THE CITY OF SEBASTOPOL SIGNAGE EXCEPTION FOR 'BONNIE BAGELS & CO', A NEW RESTAURANT (2026-024) AT 280 SOUTH MAIN STREET (APN 004-203-024)

WHEREAS, on June 3, 2026, an application was submitted to the City of Sebastopol for a Sign permit exception located at 280 South Main Street (APN 004-203-024); and

WHEREAS, on July 17, 2026, a revised application was received by the Planning Department of the City of Sebastopol to address incompleteness items; and

WHEREAS, the application was reviewed by City staff for compliance with the Sebastopol Municipal Code and applicable planning regulations; and

WHEREAS, the project is consistent with the General Plan, in that it conforms to the following: *Policy 28: Rehabilitate Existing Commercial Buildings: Rehabilitate existing commercial buildings and retrofit them to meet current market needs and code requirements.*

WHEREAS, pursuant to the California Environmental Quality Act (CEQA, codified at Public Resources Code § 21000 et seq.) and the State CEQA Guidelines (14 CCR, § 15000 et seq.), the project fits the Categorical Exemption of Section 15301, "*Class 11: Existing Facilities, which provides an exemption for accessory structures, including the installation of on-premises signage.*" in that this is an existing restaurant structure, with a new owner, applying for a signage exception; and

WHEREAS, the project is consistent with SMC 17.120.020 Sign Regulations Findings as follows:

- A. *The exception will allow a unique sign of exceptional design or style that will enhance the area or building, or that will be a visible landmark;* because the existing building has had signage for the business in the past and was previously approved with a signage exception based on its relation to the street and setback distance.
- B. *The exception will allow a sign that is more consistent with the architecture and development of the site, or site context, or is appropriate given the nature of the business;* as the signage will be placed on the face of the building, as opposed to a larger structure that is more cumbersome. The signage includes gooseneck downlighting that will be compliant with the City's standards of discouraging internal illumination in the Downtown Core.
- C. *The granting of the exception will not constitute the granting of a special privilege inconsistent with the sign limitations upon other properties in the same vicinity and district,* in that the Design Review Board has previously approved signage exceptions for businesses in the past and this would not constitute as a special privilege.

WHEREAS, the Design Review Board held a duly noticed public hearing on June 23, 2026, and directed the applicant to return with a revised project; and

WHEREAS, the Design Review Board held a duly noticed public hearing on July 28, 2026; and

WHEREAS, the Design Review Board considered the staff report, all written and oral testimony, and all other evidence presented.

NOW, THEREFORE, BE IT RESOLVED that the Design Review Board of the City of Sebastopol hereby approves the project subject to the Conditions of Approval attached hereto as Exhibit B.

This Resolution shall become effective immediately upon adoption.

PASSED AND ADOPTED by the Design Review Board of the City of Sebastopol at a regular meeting held on July 28, 2026, by the following vote:

VOTE:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST: _____

Lars Langberg

Chair, Design Review Board

Certified: _____

Victoria Henkel

Permit Technician

EXHIBIT B
DRAFT CONDITIONS OF APPROVAL

SIGN PERMIT: 2026-024
280 South Main Street (APN 004-203-024)

Applicant: Elliott Hogan, Zero Ten Design
Bonnie Bagels & Co.

1. Plans and elevations shall be in substantial conformance with plans prepared by Kevin Zeller, on behalf of Zero Ten Design, and stamped received on June 3, 2026, further revised on July 17, 2026, and on file at the City of Sebastopol Planning Department.
2. All construction shall conform to the approved plans, unless the design is modified by the Design Review Board. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
3. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
4. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in the conditions of approval.
5. An Encroachment Permit may be required prior to sign installations. Please contact the Engineering Department at (707) 823-2151 prior to installation, if work will be performed or materials placed in the public right-of-way.
6. This approval is valid for three (3) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section 17.400.100 of the Zoning Ordinance.

Revised Submittal

Received 7/16/2026

A modern, design-forward identity.

BONNIE BAGELS & CO.

Inspired by tradition. Rooted in craft.



BONNIE BAGELS & CO

Inspiration:

Traditional mercantiles
Farm Stands
General Stores

Revised Submittal

Received 7/16/2026



BONNIE BAGELS & CO

Inspiration:

Diners
Corner Stores
Neighborhood Delis

Revised Submittal

Received 7/16/2026



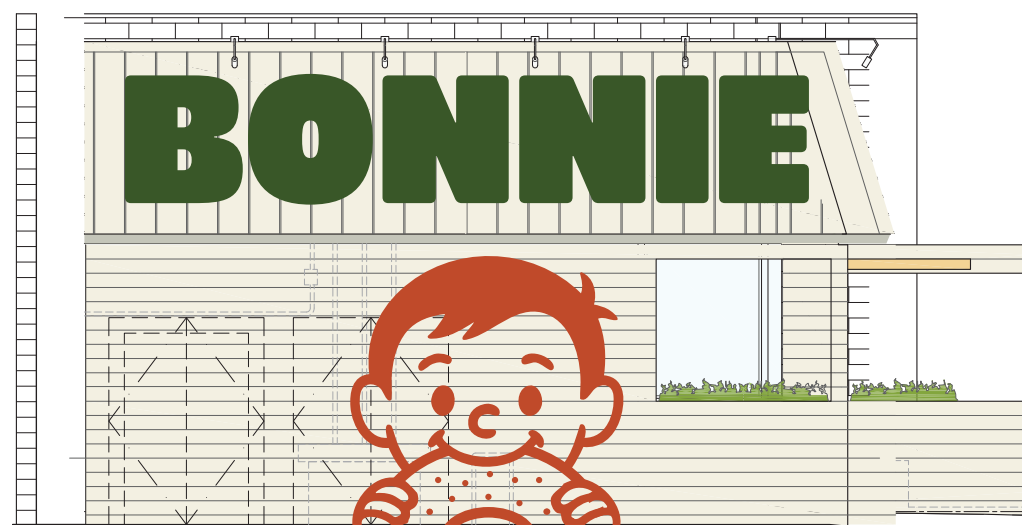
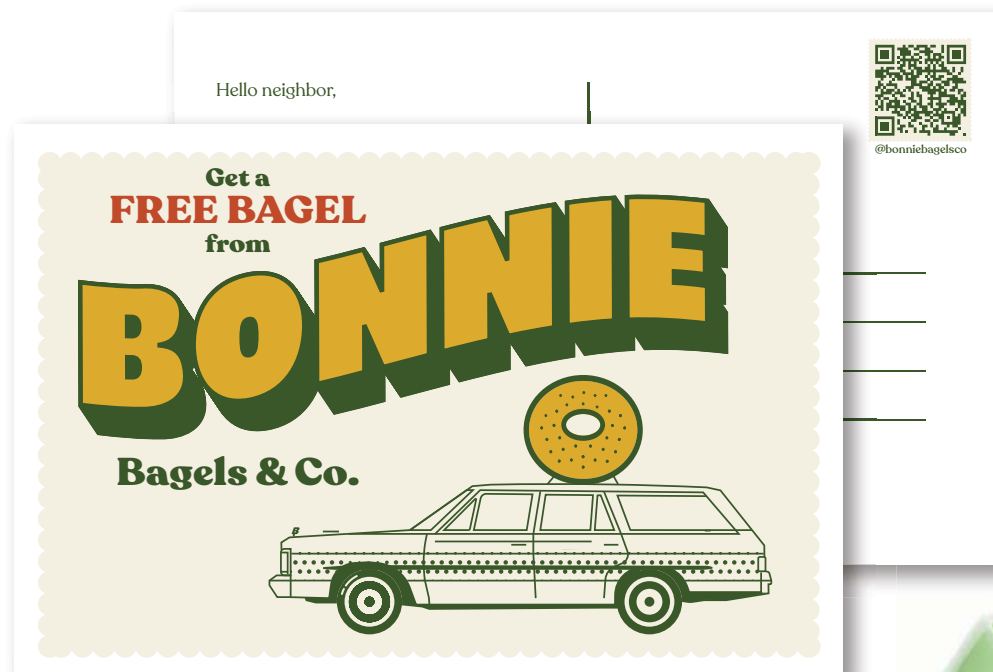
BONNIE BAGELS & CO

Inspiration:

Roadside Diners
Local Agricultural-Industrial Signage
Celebrated Local Institutions

Revised Submittal

Received 7/16/2026



Revised Submittal

Our signage is based on our logo, and part of a comprehensive identity program

Received 7/16/2026



BONNIE BAGELS & CO

Inspiration:

Roadside Diners
Celebrated Local Institutions

Revised Submittal

Received 7/16/2026



BONNIE BAGELS & CO

Inspiration:

Legacy Roadside Businesses

Revised Submittal

Received 7/16/2026



BONNIE BAGELS & CO

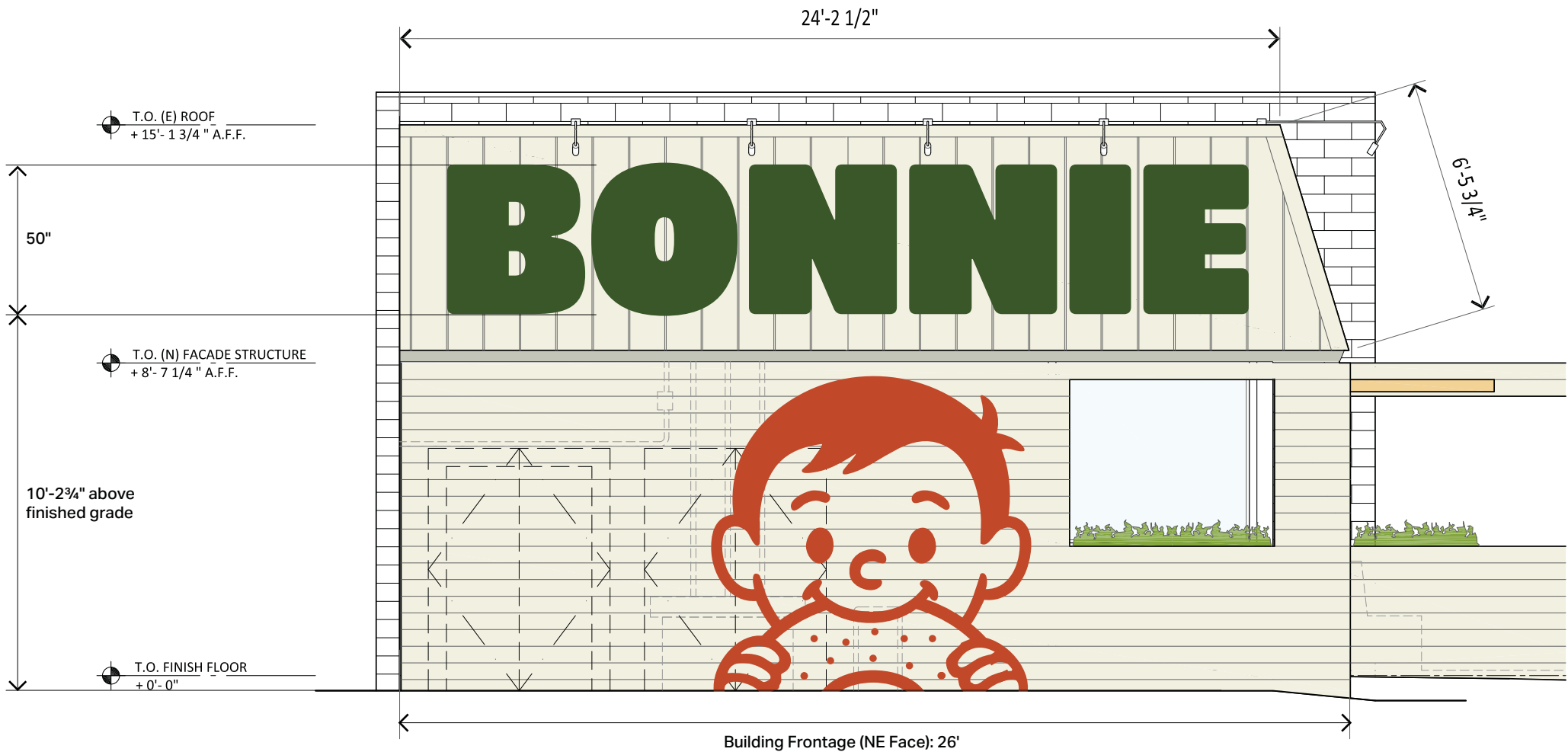
Inspiration:

Modern Marin

Revised Submittal

Received 7/16/2026

Original - NO STREET SIGN, REPLACE w NEW LANDSCAPING



EXTERIOR ELEVATION — Northeast

Scale: 1:48	Notes:
Submitted by: MINE™	All lettering is Pantone 530c (dark green)
Client: Bonnie Bagels & Co.	Overall dimensions of lettering: 21'-9 1/2" x 50"
Date: 06 02 26	Hand-painted directly on the roof using durable sign painter's enamel

Revised Submittal

Received 7/16/2026

Original



EXTERIOR ELEVATION — Northwest

Scale: 1:48	Notes:
Submitted by: MINE™	All lettering is Pantone 530c (dark green)
Client: Bonnie Bagels & Co.	Overall dimensions of lettering: 37'-4 1/3" x 50"
Date: 06 02 26	Hand-painted directly on the roof using durable sign painter's enamel

Revised Submittal

Received 7/16/2026



ORIGINAL



DIRECTION 1: REMOVE STREET SIGN, REPLACE w NEW LANDSCAPING.

Revised Submittal

Received 7/16/2026

Direction 2
92 sq. ft.
(Current Signage)



EXTERIOR ELEVATION — Northeast

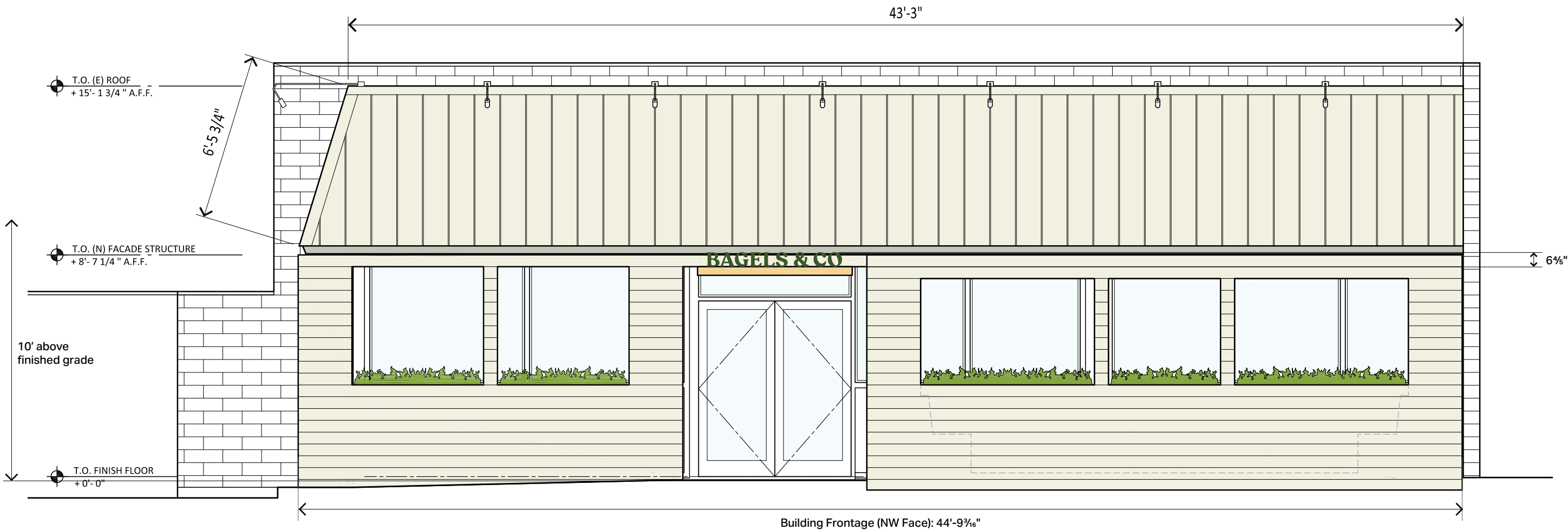
Scale: 1:48	Notes:
Submitted by: MINE™	All lettering is Pantone 530c (dark green)
Client: Bonnie Bagels & Co.	Overall dimensions of lettering: 21'-9½" x 50"
Date: 06 02 26	Hand-painted directly on the roof using durable sign painter's enamel

Revised Submittal

Received 7/16/2026

Direction 2
3 sq. ft.
6.8" x 62.5"

Combined = 95 sq. ft.



EXTERIOR ELEVATION — Northwest

Scale: 1:48	Notes:
Submitted by: MINE™	All lettering is Pantone 530c (dark green)
Client: Bonnie Bagels & Co.	Letters are 6.8" tall x 1.5" deep. Width varies by character, but are ~6.5" wide
Date: 06 02 26	Attached to ¼" baseplate and bolted to top of awning

Revised Submittal

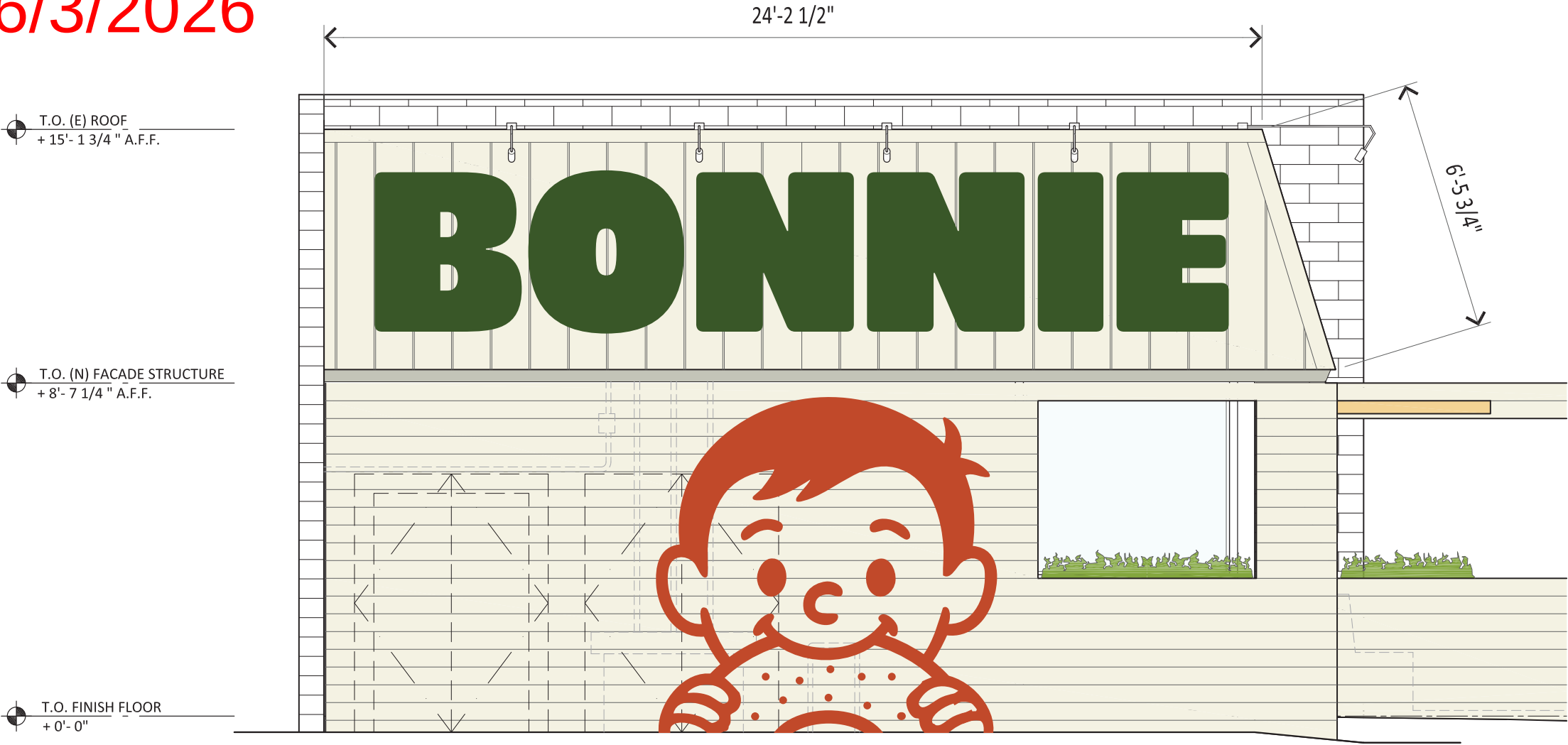
Received 7/16/2026



Revised Submittal

Received 7/16/2026

Received 6/3/2026



"BONNIE": 21'-9 1/2" x 50"
Color Match: Pantone 530c

Illustration: Approx 10' x 10'
Color Match: Pantone 173 U



"Bagels & Co.": 37'-4 1/3" x 50"

Original Submittal

Received 6/3/2026



Received
06/04/2026 11:32:41 AM

Original Submittal

Received 6/3/2026

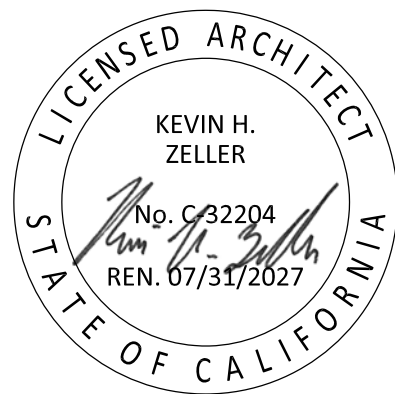


**ZE
RO
TEN**

59 GRANT AVE
FOURTH FLOOR
SAN FRANCISCO
CA 94108
415.512.8010

ARCHITECTURE+DESIGN

SEAL/SIGNATURE



△	ISSUE	DESCRIPTION	DATE
	01	DEMO PERMIT	06.02.2025
	02	PERMIT SET	06.30.2025
△	03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME

BONNIE
BAGELS

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE

SITE PLAN

THESE PLANS ARE INSTRUMENTS OF SERVICE AND
ARE PROPERTY OF THE ARCHITECT.
INFRINGEMENTS WILL BE PROSECUTED

DRAWN BY	
DATE	
SCALE	AS NOTED
PROJECT NUMBER	25005.00
FILE NAME	-

SHEET NUMBER

A1.00

SHEET OF

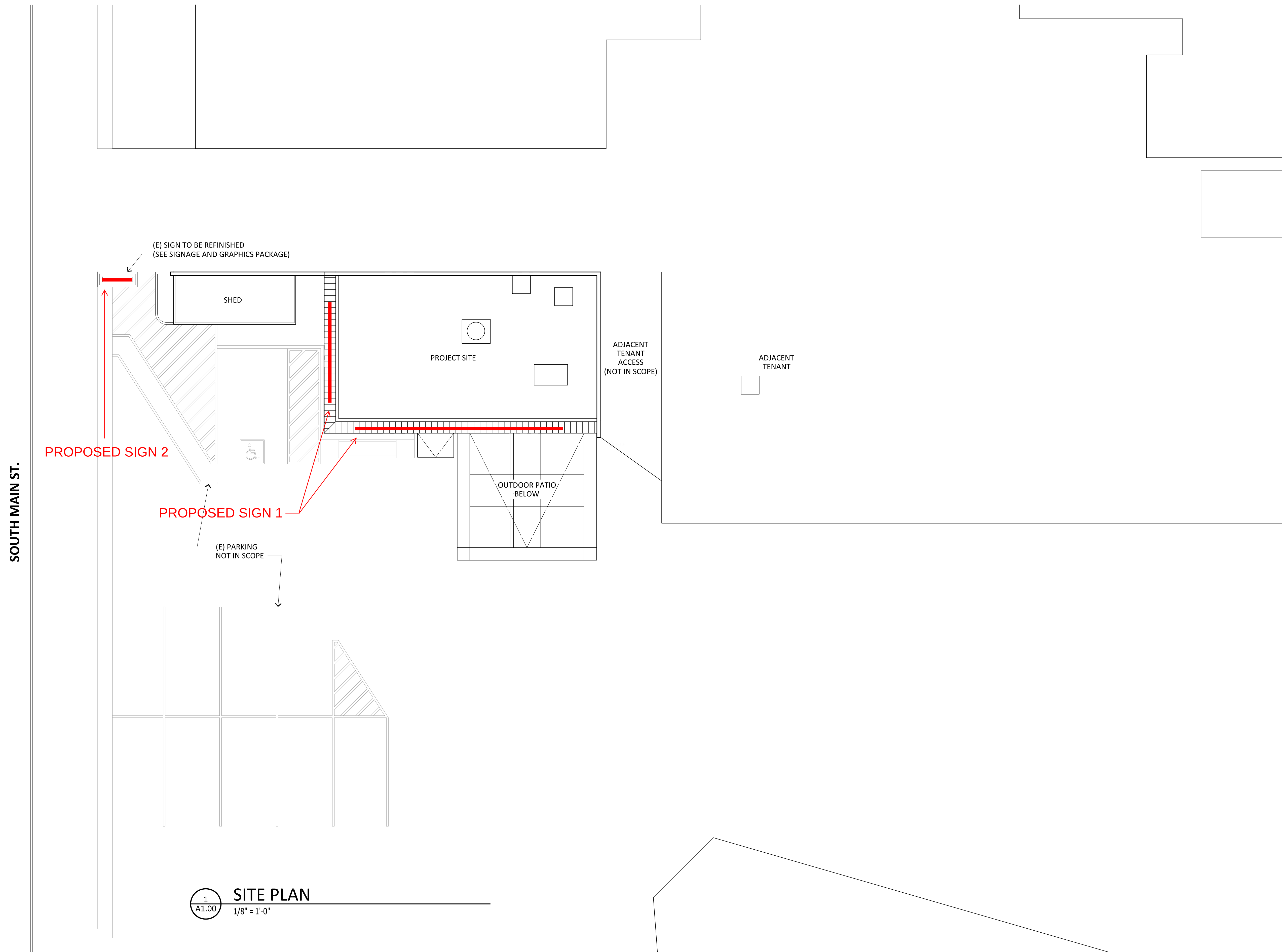
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Received

06/03/2026 3:23:18 PM

Original Submittal

Received 6/3/2026



SITE PLAN

$$1/8'' = 1'-0''$$

NOTE: ALL EXTERIOR OF EXISTING BUILDING TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT PRIOR TO INSTALLATION OF EXTERIOR FACADE WRAP FRAMING/CLADDING SYSTEM, SEE FINISH SCHEDULES.

KEY NOTES

NOTE: ALL EXTERIOR 1X6 PLANKS AND EXPOSED WOOD FRAMING (6X6s) TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT, SEE FINISH SCHEDULES.

01 (E) WALLS, STOREFRONT, WINDOWS & DOORS TO REMAIN. REPAINT & REFINISH AS SHOWN IN SCHEDULES & INTERIOR ELEVATIONS

02 APPLY FRP TO ALL B.O.H. WALLS, FULL HEIGHT

03 (N) WALL W/ WD SIDING, CONTINUE SIDING TO RECLAD (E) WALL

04 [WD-03] SEAMLESS FOLD-UP COUNTER EXTENSION ON PIANO HINGES

05 (E) WALL TO REMAIN W/ (N) WD SIDING; SEE FINISH SCHEDULE AND EXT. ELEVATIONS

06 (N) COMMUNITY BOARD/ MERCHANDISE NICHE. CONFIRM W/ OWNER

07 (N) FRAMELESS TEMPERED CLEAR BAKERY/PASTRY GLASS CASE W/ INTERMEDIATE GLASS SHELF. SITS ON TOP OF ORDER COUNTER.

08 (N) FULL HT. BAKERY SHELVES. SEE SCHEDULE & DETAIL

09 (N) FRAMELESS 1/2" THICK TEMPERED CLEAR GLASS SNEEZE GUARD. MOUNTED W/ RECESSED IN-COUNTER METAL "U" CHANNEL THAT IS FLUSH WITH COUNTER TOP

10 RELOCATE EXISTING DOOR, SEE DEMO FLOOR PLAN

11 (N) ELIASSON SWING DOORS, SEE DOOR SCHEDULES & ELEVATIONS

12 (N) COFFEE PREP COUNTER, S.K.D.

13 (N) STORAGE SHELF ABV.

14 (N) 1x6 WD BOARD CLADDING OVER 6x6 FRAMING SYSTEM TO WRAP (E) FACADE & ENCLOSE PATIO – SEE EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR LOCATIONS

15 (N) POWDER COATED ALUMINUM ENTRY CANOPY @ ENTRY

16 (N) PLANTERS TO BE INTEGRATED INTO (N) FACADE SYSTEM. W/ STAPLED IN PLASTIC SHEET LINER W/ DRAINAGE HOLES AND ADD (N) CONCEALED DRIP IRRIGATION

17 (N) EXPOSED 6x6 COLUMNS LOCATED AT THE CENTER OF THE PATIO

18 (N) BUSSING TUB CART NICHE TO BE INTEGRATED AT SELECTED LOCATIONS IN THE PATIO ENCLOSURE. OWNER TO PROVIDE BUSSING STATION. (SEE FURN. SCHEDULE)

19 BUILT-IN BANQUETTE BENCH, SEE INTERIOR DETAILS

20 (N) BUILT-IN BENCH SEATING TO BE CONSTRUCTED AS PART OF PATIO ENCLOSURE ASSEMBLY

21 (N) ACCESS DOORS TO BE INTEGRATED INTO NEW FACADE SYSTEM AT SELECT LOCATIONS; SEE EXTERIOR ELEVATIONS FOR PLACEMENT & SIZE

22 (N) WALL & DOOR @ WALK IN. S.K.D.

23 6x6 WD STRUCTURE ABV.

24 KITCHEN WALK-THROUGH, (N) SWING DOORS, SEE SPEC.

25 (N) SERVICE/PICKUP COUNTER, SEE INT. ELEVATIONS

26 (N) REFRIGERATED SMALL TALL GRAB AND GO MERCHANDISERS (S.K.D)

27 (N) FRAMED COLUMNS, WD SIDING WRAP OVER (2) OR (4) 6x6 WD COLUMNS

28 (E) 'MAIN SERVICE SWITCHBOARD' & 'ELECTRICAL METER' TO REMAIN

29 WOOD PLANK SOFFIT ABOVE, SEE RCP

30 OPEN TO (E) STOREFRONT OR (N) PATIO BEYOND

31 (N) PAINT ON (E) CMU WALL

32 (N) STANDING SEAM METAL ROOF INSTALLED OVER EXISTING ROOF SUBSTRUCTURE. PATCH AND REPAIR EXISTING WATERPROOF MEMBRANE AS NECESSARY. (SEE FINISH SCHEDULE FOR METAL ROOFING SPEC.)

33 (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE (SEE DETAIL AND FINISH SCHEDULE FOR SPEC.)

34 T.O. PATIO STRUCTURE PARAPET

35 (N) MENU BOARD, BY GRAPHIC DESIGNER

36 GUIDANCE STANCHION BY OWNER

37 DEMO DASHED AREA OF WALL, RELOCATE (E) PLUMBING VENTS AS REQUIRED

The diagram is a detailed roof plan for a building. It shows the layout of the roof, including the main building footprint, a central patio area, and an outdoor patio below. The plan includes various callouts for materials and equipment, such as (E) ROOF & FINISH TO REMAIN, (N) PATIO STRUCTURE, DASHED BELOW, and (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE. The plan also shows the location of various roof equipment, including a mechanical room and a roof vent. The plan is oriented with North at the top, indicated by a north arrow. A scale bar at the bottom left shows a scale of 3/8" = 1'-0". The plan is labeled '1 ROOF PLAN' and 'A2.11'.

59 GRANT AVE
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SAN FRANCISCO
CA 94108
415.512.8010

ZE
RO
TEN

ARCHITECTURE + DESIGN

SEAL/SIGNATURE

LICENSED ARCHITECT
KEVIN H. ZELLER
No. C-22204
Ren. 07/31/2027
STATE OF CALIFORNIA

PROJECT NAME
BONNIE BAGELS

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE
ROOF PLAN

THESE PLANS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED

DRAWN BY
DATE
SCALE AS NOTED
PROJECT NUMBER 25005.00
FILE NAME

1
A2.11

SHEET OF
A2.11

SHEET OF
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NOTE: ALL EXTERIOR 1X6 PLANKS AND EXPOSED WOOD FRAMING (6X6s) TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT, SEE FINISH SCHEDULES.

- | | |
|----|--|
| 31 | (N) PAINT ON (E) CMU WALL |
| 32 | (N) STANDING SEAM METAL ROOF INSTALLED OVER EXISTING ROOF SUBSTRUCTURE PATCH AND REPAIR EXISTING WATERPROOF MEMBRANE AS NECESSARY. (SEE FINISH SCHEDULE FOR METAL ROOFING SPEC.) |
| 33 | (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE (SEE DETAIL AND FINISH SCHEDULE FOR SPEC.) |
| 34 | T.O. PATIO STRUCTURE PARAPET |
| 35 | (N) MENU BOARD, BY GRAPHIC DESIGNER |
| 36 | GUIDANCE STANCHION BY OWNER |
| 37 | DEMO DASHED AREA OF WALL, RELOCATE (E) PLUMBING VENTS AS REQUIRED |

SEAL/SIGNATURE

$$3/8'' = 1' - 0'$$

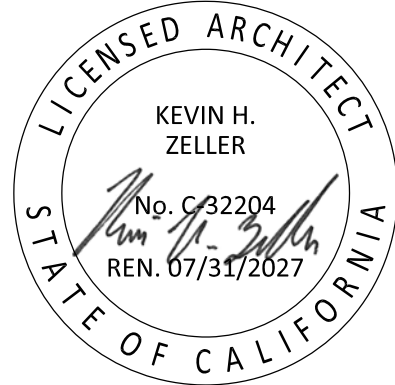
Architectural elevation drawing of a building facade. The drawing includes the following elements:

- Dimensions:**
 - Overall width: 21'-9 1/2"
 - Overall height: 9'-9 7/8"
 - Sign height: 4'-2"
 - Section height: 6'-8"
- Signage:**
 - Large green sign reading "BONNIE" on a light-colored background.
 - Annotations: "(N) GOOSE NECK SIGNAGE LIGHTING, SEE A6.01"
- Structural and Level Annotations:**
 - "EQ." (Equal) markings above the sign.
 - "T.O. ROOF PARAPET +15'-1 3/4\" VIF"
 - "B.O. ROOF EAVES +8'-11 3/8\" VIF"
 - "T.O. (N) FINISH FLOOR +0'-0\" A.F.F."
- Architectural Details:**
 - Brickwork above the sign.
 - Horizontal siding on the main facade.
 - Windows with greenery below them.
 - Internal structural grid lines shown in dashed lines.

$$3/8'' = 1'-0'$$

SHEET NUMBER
A3.03
SHEET OF
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△ ISSUE	DESCRIPTION	DATE
01	DEMO PERMIT	06.02.2025
02	PERMIT SET	06.30.2025
△ 03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME

**BONNIE
BAGELS**

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE

**EXISTING &
PROPOSED
EXTERIOR
ELEVATIONS**

THESE PLANS ARE INSTRUMENTS OF SERVICE AND
ARE PROPERTY OF THE ARCHITECT.
INFRINGEMENTS WILL BE PROSECUTED

DRAWN BY _____
DATE _____
SCALE AS NOTED
PROJECT NUMBER 25005.00
FILE NAME _____

SHEET NUMBER

A3.02

SHEET OF

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NOTE: ALL EXTERIOR OF EXISTING BUILDING TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT PRIOR TO INSTALLATION OF EXTERIOR FACADE WRAP FRAMING/CLADDING SYSTEM, SEE FINISH SCHEDULES.

KEY NOTES

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(04) [WD-03] SEAMLESS FOLD-UP COUNTER EXTENSION ON PIANO HINGES
(05) (E) WALL TO REMAIN W/ (N) WD SIDING; SEE FINISH SCHEDULE AND EXT. ELEVATIONS
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- (08) (N) FULL HT. BAKERY SHELVES. SEE SCHEDULE & DETAIL
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(10) RELOCATE EXISTING DOOR, SEE DEMO FLOOR PLAN
(11) (N) ELIASSEN SWING DOORS, SEE DOOR SCHEDULES & ELEVATIONS
(12) (N) COFFEE PREP COUNTER, S.K.D.
(13) (N) STORAGE SHELF ABV.
(14) (N) 1x6 WD BOARD CLADDING OVER 6x6 FRAMING SYSTEM TO WRAP (E) FACADE & ENCLOSE PATIO – SEE EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR LOCATIONS
(15) (N) POWDER COATED ALUMINUM ENTRY CANOPY @ ENTRY

- (16) (N) PLANTERS TO BE INTEGRATED INTO (N) FACADE SYSTEM. W/ STAPLED IN PLASTIC SHEET LINER W/ DRAINAGE HOLES AND ADD (N) CONCEALED DRIP IRRIGATION
(17) (N) EXPOSED 6x6 COLUMNS LOCATED AT THE CENTER OF THE PATIO
(18) (N) BUSSING TUB CART NICHE TO BE INTEGRATED AT SELECTED LOCATIONS IN THE PATIO ENCLOSURE. OWNER TO PROVIDE BUSSING STATION. (SEE FURN. SCHEDULE)
(19) BUILT-IN BANQUETTE BENCH, SEE INTERIOR DETAILS
(20) (N) BUILT-IN BENCH SEATING TO BE CONSTRUCTED AS PART OF PATIO ENCLOSURE ASSEMBLY
(21) (N) ACCESS DOORS TO BE INTEGRATED INTO NEW FACADE SYSTEM AT SELECT LOCATIONS; SEE EXTERIOR ELEVATIONS FOR PLACEMENT & SIZE
(22) (N) WALL & DOOR @ WALK IN. S.K.D.

- (23) 6x6 WD STRUCTURE ABV.
(24) KITCHEN WALK-THROUGH, (N) SWING DOORS, SEE SPEC.
(25) (N) SERVICE/PICKUP COUNTER, SEE INT. ELEVATIONS
(26) (N) REFRIGERATED SMALL TALL GRAB AND GO MERCHANDISERS (S.K.D.)
(27) (N) FRAMED COLUMNS, WD SIDING WRAP OVER (2) OR (4) 6x6 WD COLUMNS
(28) (E) 'MAIN SERVICE SWITCHBOARD' & 'ELECTRICAL METER' TO REMAIN
(29) WOOD PLANK SOFFIT ABOVE, SEE RCP
(30) OPEN TO (E) STOREFRONT OR (N) PATIO BEYOND

- (31) (N) PAINT ON (E) CMU WALL
(32) (N) STANDING SEAM METAL ROOF INSTALLED OVER EXISTING ROOF SUBSTRUCTURE. PATCH AND REPAIR EXISTING WATERPROOF MEMBRANE AS NECESSARY. (SEE FINISH SCHEDULE FOR METAL ROOFING SPEC.)
(33) (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE (SEE DETAIL AND FINISH SCHEDULE FOR SPEC.)
(34) T.O. PATIO STRUCTURE PARAPET
(35) (N) MENU BOARD, BY GRAPHIC DESIGNER
(36) GUIDANCE STANCHION BY OWNER
(37) DEMO DASHED AREA OF WALL, RELOCATE (E) PLUMBING VENTS AS REQUIRED

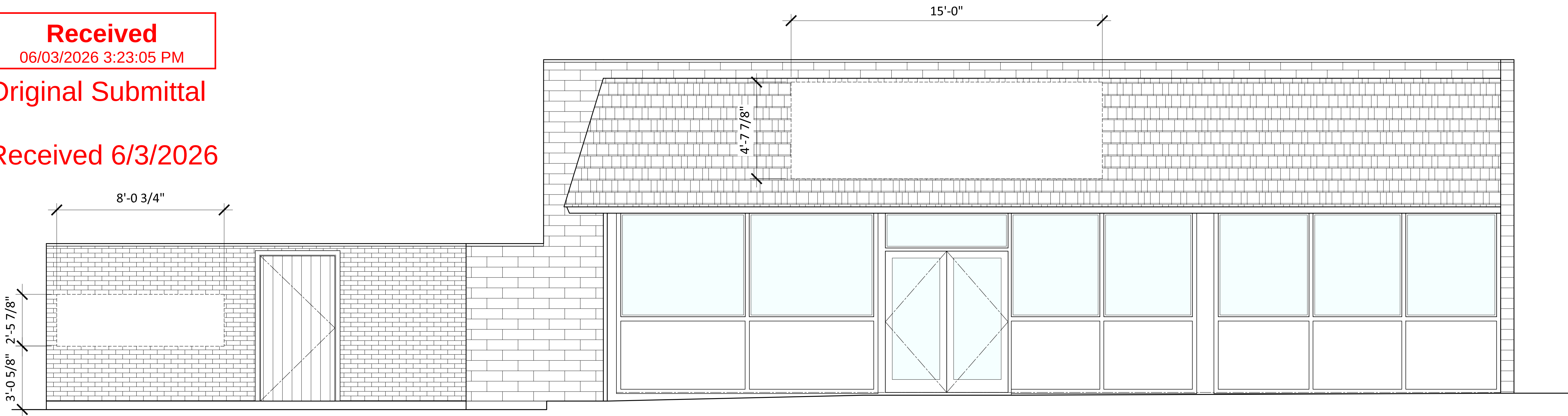
1

Received

06/03/2026 3:23:05 PM

Original Submittal

Received 6/3/2026



2
A3.02

EXISTING FRONT ELEVATION

3/8" = 1'-0"



1
A3.02

PROPOSED FRONT ELEVATION

3/8" = 1'-0"

Received
06/03/2026 3:22:36 PM

Original Submittal

Received 6/3/2026



2
A1.01 EXISTING VIEW



1
A1.01 PROPOSED VIEW

**ZE
RO
TEN**
ARCHITECTURE+DESIGN

59 GRANT AVE
FOURTH FLOOR
SAN FRANCISCO
CA 94108
415.512.8010

SEAL/SIGNATURE



△ ISSUE	DESCRIPTION	DATE
01	DEMO PERMIT	06.02.2025
02	PERMIT SET	06.30.2025
△ 03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME

**BONNIE
BAGELS**

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE

**EXISTING &
PROPOSED
3D VIEWS**

THESE PLANS ARE INSTRUMENTS OF SERVICE AND
ARE PROPERTY OF THE ARCHITECT.
INFRINGEMENTS WILL BE PROSECUTED

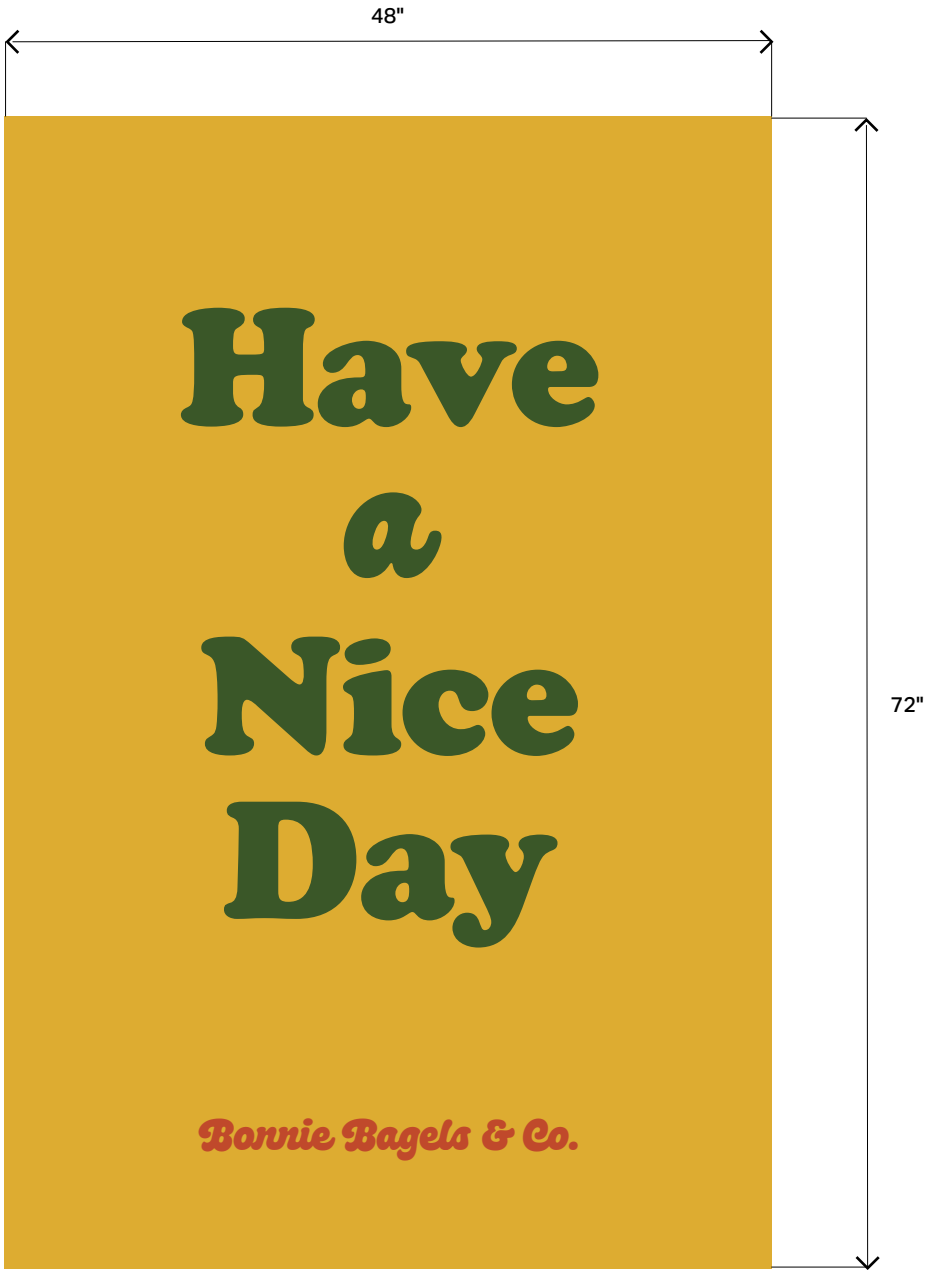
DRAWN BY _____
DATE _____
SCALE _____ AS NOTED
PROJECT NUMBER 25005.00
FILE NAME _____

SHEET NUMBER

A1.01

SHEET OF

© 2025 ZERO TEN DESIGN



BONNIE BAGELS STREET SIGN — S. MAIN STREET

Scale: 1" = 1'	Notes:
Submitted by: MINE™ Client: Bonnie Bagels & Co. Date: 06 12 26	Lettering is Pantone 530c (dark green) and Pantone 173 U (brick); Background is Pantone 7405 (mustard) Printed Vinyl graphic applied to the reverse side of clear acrylic panel. There are panels on both sides of the cabinet. Post and cabinet are existing. We are only replacing the sign panel.