



City of Sebastopol Design Review Board/Tree Board Staff Report

Meeting Date: June 23, 2026
Agenda Item: 6A
To: Design Review & Tree Board
From: Jane Riley, Interim Planning Director (contract)

Subject: Sign Permit with Exception
Recommendation: Consider Sign Application, options, and basis for exceptions, and provide direction to the applicant. If the DRB wishes to deny the application, they should do so without prejudice to allow the applicant to reapply. If the DRB wishes to approve the application as proposed or to approve a modified application, they should provide direction to staff to return with a resolution for approval at the next meeting.

Applicant/Owner: Elliott Hogan
File Number: 2026-024
Address: 280 South Main Street (APN 004-203-024)
CEQA Status: Class 11 Exemption
General Plan: Central Core (CC)
Zoning: Downtown Core (CD)

Introduction:

The applicant, Elliott Hogan with Zero Ten Design, is proposing signage for Bonnie Bagels & Co. at 280 South Main Street. One of the requested facade signs has been installed and can be viewed on site.

Project Description:

The proposal includes the following signs and graphics totaling 395 square feet:

- Two hand-painted signs on the sides of the mansard roof, including a 37'4.33" by 4'2" (156 sf) sign on the north facade reading "Bagels & Co." and a 21'9.5" by 4'2" (91 sf) wall sign on the east (South Main Street) facade reading "Bonnie" (already installed) Both signs will be externally illuminated with 10 roof parapet mounted gooseneck warm LED light fixtures. (Signs 1 & 2)
- Replacing the sign faces of the existing freestanding pole sign at the property frontage street sign located at the southwestern corner of the lot with a new graphic that will read: "Have a Nice Day" in large black script against a bright yellow background. Smaller lettering reading "Bonnie Bagels & Co." The existing double-sided sign cabinet is 6 feet (height) by 4 feet (width), for a total area of 48 square feet. This sign is proposed to be internally illuminated (Sign 3).

- The project also includes a painted graphic on the eastern facade measuring approximately 10' x 10' (100 sf). The graphic is a stylized person eating a bagel, but does not include text identifying the business. (Graphic/Sign 4)

Allowable Signage: The area that the Zoning Code allows for signage for each building is based on that building's frontage along a public street, not including alleys. A strict interpretation of the City's Sign Ordinance allows this building a total of 25 SF of sign area, pursuant to Table 17.120-1 (Maximum Allowable Sign Area). The proposed sign area is more than 10 times larger than what is allowed unless exceptions are granted. While there are multiple conditions that apply to this site that may warrant the granting of exceptions to the Sign Ordinance, the Design Review Board should carefully consider each circumstance because allowing a significantly greater sign area than the Code allows for this business could set a precedent to be cited for future applicants who wish to have larger signs than the Code allows.

Internal illumination within the Downtown Core. The freestanding pole sign is proposed to be internally illuminated, which is not allowed within the Downtown Core. When internal illumination is approved for signs, the sign background must be opaque such that the light shines through the letters and graphics only. As well, the 2016 approval mentioned above did not approve the internal illumination for the pole sign. An exception to the Code's lighting requirements for signs in the Downtown Core would need to be made to approve the proposed pole sign. Conversely, the sign could be approved with external illumination only.

Options for Consideration and Discussion.

- A previous allowance made for this property allowed the use of both the north and east facades as frontage to determine the allowable sign area. The property does have visibility issues, being set back 50' from the street and located behind a bus shelter. A May 2017 DRB approval for the signs related to the previous pizza parlor use determined that it was appropriate to utilize both frontages to calculate the allowable sign area, which was 83.5 square feet.
- Consider exempting the graphic (Graphic/Sign 4) from the total calculated sign area. This would decrease the proposed signage from 395 square feet to 295 square feet.
- Other considerations. The Design Review Board should discuss other considerations that apply to this site that do not apply to other sites within the Downtown Core.

Findings Necessary for Exceptions.

Sign exceptions are intended to allow flexibility to the sign regulations while still fulfilling the purpose of the regulations. Creative design is encouraged, and exceptions to the strict sign regulations may be approved if certain findings can be made. The findings allow for modifications to address unusual site conditions, and/or allow signs that enhance the overall character of an area or building, or are appropriate for a particular business.

- a. The exception will allow a unique sign of exceptional design or style that will enhance the area or building, or that will be a visible landmark; or
- b. The exception will allow a sign that is more consistent with the architecture and development of the site, or site context, or is appropriate given the nature of the business; and

- c. The granting of the exception will not constitute the granting of a special privilege inconsistent with the sign limitations upon other properties in the same vicinity and district.

If the Design Review Board determines that the findings can be made to grant the necessary exceptions and approve the proposal, they should provide direction to staff to prepare a resolution to come back for adoption at the next RDB meeting. The DRB can also discuss and agree to a modified proposal and direct staff to bring a resolution back for adoption. If the DRB does not feel that exceptions can be made, they may either continue the application and provide direction to the applicant or they may provide direction and deny the proposal without prejudice, allowing the applicant to reapply within one year.

Environmental Review:

This project is categorically exempt from the requirements of the California Environmental Quality Act, pursuant to Section 15311, Class 11, which provides an exemption for accessory structures, including the installation of on-premises signage.

General Plan Consistency:

The General Plan Land Use Designation for the site is Central Core. The project does not have any land use implications because it only involves the installation of signage. The project supports the following General Plan policy:

Land Use Element

Policy 28: Rehabilitate Existing Commercial Buildings: Rehabilitate existing commercial buildings and retrofit them to meet current market needs and code requirements.

The project aligns with this policy by supporting the revitalization of commercial development through updated signage as part of greater improvement efforts of a new tenant moving into an existing commercial space.

Zoning Ordinance Consistency:

The Downtown Core (CD) District is intended to create, preserve, and enhance the downtown area as the historic retail core of Sebastopol. This district provides for a range of uses, including office, retail, restaurant, service, and other commercial uses, while allowing for residential growth, including mixed-use and affordable housing development, with the intent of increasing the vibrancy of the City's central downtown area, and it is noted that the CD District is not applied to the entire downtown.

This is an existing building frontage with a new tenant needing to update the signs to incorporate the new business.

Public Comment:

Staff received three (3) public comments as of the writing of this staff report, including one (1) comment in support of the graphic and two (2) comments in opposition of the sign permit. All comments have been included as attachments to this Staff Report.

City Departmental Comments:

The Community Development Department circulated the project to all relevant City departments for review. No comments or concerns were received in response.

Attachments:
Public Comments
Application Materials

Bonnie Bagels

From Suzanne Maxson [REDACTED]
Date Sat 6/13/2026 2:02 PM
To Victoria Henkel <vhenkel@cityofsebastopol.gov>

Dear People,

Regarding the bagel shop opening soon within yards of Grateful Bagel:

My first response when construction began was disbelief. Why would anyone choose to build a big new bagel shop practically on top of Grateful Bagel, a beloved institution? Then I moved on to outrage. But reading local reporting and comments, I decided that if Grateful Bagel could accept it with such generosity and grace, so could I. And if they plan to be more like a café, fine—I'll support a new small business.

Then the sign went up. That sign is grossly, offensively, grotesquely out of scale—and not reassuring that the owners appreciate this community and want to be good neighbors. I live two blocks away and I wince every time I walk by. So does everyone I know.

Please do not approve the signage as it stands.

Thank you.
Suzanne Maxson

Sign

From howard barsky [REDACTED]
Date Sat 6/13/2026 4:01 PM
To Victoria Henkel <vhenkel@cityofsebastopol.gov>

Hi , I am all for having the artist logo on the building, and they had there logo on the glass sign (for a short time they had it there. I like it, I think it adds a smile to main st.
Sent from my iPhone

Bonnie Bagel signage

From scmaclean [REDACTED]

Date Sat 6/13/2026 10:16 AM

To Victoria Henkel <vhenkel@cityofsebastopol.gov>

I was wondering if the extremely large lettering on that building was within Sebastopol guidelines? It seems out of place, kind of like the signage on the chicken place that went out of business in the Barlow. Is this one if those act without permission and seek forgiveness, or in this case seek waivers, after? I live in the neighborhood and walk by the area frequently. It seems like something you would see by the freeway hoping to catch the speeding eye. I find it junky, obnoxious and out of place. About half the size would be closer to the mark. No other signage in the area is anywhere near the size of those letters.

Susan MacLean
[REDACTED]

Sent from my Galaxy



City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167

Received
06/03/2026 3:21:12 PM

MASTER PLANNING
APPLICATION FORM

APPLICATION TYPE

- Administrative Permit Review
Alcohol Use Permit/ABC Transfer
Conditional Use Permit
Design Review
Lot Line Adjustment/Merger
Preapplication Conference
Preliminary Review
Sign Permit
Temporary Use Permit
Tree Removal Permit
Variance
Other

This application includes the checklist(s) or supplement form(s) for the type of permit requested: Yes No

REVIEW/HEARING BODIES

- Staff/Admin
Design Review/Tree Board
Planning Commission
City Council
Other

APPLICATION FOR

Street Address: 280 S Main St. Assessor's Parcel No(s): 004-203-024-000
Present Use of Property: Restaurant Zoning/General Plan Designation: Downtown Core

APPLICANT INFORMATION

Property Owner Name: Talmadge Wood Trust
Mailing Address: 122 Calistoga Road #306 Phone: 707-486-1626
City/State/ZIP: Santa Rosa, CA 95406 Email: talmadgellc@gmail.com
Signature: [Signature] TRUSTEE Date: Jun 2 2026
Authorized Agent/Applicant Name: Elliott Hogan
Mailing Address: 59 Grant Ave Fourth Floor Phone: 530.826.6001
City/State/ZIP: San Francisco, CA 94108 Email: e.hogan@zerotendesign.com
Signature: [Signature] Date: 06.02.2026
Contact Name (If different from above): Phone/Email:

PROJECT DESCRIPTION AND PERMITS REQUESTED (ATTACH ADDITIONAL PAGES IF NECESSARY)

This is an application for signage for a new restaurant, Bonnie Bagels & Co. at 280 S Main St. in Sebastopol, CA 95472. Please see associated documents for proposed signs visuals, dimensions and specifications.

CITY USE ONLY

Table with 3 columns: Fill out upon receipt, Action, Action Date. Rows include Application Date, Planning File #, Received By, Fee(s), Completeness Date, Staff/Admin, Planning Director, Design Review/Tree Board, Planning Commission, City Council.

SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

SITE DATA TABLE	REQUIRED / ZONING STANDARD	EXISTING	PROPOSED
Zoning	N/A	Downtown Core	Downtown Core
Use	N/A	Restaurant	Restaurant
Lot Size	7841	7841 SF	7841 SF
Square Feet of Building/Structures (if multiple structures include all separately)	1078	1078 SF	1078 SF
Floor Area Ratio (F.A.R)	<u>1</u> <u>5</u> FAR	<u>0</u> <u>1</u> <u>3</u> <u>7</u> FAR	<u>0</u> <u>1</u> <u>3</u> <u>7</u> FAR
Lot Coverage	<u>NA</u> % of lot	<u>13.7</u> % of lot	<u>13.7</u> % of lot
	<u>NA</u> sq. ft.	<u>13.7</u> sq. ft.	<u>13.7</u> sq. ft.
Parking	NA	NO CHANGES	NO CHANGES
Building Height	NA	15'-2"	15'-2
Number of Stories	NA	1	1
Building Setbacks – Primary			
Front	10'	10'	10'
Secondary Front Yard (corner lots)	0'	0'	0'
Side – Interior	0'	0'	0'
Rear	5'	5'	5'
Building Setbacks – Accessory			
Front	NA	NA	NA
Secondary Front Yard (corner lots)	NA	NA	NA
Side – Interior	NA	NA	NA
Rear	NA	NA	NA
Special Setbacks (if applicable)			
Other (_____)			
Number of Residential Units	<u>NA</u> Dwelling Unit(s)	<u>NA</u> Dwelling Unit(s)	<u>NA</u> Dwelling Unit(s)
Residential Density	1 unit per <u>NA</u> sq. ft.	1 unit per <u>NA</u> sq. ft.	1 unit per <u>NA</u> sq. ft.
Useable Open Space	<u>NA</u> sq. ft.	<u>NA</u> sq. ft.	<u>NA</u> sq. ft.
Grading	Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees.	N/A	Total: <u>NA</u> cu. yds. Cut: <u>NA</u> cu. yds. Fill: <u>NA</u> cu. yds. Off-Haul: <u>NA</u> cu. yds
Impervious Surface Area	N/A	<u>NA</u> % of lot	<u>NA</u> % of lot
		<u>NA</u> sq. ft.	<u>NA</u> sq. ft.
Pervious Surface Area	N/A	<u>NA</u> % of lot	<u>NA</u> % of lot
		<u>NA</u> sq. ft.	<u>NA</u> sq. ft.

Neighbor Notification

In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, residents, and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight, or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times, development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project: Yes No

If yes, or if you will inform neighbors in the future, please describe outreach efforts:

Website Required for Major Projects

Applicants for major development projects (which involves proposed development of **10,000 square feet of new floor area or greater, or 15 or more dwelling units/lots**), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

- ✓ Project description
- ✓ Contact information for the applicant, including address, phone number, and email address
- ✓ Map showing project location
- ✓ Photographs of project site
- ✓ Project plans and drawings

CONDITIONS OF APPLICATION

1. All Materials submitted in conjunction with this form shall be considered a part of this application.
2. This application will not be considered filed and processing may not be initiated until the Planning Department determines that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant of all application deficiencies no later than 30 days following application submittal.
3. The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the owner's behalf.
4. The Owner shall inform the Planning Department in writing of any changes.
5. **INDEMNIFICATION AGREEMENT:** As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

6. **REPRODUCTION AND CIRCULATION OF PLANS:** I hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
7. **NOTICE OF MAILING:** Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
8. **DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
9. **NOTICE OF ORDINANCE/PLAN MODIFICATIONS:** Pursuant to Government Code Section 65945(a), please indicate, by checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the following plans or ordinances if the City determines that the proposal is reasonably related to your request for a development permit:

A general plan

A specific plan

An ordinance affecting building permits or grading permits

A zoning ordinance

Certification

I, the undersigned owner of the subject property, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury. I hereby grant members of the Planning Commission, Design Review Board and City Staff admittance to the subject property as necessary for processing of the project application.

Property Owner's Signature:  TRUSTEE Date: JUN 2 2026

I, the undersigned applicant, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.

Applicant's Signature:  Date: 06.02.2026

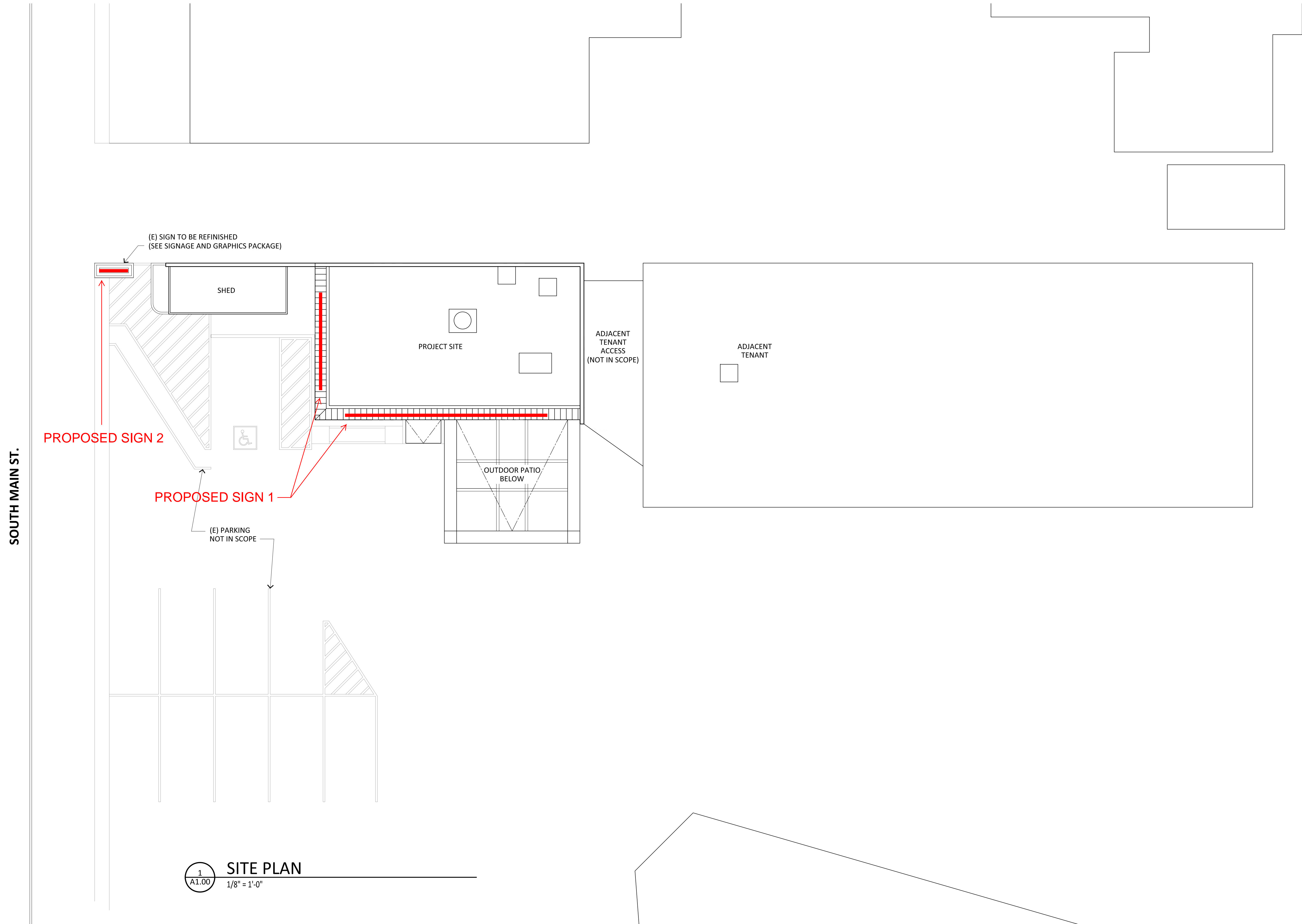
NOTE: It is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

Received
06/03/2026 3:23:18 PM

**ZERO
TEN**
ARCHITECTURE+DESIGN

59 GRANT AVE
FOURTH FLOOR
SAN FRANCISCO
CA 94108
415.512.8010

SEAL/SIGNATURE



ISSUE	DESCRIPTION	DATE
01	DEMO PERMIT	06.02.2025
02	PERMIT SET	06.30.2025
03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME
**BONNIE
BAGELS**

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE
SITE PLAN

THESE PLANS ARE INSTRUMENTS OF SERVICE AND
ARE PROPERTY OF THE ARCHITECT.
INFRINGEMENTS WILL BE PROSECUTED

DRAWN BY
DATE
SCALE AS NOTED
PROJECT NUMBER 25005.00
FILE NAME

SHEET NUMBER

A1.00

SHEET OF

© 2025 ZERO TEN DESIGN

1
A1.00
SITE PLAN
1/8" = 1'-0"

NOTE: ALL EXTERIOR OF EXISTING BUILDING TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT PRIOR TO INSTALLATION OF EXTERIOR FACADE WRAP FRAMING/CLADDING SYSTEM. SEE FINISH SCHEDULES.

KEY NOTES

NOTE: ALL EXTERIOR 1X6 PLANKS AND EXPOSED WOOD FRAMING (6X6S) TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT. SEE FINISH SCHEDULES.

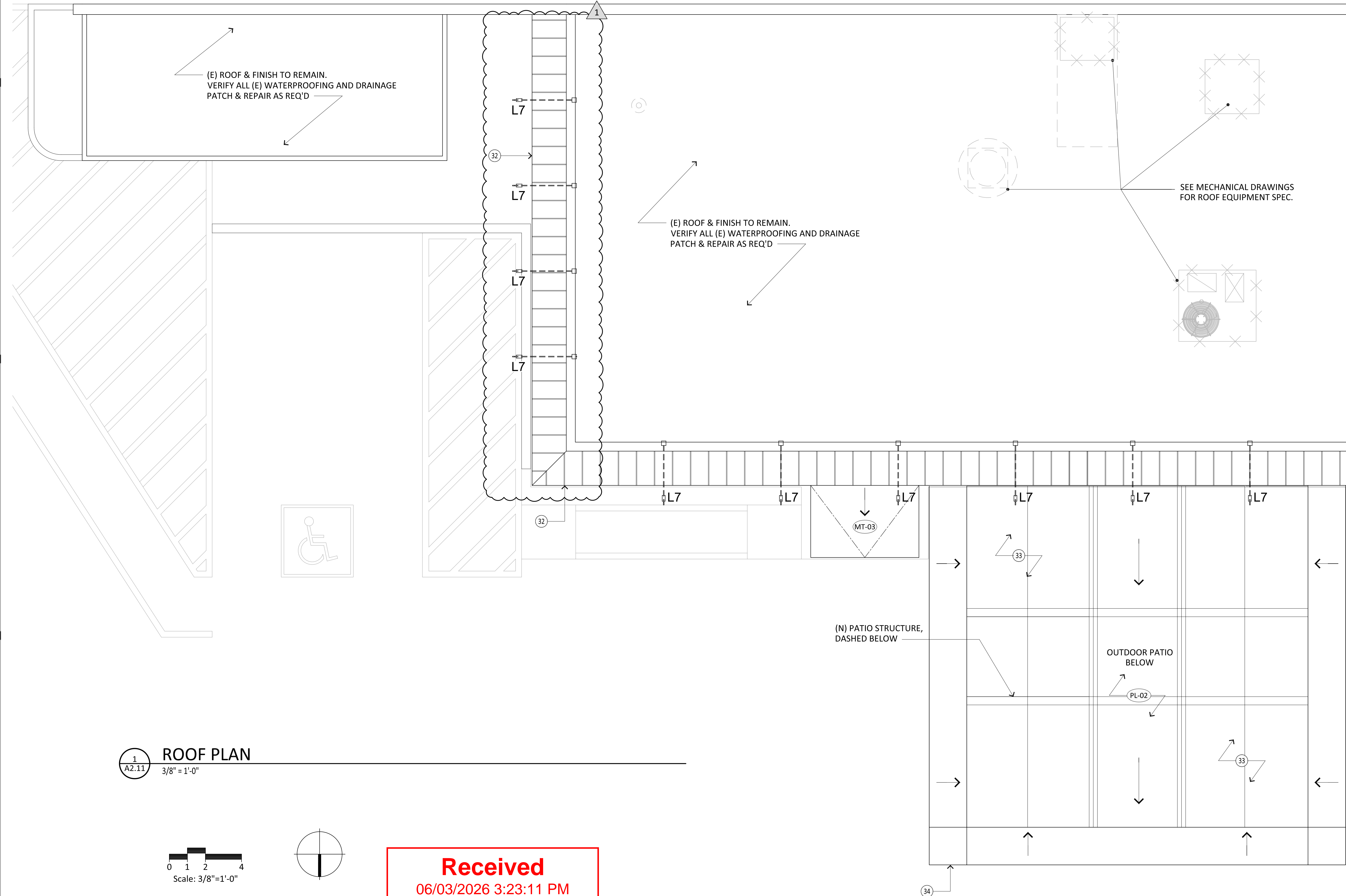
- 01 (E) WALLS, STOREFRONT, WINDOWS & DOORS TO REMAIN. REPAINT & REFINISH AS SHOWN IN SCHEDULES & INTERIOR ELEVATIONS
- 02 APPLY FRP TO ALL B.O.H. WALLS, FULL HEIGHT
- 03 (N) WALL W/ WD SIDING, CONTINUE SIDING TO RECLAD (E) WALL
- 04 [WD-03] SEAMLESS FOLD-UP COUNTER EXTENSION ON PIANO HINGES
- 05 (E) WALL TO REMAIN W/ (N) WD SIDING; SEE FINISH SCHEDULE AND EXT. ELEVATIONS
- 06 (N) COMMUNITY BOARD/ MERCHANDISE NICHE. CONFIRM W/ OWNER
- 07 (N) FRAMELESS TEMPERED CLEAR BAKERY/PASTRY GLASS CASE W/ INTERMEDIATE GLASS SHELF. SITS ON TOP OF ORDER COUNTER.

- 08 (N) FULL HT. BAKERY SHELVES. SEE SCHEDULE & DETAIL
- 09 (N) FRAMELESS 1/2" THICK TEMPERED CLEAR GLASS SNEEZE GUARD. MOUNTED W/ RECESSED IN-COUNTER METAL "U" CHANNEL THAT IS FLUSH WITH COUNTER TOP
- 10 RELOCATE EXISTING DOOR, SEE DEMO FLOOR PLAN
- 11 (N) ELIASSON SWING DOORS, SEE DOOR SCHEDULES & ELEVATIONS
- 12 (N) COFFEE PREP COUNTER, S.K.D.
- 13 (N) STORAGE SHELF ABV.
- 14 (N) 1x6 WD BOARD CLADDING OVER 6x6 FRAMING SYSTEM TO WRAP (E) FACADE & ENCLOSE PATIO - SEE EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR LOCATIONS
- 15 (N) POWDER COATED ALUMINUM ENTRY CANOPY @ ENTRY

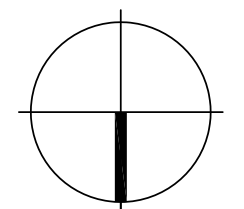
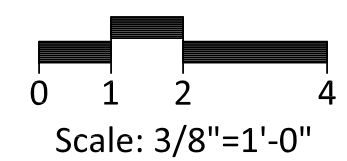
- 16 (N) PLANTERS TO BE INTEGRATED INTO (N) FACADE SYSTEM. W/ STAPLED IN PLASTIC SHEET LINER W/ DRAINAGE HOLES AND ADD (N) CONCEALED DRIP IRRIGATION
- 17 (N) EXPOSED 6x6 COLUMNS LOCATED AT THE CENTER OF THE PATIO
- 18 (N) BUSSING TUB CART NICHE TO BE INTEGRATED AT SELECTED LOCATIONS IN THE PATIO ENCLOSURE. OWNER TO PROVIDE BUSSING STATION. (SEE FURN. SCHEDULE)
- 19 BUILT-IN BANQUETTE BENCH, SEE INTERIOR DETAILS
- 20 (N) BUILT-IN BENCH SEATING TO BE CONSTRUCTED AS PART OF PATIO ENCLOSURE ASSEMBLY
- 21 (N) ACCESS DOORS TO BE INTEGRATED INTO NEW FACADE SYSTEM AT SELECT LOCATIONS; SEE EXTERIOR ELEVATIONS FOR PLACEMENT & SIZE
- 22 (N) WALL & DOOR @ WALK IN. S.K.D.

- 23 6x6 WD STRUCTURE ABV.
- 24 KITCHEN WALK-THROUGH, (N) SWING DOORS, SEE SPEC.
- 25 (N) SERVICE/PICKUP COUNTER, SEE INT. ELEVATIONS
- 26 (N) REFRIGERATED SMALL TALL GRAB AND GO MERCHANDISERS (S.K.D)
- 27 (N) FRAMED COLUMNS, WD SIDING WRAP OVER (2) OR (4) 6x6 WD COLUMNS
- 28 (E) MAIN SERVICE SWITCHBOARD & ELECTRICAL METER TO REMAIN
- 29 WOOD PLANK SOFFIT ABOVE, SEE RCP
- 30 OPEN TO (E) STOREFRONT OR (N) PATIO BEYOND

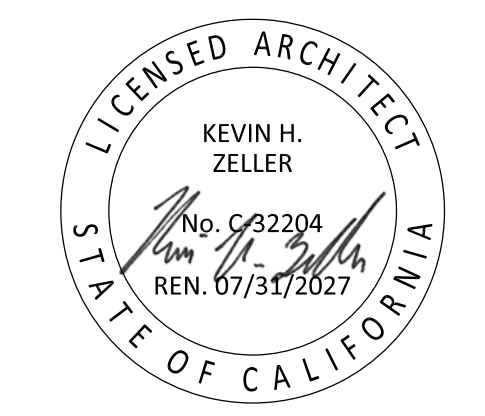
- 31 (N) PAINT ON (E) CMU WALL
- 32 (N) STANDING SEAM METAL ROOF INSTALLED OVER EXISTING ROOF SUBSTRUCTURE. PATCH AND REPAIR EXISTING WATERPROOF MEMBRANE AS NECESSARY. (SEE FINISH SCHEDULE FOR METAL ROOFING SPEC.)
- 33 (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE (SEE DETAIL AND FINISH SCHEDULE FOR SPEC.)
- 34 T.O. PATIO STRUCTURE PARAPET
- 35 (N) MENU BOARD, BY GRAPHIC DESIGNER
- 36 GUIDANCE STANCHION BY OWNER
- 37 DEMO DASHED AREA OF WALL, RELOCATE (E) PLUMBING VENTS AS REQUIRED



1
A2.11
ROOF PLAN
3/8" = 1'-0"



Received
06/03/2026 3:23:11 PM



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DRAWN BY
DATE
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FILE NAME

SHEET NUMBER
A2.11
SHEET OF
© 2025 ZEROTEN DESIGN

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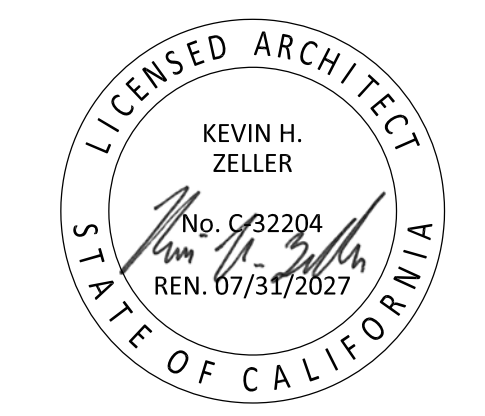
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- 10 RELOCATE EXISTING DOOR, SEE DEMO FLOOR PLAN
- 11 (N) ELIASSON SWING DOORS, SEE DOOR SCHEDULES & ELEVATIONS
- 12 (N) COFFEE PREP COUNTER, S.K.D.
- 13 (N) STORAGE SHELF ABV.
- 14 (N) 1x6 WD BOARD CLADDING OVER 6x6 FRAMING SYSTEM TO WRAP (E) FACADE & ENCLOSE PATIO - SEE EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR LOCATIONS
- 15 (N) POWDER COATED ALUMINUM ENTRY CANOPY @ ENTRY

- 16 (N) PLANTERS TO BE INTEGRATED INTO (N) FACADE SYSTEM. W/ STAPLED IN PLASTIC SHEET LINER W/ DRAINAGE HOLES AND ADD (N) CONCEALED DRIP IRRIGATION
- 17 (N) EXPOSED 6x6 COLUMNS LOCATED AT THE CENTER OF THE PATIO
- 18 (N) BUSSING TUB CART NICHE TO BE INTEGRATED AT SELECTED LOCATIONS IN THE PATIO ENCLOSURE. OWNER TO PROVIDE BUSSING STATION. (SEE FURN. SCHEDULE)
- 19 BUILT-IN BANQUETTE BENCH, SEE INTERIOR DETAILS
- 20 (N) BUILT-IN BENCH SEATING TO BE CONSTRUCTED AS PART OF PATIO ENCLOSURE ASSEMBLY
- 21 (N) ACCESS DOORS TO BE INTEGRATED INTO NEW FACADE SYSTEM AT SELECT LOCATIONS; SEE EXTERIOR ELEVATIONS FOR PLACEMENT & SIZE
- 22 (N) WALL & DOOR @ WALK IN. S.K.D.

- 23 6x6 WD STRUCTURE ABV.
- 24 KITCHEN WALK-THROUGH, (N) SWING DOORS, SEE SPEC.
- 25 (N) SERVICE/PICKUP COUNTER, SEE INT. ELEVATIONS
- 26 (N) REFRIGERATED SMALL TALL GRAB AND GO MERCHANDISERS (S.K.D)
- 27 (N) FRAMED COLUMNS, WD SIDING WRAP OVER (2) OR (4) 6x6 WD COLUMNS
- 28 (E) 'MAIN SERVICE SWITCHBOARD' & 'ELECTRICAL METER' TO REMAIN
- 29 WOOD PLANK SOFFIT ABOVE, SEE RCP
- 30 OPEN TO (E) STOREFRONT OR (N) PATIO BEYOND

- 31 (N) PAINT ON (E) CMU WALL
- 32 (N) STANDING SEAM METAL ROOF INSTALLED OVER EXISTING ROOF SUBSTRUCTURE. PATCH AND REPAIR EXISTING WATERPROOF MEMBRANE AS NECESSARY. (SEE FINISH SCHEDULE FOR METAL ROOFING SPEC.)
- 33 (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE (SEE DETAIL AND FINISH SCHEDULE FOR SPEC.)
- 34 T.O. PATIO STRUCTURE PARAPET
- 35 (N) MENU BOARD, BY GRAPHIC DESIGNER
- 36 GUIDANCE STANCHION BY OWNER
- 37 DEMO DASHED AREA OF WALL, RELOCATE (E) PLUMBING VENTS AS REQUIRED



ISSUE	DESCRIPTION	DATE
01	DEMO PERMIT	06.02.2025
02	PERMIT SET	06.30.2025
03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME
BONNIE BAGELS

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE
EXISTING & PROPOSED EXTERIOR ELEVATIONS

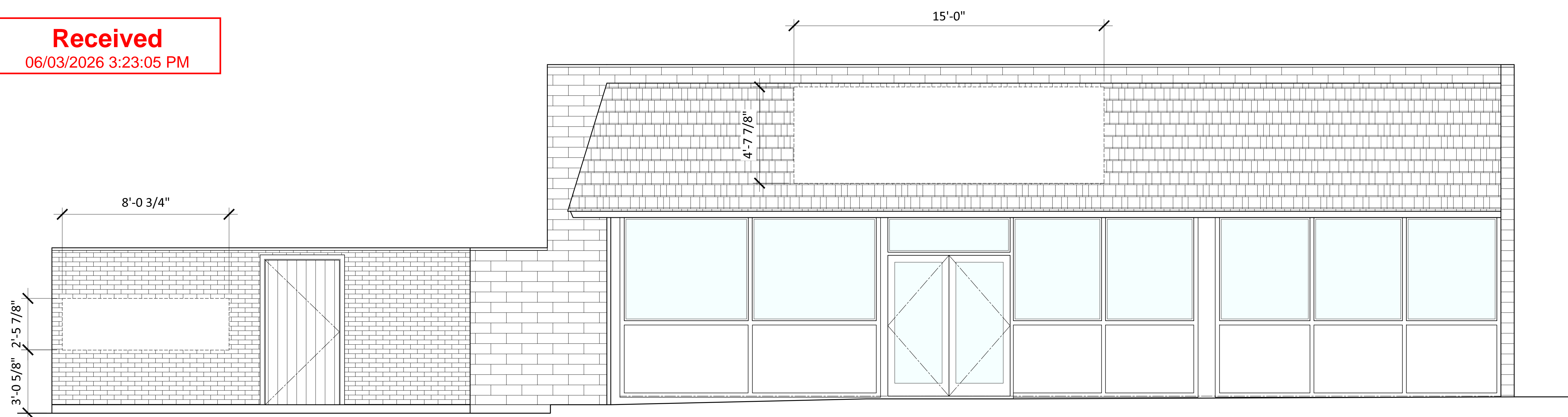
THESE PLANS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED

DRAWN BY
DATE
SCALE AS NOTED
PROJECT NUMBER 25005.00
FILE NAME

SHEET NUMBER
A3.02
SHEET OF

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Received
06/03/2026 3:23:05 PM



2 EXISTING FRONT ELEVATION
A3.02 3/8" = 1'-0"



1 PROPOSED FRONT ELEVATION
A3.02 3/8" = 1'-0"

NOTE: ALL EXTERIOR OF EXISTING BUILDING TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT PRIOR TO INSTALLATION OF EXTERIOR FACADE WRAP FRAMING/CLADDING SYSTEM, SEE FINISH SCHEDULES.

KEY NOTES

NOTE: ALL EXTERIOR 1X6 PLANKS AND EXPOSED WOOD FRAMING (6X6S) TO BE PRIMED AND PAINTED WITH EXTERIOR GRADE PAINT, SEE FINISH SCHEDULES.

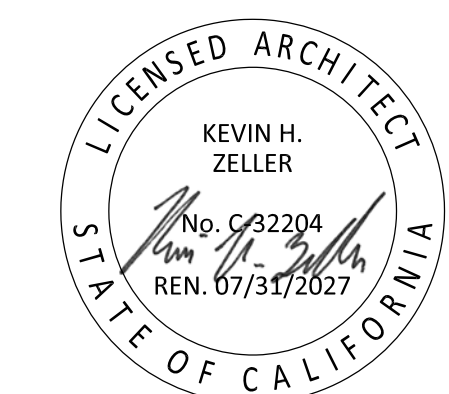
- 01 (E) WALLS, STOREFRONT, WINDOWS & DOORS TO REMAIN. REPAINT & REFINISH AS SHOWN IN SCHEDULES & INTERIOR ELEVATIONS
- 02 APPLY FRP TO ALL B.O.H. WALLS, FULL HEIGHT
- 03 (N) WALL W/ WD SIDING, CONTINUE SIDING TO RECLAD (E) WALL
- 04 [WD-03] SEAMLESS FOLD-UP COUNTER EXTENSION ON PIANO HINGES
- 05 (E) WALL TO REMAIN W/ (N) WD SIDING; SEE FINISH SCHEDULE AND EXT. ELEVATIONS
- 06 (N) COMMUNITY BOARD/ MERCHANDISE NICHE. CONFIRM W/ OWNER
- 07 (N) FRAMELESS TEMPERED CLEAR BAKERY/PASTRY GLASS CASE W/ INTERMEDIATE GLASS SHELF. SITS ON TOP OF ORDER COUNTER.

- 08 (N) FULL HT. BAKERY SHELVES. SEE SCHEDULE & DETAIL
- 09 (N) FRAMELESS 1/2" THICK TEMPERED CLEAR GLASS SNEEZE GUARD. MOUNTED W/ RECESSED IN-COUNTER METAL "U" CHANNEL THAT IS FLUSH WITH COUNTER TOP
- 10 RELOCATE EXISTING DOOR, SEE DEMO FLOOR PLAN
- 11 (N) ELIASSON SWING DOORS, SEE DOOR SCHEDULES & ELEVATIONS
- 12 (N) COFFEE PREP COUNTER, S.K.D.
- 13 (N) STORAGE SHELF ABV.
- 14 (N) 1x6 WD BOARD CLADDING OVER 6x6 FRAMING SYSTEM TO WRAP (E) FACADE & ENCLOSE PATIO - SEE EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR LOCATIONS
- 15 (N) POWDER COATED ALUMINUM ENTRY CANOPY @ ENTRY

- 16 (N) PLANTERS TO BE INTEGRATED INTO (N) FACADE SYSTEM. W/ STAPLED IN PLASTIC SHEET LINER W/ DRAINAGE HOLES AND ADD (N) CONCEALED DRIP IRRIGATION
- 17 (N) EXPOSED 6x6 COLUMNS LOCATED AT THE CENTER OF THE PATIO
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- 33 (N) POLYCARBONATE PANELS ROOF COVERING OVER (N) PATIO ROOF STRUCTURE (SEE DETAIL AND FINISH SCHEDULE FOR SPEC.)
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ISSUE	DESCRIPTION	DATE
01	DEMO PERMIT	06.02.2025
02	PERMIT SET	06.30.2025
03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME
BONNIE BAGELS

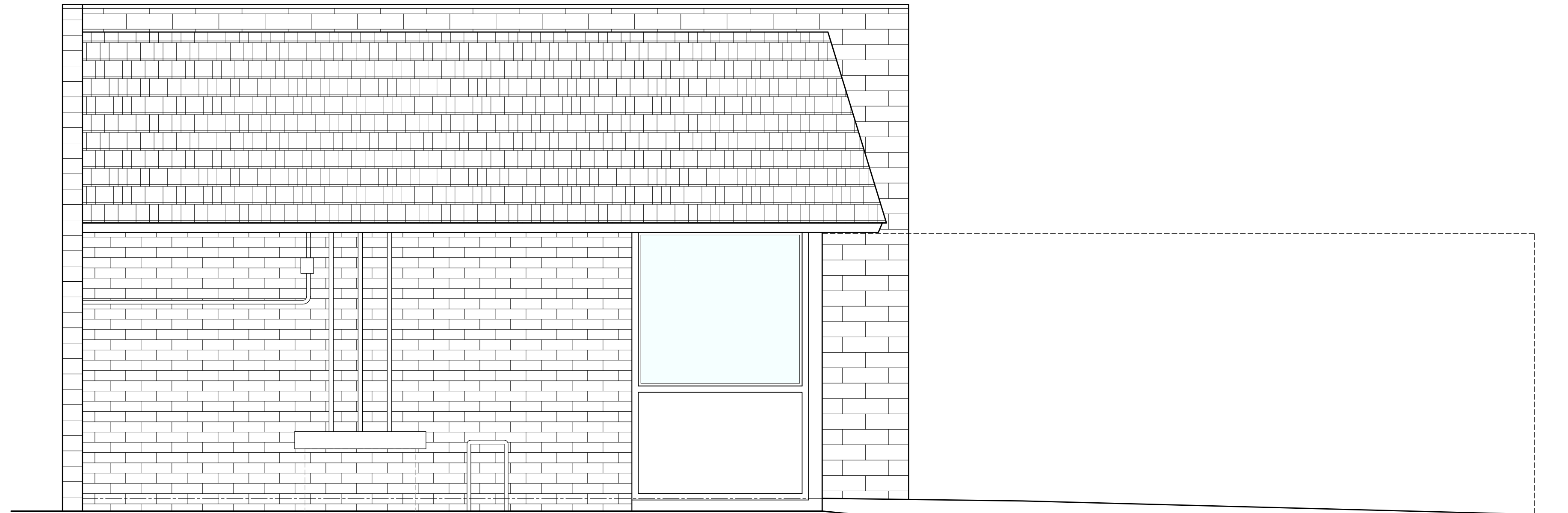
280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE
EXISTING & PROPOSED EXTERIOR ELEVATIONS

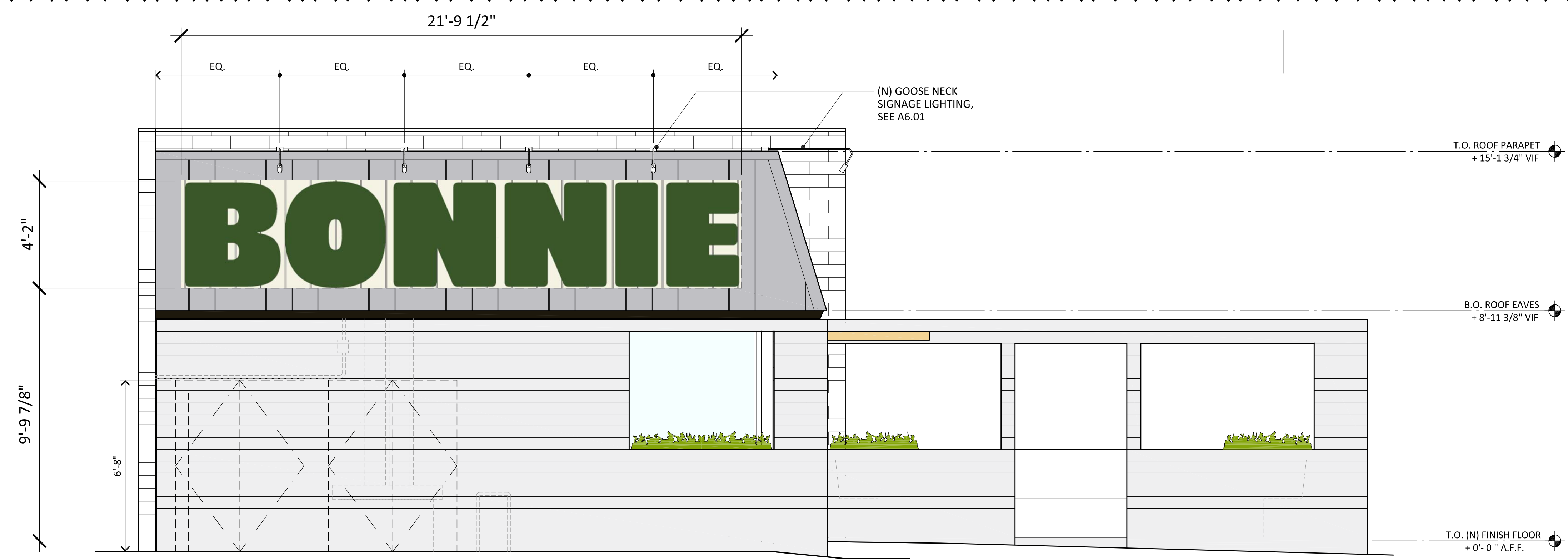
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DRAWN BY
DATE
SCALE AS NOTED
PROJECT NUMBER 25005.00
FILE NAME

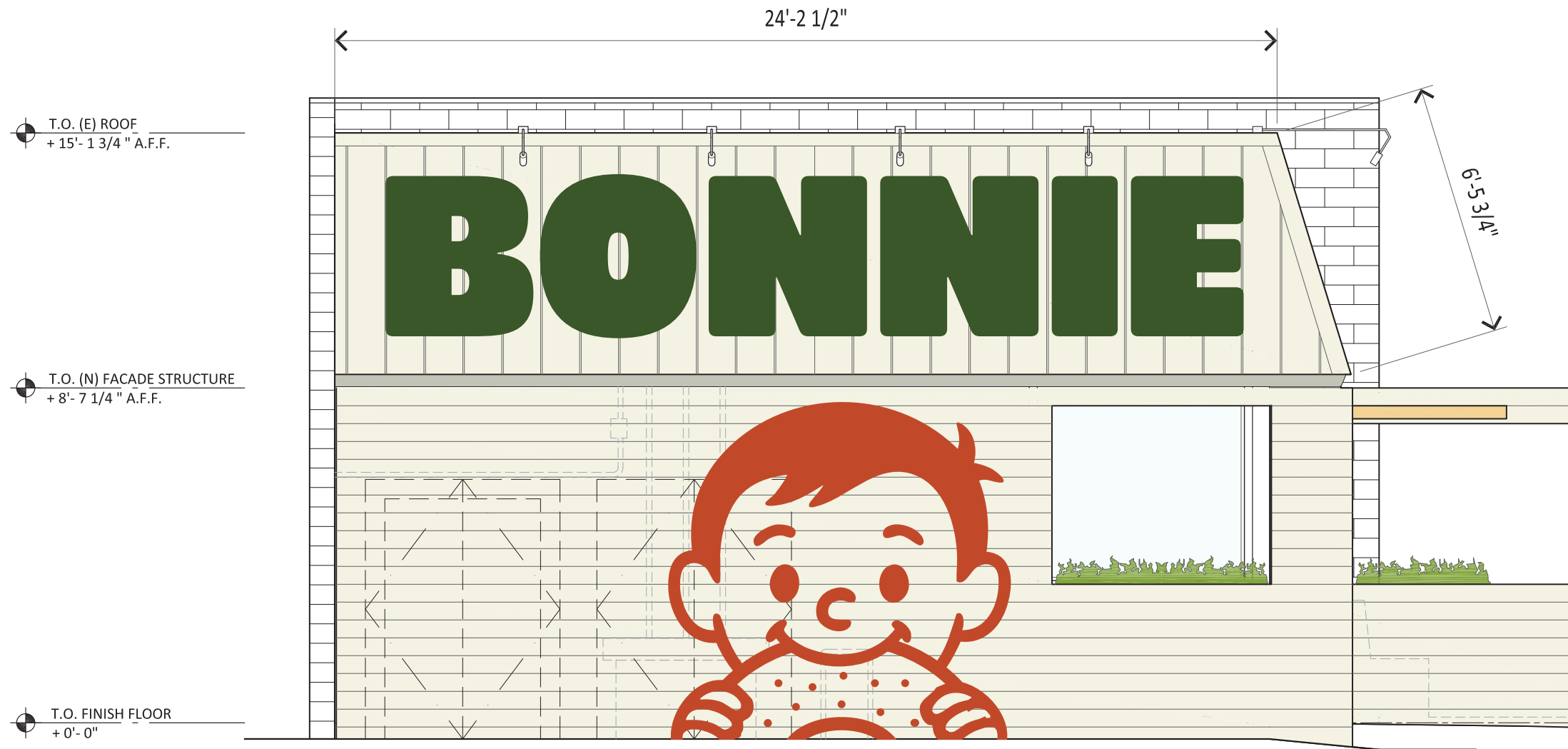
SHEET NUMBER
A3.03
SHEET OF
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2
A3.03
EXISTING SIDE ELEVATION
3/8" = 1'-0"

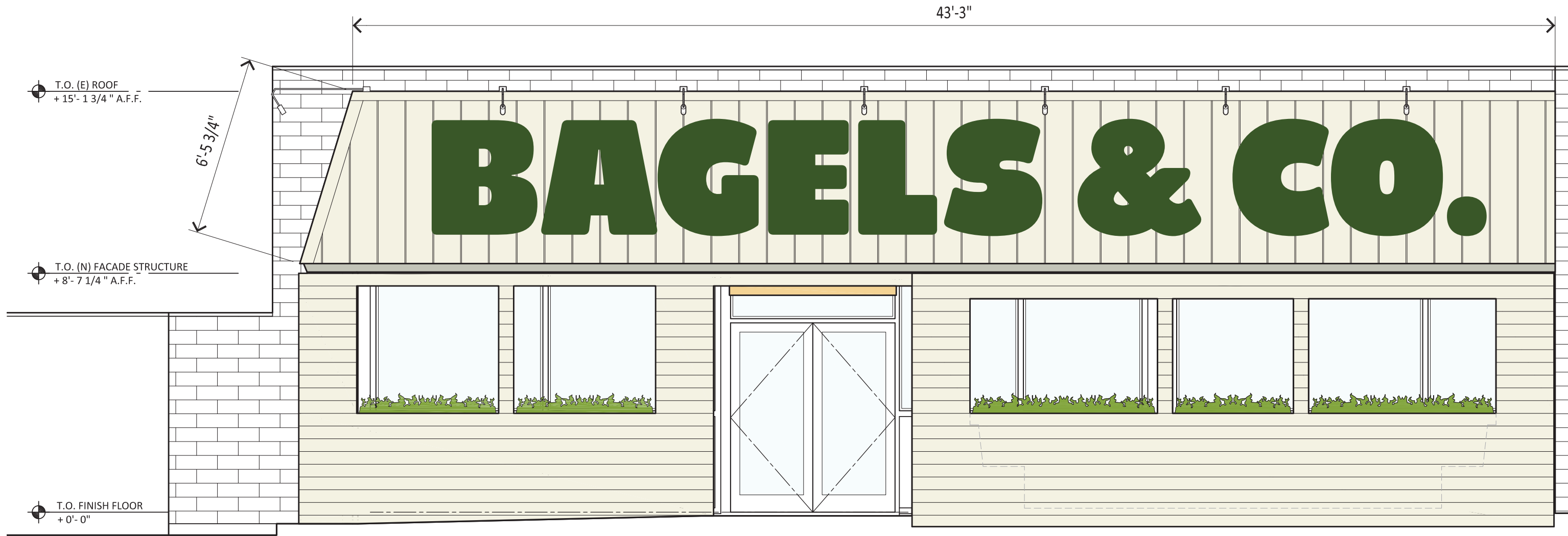


1
A3.03
PROPOSED SIDE ELEVATION
3/8" = 1'-0"



"BONNIE": 21'-9 1/2" x 50"
Color Match: Pantone 530c

Illustration: Approx 10' x 10'
Color Match: Pantone 173 U



"Bagels & Co.": 37'-4 1/3" x 50"

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2
A1.01 EXISTING VIEW



1
A1.01 PROPOSED VIEW

ZERO TEN
59 GRANT AVE
FOURTH FLOOR
SAN FRANCISCO
CA 94108
415.512.8010

ARCHITECTURE+DESIGN

SEAL/SIGNATURE



ISSUE	DESCRIPTION	DATE
01	DEMO PERMIT	06.02.2025
02	PERMIT SET	06.30.2025
03	CONSTRUCTION/VE SET	08.25.2025

PROJECT NAME
BONNIE BAGELS

280 S MAIN ST
SEBASTAPOL, CA, 95472

SHEET TITLE
EXISTING & PROPOSED 3D VIEWS

THESE PLANS ARE INSTRUMENTS OF SERVICE AND ARE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED

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DATE
SCALE AS NOTED
PROJECT NUMBER 25005.00
FILE NAME

SHEET NUMBER
A1.01
SHEET OF
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HIPPIZZAZZ PIZZA

LOCALLY GROWN

FIRED ON STONE

KLRS

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Received

06/03/2026 3:22:11 PM

HIPPIZZAZZ
PIZZA

260



Received

06/03/2026 3:22:01 PM



Received
06/03/2026 3:21:38 PM



HIPPIZZAZZ
PIZZA
LOCALLY GROWN
FIRED ON STONE

PIZZA
GOLDEN
GEAR
AUTOMOTIVE

HIPPIZZAZZ
PIZZA

Sonoma County Transit

20 24
Sonoma County Transit

Tacos
Burritos
Enchiladas
Quesadillas

SEE RESPONSES IN BOLD ITALIC BELOW

1. Master Planning Application (Please be sure to get the property owner's signature and the applicant's signature on **pages 1 and 3**): <https://www.cityofsebastopol.gov/wp-content/uploads/2023/08/Master-Planning-Application-Form-Template.pdf>

SEE ATTACHED IN PORTAL SUBMITTALS

2. Location Map (Indicate the subject parcel(s) and adjacent streets)

SEE SITE PLAN & ROOF PLAN ATTACHED IN PORTAL SUBMITTALS

3. Sign Inventory: A sign inventory of all existing signs to remain as well as new signs, must be submitted for any sign evaluation. This should include the type (freestanding, wall, projection, etc.), height, width, depth, area, height above finished grade, locations of all existing and proposed signs, type of material(s), and method of illumination. *Please note this can be combined with the written statement.*

- a. Example of Sign Inventory: Sign #1: Wall sign, (proposed), 25 square feet, 5'x 5'. Sign is plywood, lettering is red on white background. Sign is not illuminated. The sign will be mounted in front of the building next to the main entrance to the business.

EXISTING SIGN INVENTORY:

1. FREESTANDING STREET SIGN: FREESTANDING MONUMENT SIGN ON S. MAIN STREET. THIS IS THE EXISTING SIGN FRAME FROM THE PREVIOUS TENANT. IT CONSISTS OF A 48" WIDE X 72" TALL X 10" DEEP METAL CABINET, AFFIXED TO A 12' TALL, 10" X 10" WOOD POST. THE CABINET HAS EXISTING INTERIOR ILLUMINATION AND IS AFFIXED TO THE POST SO THAT THE TOP OF THE CABINET ALIGNS WITH THE TOP OF THE POST. THE BOTTOM OF THE CABINET IS APPROXIMATELY 6' FROM THE GROUND. THE POST IS SET IN A PLANTER AREA, BORDERED ON ALL SIDES BY A 6" TALL CONCRETE CURB.

2. ROOF-MOUNTED LETTER SIGN: CONSISTS OF AN APPROX. 15'-0" X 4'-8" PAINTED AND ILLUMINATED BY EXISTING GOOSENECK FIXTURES LETTER SIGN READING "HIPPIZZAZZ PIZZA" IN WHITE BLOCK LETTER TEXT ON RED AND BLACK BACKGROUNDS, MOUNTED UPRIGHT ON THE EXISTING MANSARD ROOF DIRECTLY ABOVE THE BUILDING ENTRY.

3. WALL MOUNTED SIGN: CONSISTS OF AN APPROX. 8'-0" X 2'-6" PAINTED PLYWOOD RECTANGLE SIGN READING PIZZA WITH A RIGHT-POINTING ARROW IN RED BLOCK LETTER TEXT ON WHITE BACKGROUND ROUGHLY 4'-0" OFF THE GROUND MOUNTED ON THE BRICK TRASH ENCLOSURE ADJACENT TO THE RESTAURANT BUILDING.

PROPOSED SIGN INVENTORY:

1. HAND-PAINTED LETTERING DIRECTLY ON THE BUILDING'S ROOF. THE LETTERING WILL BE PAINTED USING EXTERIOR-GRADE SIGN PAINTER'S ENAMEL FOR LONG-TERM DURABILITY. THE FULL TEXT OF THE SIGNAGE SHALL BE "BONNIE BAGELS & CO." WITH "BONNIE" (21'-9 1/2" X 50") BEING ON THE NE FACE OF THE ROOF (PARALLEL TO S. MAIN STREET) AND "BAGELS & CO." (37'-4 1/3" X 50") ON THE NW FACE (PERPENDICULAR TO S. MAIN STREET). THE ROOF SHALL BE LIGHT GREY. THE LETTERING SHALL BE DARK GREEN. EACH LETTER IS 50" TALL IN A BOLD SANS-SERIF STYLE. THE SIGN WILL BE LIT BY ROOF PARAPET MOUNTED GOOSENECK WARM LED LIGHT FIXTURES. WE HAVE PROPOSED LARGER ROOF SIGNAGE BECAUSE THE BUILDING IS TUCKED VERY FAR BACK IN A PARKING LOT WHERE IT IS VERY HARD TO SEE FROM THE SIDEWALK/STREET BY PEDESTRIANS AND CARS DRIVING BY SEE ATTACHED RENDERINGS IN PORTAL SUBMITTALS.

2. FREESTANDING STREET SIGN: TO REPLACE EXISTING IN-KIND (SEE ABOVE). CLEAN THE EXISTING METAL CABINET FRAME; STRIP AND REPAINT THE EXISTING POST; REPLACE THE EXISTING ACRYLIC PANEL WITH A NEW GRAPHIC CONSISTENT WITH THE BRANDING OF THE NEW BUSINESS. SEE ATTACHED PHOTOS IN PORTAL SUBMITTALS.

4. Written Statement: Provide a description of all proposed and existing signs.

WE PROPOSE IDENTIFYING THE BUSINESS WITH HAND-PAINTED LETTERING DIRECTLY ON THE BUILDING'S ROOF. THE LETTERING WILL BE PAINTED USING EXTERIOR-GRADE SIGN PAINTER'S ENAMEL FOR LONG-TERM DURABILITY. THE FULL TEXT OF THE SIGNAGE SHALL BE "BONNIE BAGELS & CO." WITH "BONNIE" BEING ON THE NE FACE OF THE ROOF (PARALLEL TO S. MAIN STREET) AND "BAGELS & CO." ON THE NW FACE (PERPENDICULAR TO S. MAIN STREET). THE ROOF SHALL BE LIGHT GREY. THE LETTERING SHALL BE DARK GREEN. EACH LETTER IS 50" TALL IN A BOLD SANS-SERIF STYLE. THE SIGN WILL BE LIT BY ROOF PARAPET MOUNTED GOOSENECK WARM LED LIGHT FIXTURES. WE HAVE PROPOSED LARGER ROOF SIGNAGE BECAUSE THE BUILDING IS TUCKED VERY FAR BACK IN A PARKING LOT WHERE IT IS VERY HARD TO SEE FROM THE SIDEWALK/STREET BY PEDESTRIANS AND CARS DRIVING BY. THERE WILL ALSO BE A FREE STANDING STREET SIGN ON S MAIN ST TO REPLACE THE EXISTING. SEE ATTACHED DRAWINGS IN THE PORTAL SUBMITTALS.

5. Sign Details: Detailed drawings of all proposed signs, indicating the letter style, color scheme, cabinet colors, and material specifications (minimum scale 1/4"=1'0"). Height above the finished grade must also be shown.

SEE ATTACHED EXTERIOR BUILDING ELEVATIONS IN THE PORTAL SUBMITTALS.

6. Site Photographs: Clearly show the views of and from the project, including existing signs and, if necessary, including neighboring development.

SEE ATTACHED PHOTOGRAPHS IN THE PORTAL SUBMITTALS.

7. Site Plans: Site plans of the project shall be fully dimensioned and accurately drawn. The plans shall contain the following basic information unless the Planning Department determines that additional information is necessary to properly evaluate the project. Use as many sheets as necessary. You may combine information so long as the plans are easy to read. If details are not reviewed during the approval process, they will be subject to review and approval prior to the issuance of building permits.

Site plans shall include the following information:

- a. Signs on Buildings: All existing and proposed signage for buildings and structures. Include their outside dimensions, height, location, and use. Include the length of building frontage(s) on a public right of way. (If the building has more than one frontage, identify the length of each frontage).

SEE ATTACHED SITE PLANS AND EXTERIOR BUILDING ELEVATIONS IN THE PORTAL SUBMITTALS.

- b. Exterior lighting: Show the location, height, size, and type of exterior lights to be used for signs.

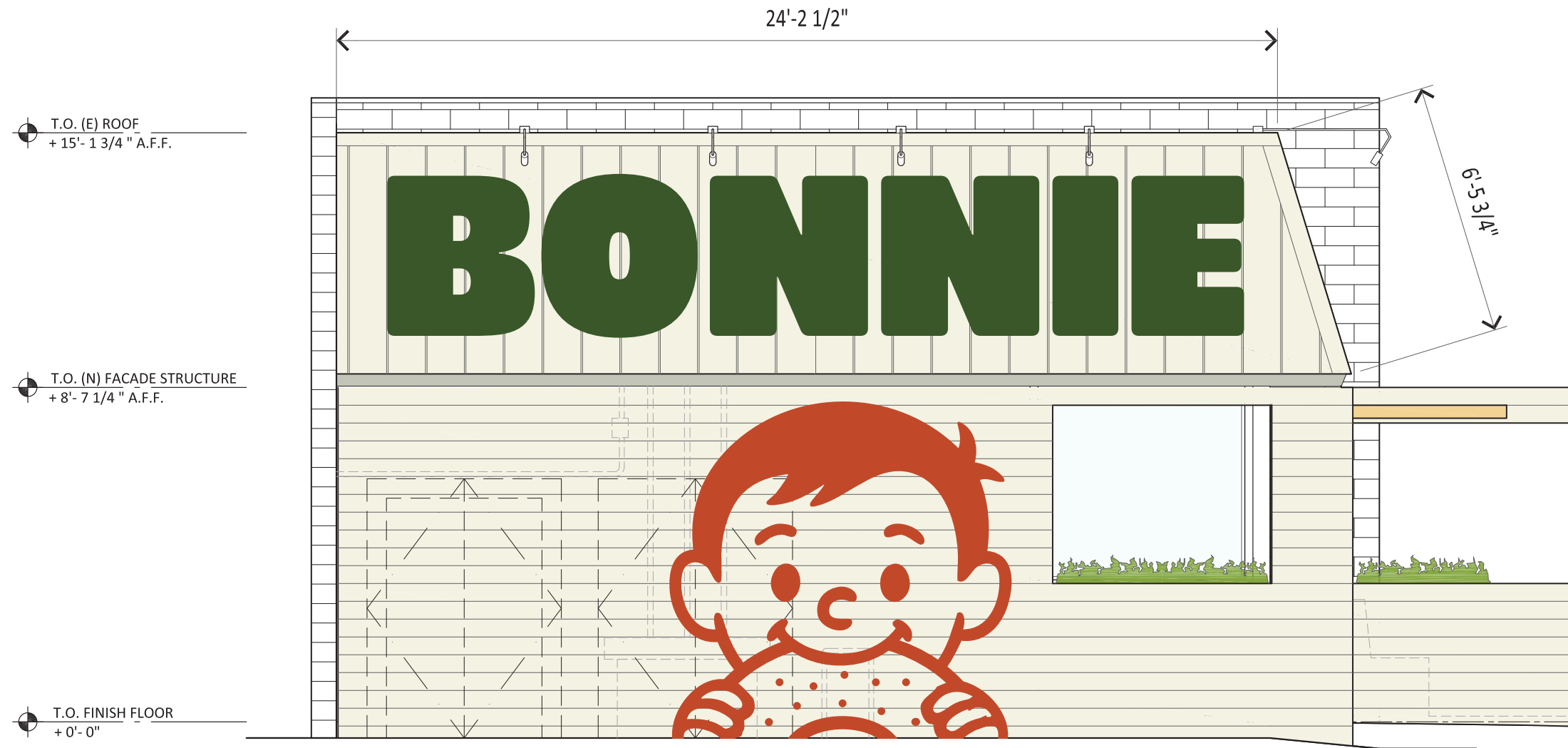
A SERIES OF WARM 30 WATT LED GOOSENECK LIGHT FIXTURES MOUNTED ON THE ROOF PARAPET PROVIDING A SOFT LIGHT THAT HIGHLIGHTS THE ROOF SIGNAGE. (SEE ALSO RENDERING AND ELEVATIONS) THERE ARE 6 FIXTURES ON THE LONG SIDE AND 4 ON THE SHORT SIDE.

- c. Elevations: Fully dimensioned building elevations showing sizes and locations of existing and/or proposed wall signs (minimum scale 1/8" = 1'0); signs shall be dimensioned. Photos with superimposed signs may satisfy this requirement. For sign examples, click [here](#).

SEE ATTACHED EXTERIOR BUILDING ELEVATIONS, IN THE PORTAL SUBMITTALS.

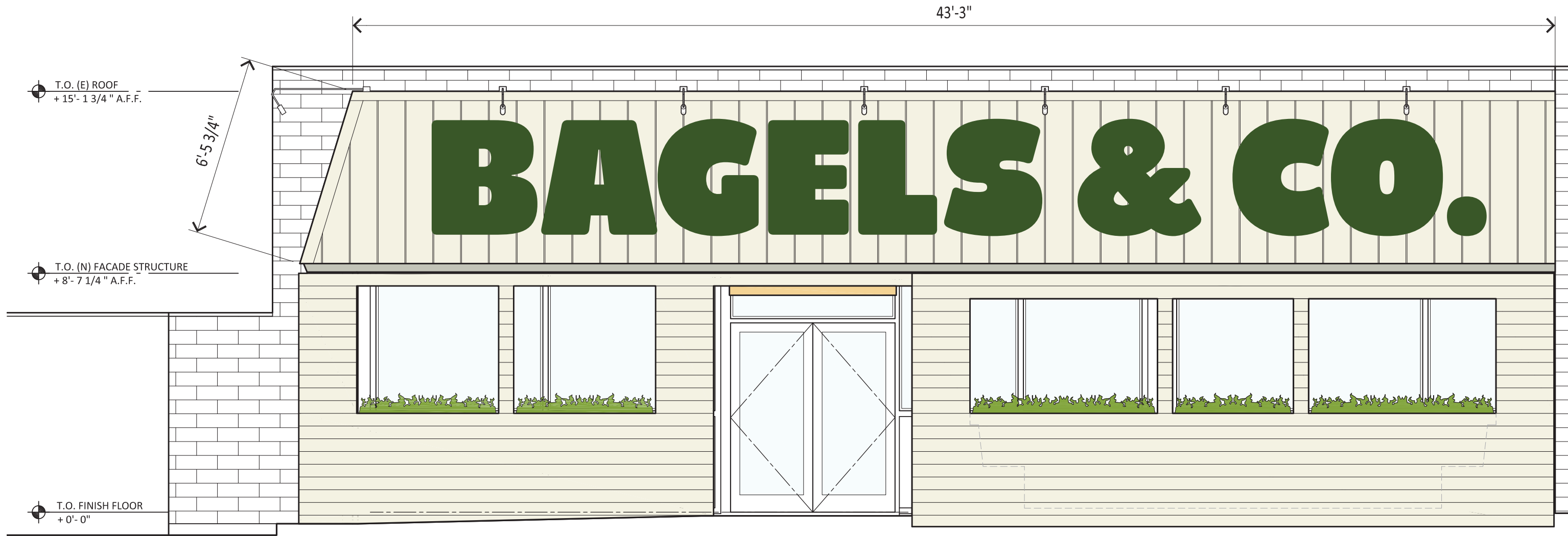
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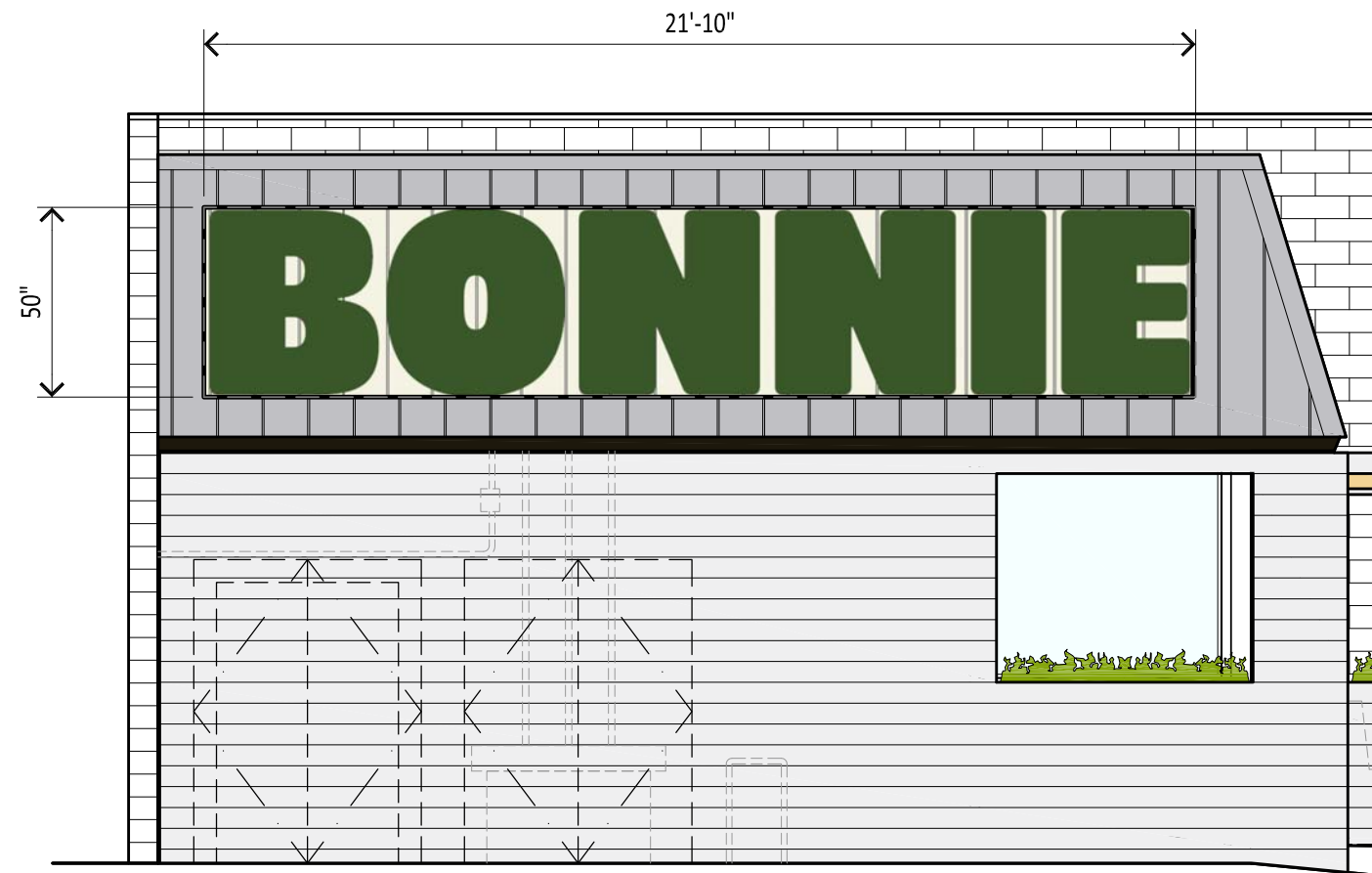


"BONNIE": 21'-9 1/2" x 50"
Color Match: Pantone 530c

Illustration: Approx 10' x 10'
Color Match: Pantone 173 U

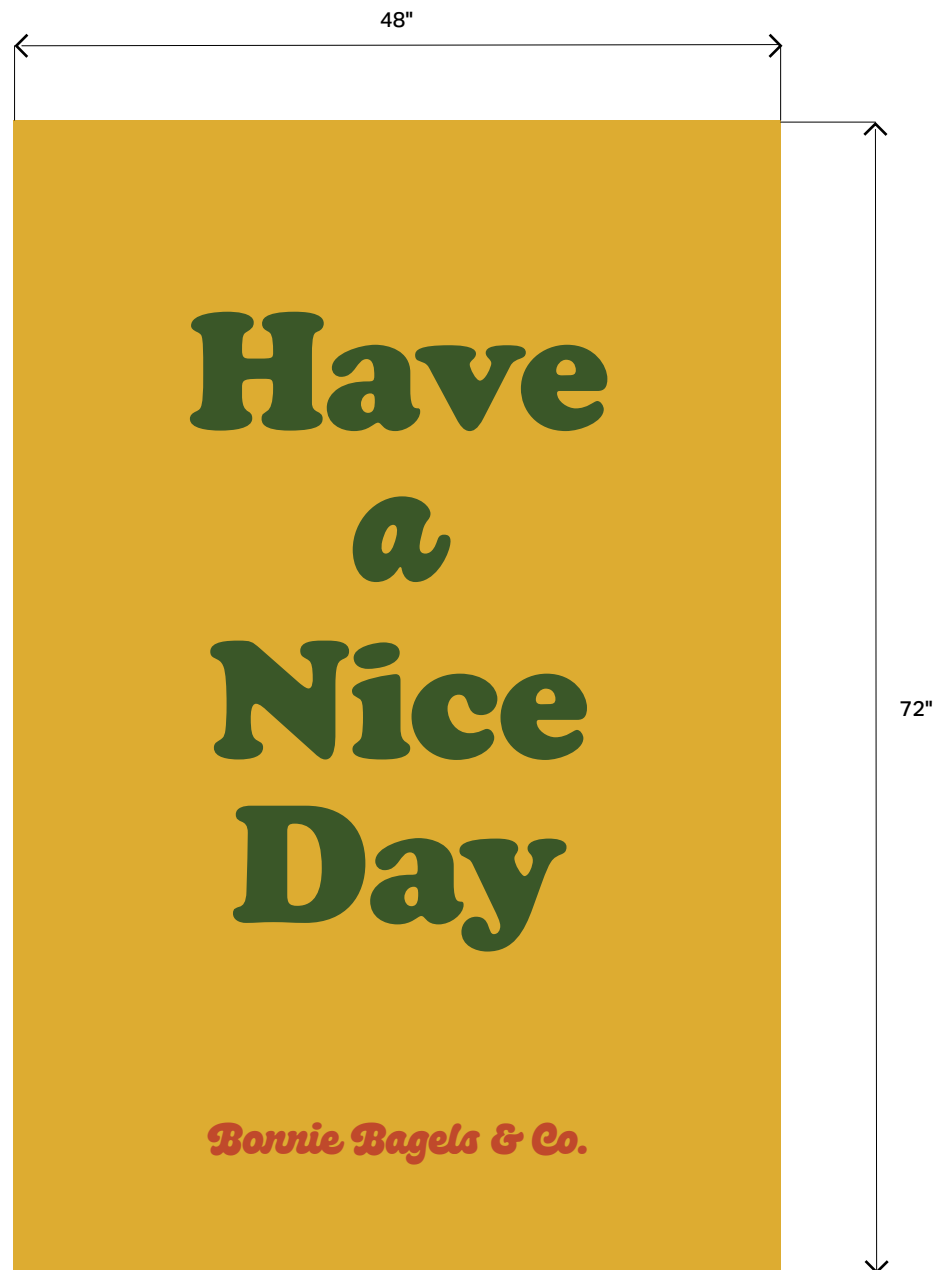


"Bagels & Co.": 37'-4 1/3" x 50"



- "BONNIE" = 91 S.F.
- "BAGELS & CO" = 156 S.F.
- TOTAL ROOF PAINTED SIGNAGE = 247 S.F.
- FREESTANDING STREET SIGN TO REPLACE EXISTING IN-KIND = 24 S.F. (TO MATCH EXISTING)
- TOTAL PROPOSED SIGNAGE = 271 S.F.





BONNIE BAGELS STREET SIGN — S. MAIN STREET

<p>Scale: 1" = 1'</p>	<p>Notes:</p>
<p>Submitted by: MINE™ Client: Bonnie Bagels & Co. Date: 06 12 26</p>	<p>Lettering is Pantone 530c (dark green) and Pantone 173 U (brick); Background is Pantone 7405 (mustard) Printed Vinyl graphic applied to the reverse side of clear acrylic panel. There are panels on both sides of the cabinet. Post and cabinet are existing. We are only replacing the sign panel.</p>

this is our letterhead™

© MINE™ 190 Putnam St. San Francisco, CA 94110 t/415 244 8605

June 12, 2026

Dear Members of the Design Review Board,

My name is Christopher Simmons. I am the brand designer for Bonnie Bagels & Co., and I developed the visual identity for the business, including the logotype and the signage design now installed at 280 S. Main Street.

I'd like to share with you some of the design thinking behind the signage.

Throughout the project, the owner, Michael Sousa, put a high premium on representing the business in way that matched the character of Sebastopol—which is also his home—and elevated the profile of the small business community. I took this assignment in large part because I also share those values.

The Bonnie Bagels identity takes its cues from a number of local inspirations—from traditional roadside stands to modern, agricultural/industrial institutions such as The Barlow. In our survey of existing signage throughout the city of Sebastopol, we were repeatedly inspired by the craftsmanship and plainspokenness of large-format lettering applied directly to buildings. Indeed, it is a look that seems to define the character of the city. Our goal with the Bonnie Bagels signage is to honor and further that tradition. We worked with local sign painters and artists to execute the design with a level of craftsmanship that demonstrates a commitment to the high standards of both the business and the community. By applying it directly to the building—and carefully crafting the typography to respond to the dimensions of the roof—our objective was to create a truly integrated, welcoming, and tasteful experience.

The scale of the typography also serves a functional purpose. The business is set back from the street. It's distance and siteline angles are such that it does not enjoy the same street presence other businesses. A "traditional" storefront sign would disappear into the visual noise of its surroundings (as you may have witnessed when the property was occupied by the previous tenant, who is now out of business). The street is also one-way, which significantly diminishes the opportunity to present the business to the community.

In my professional view, the signage is consistent with the character of both the building and the community. In fact, we took pains to make it so. It is appropriate to the business it identifies, and necessary for the unique circumstances of its location. It reflects a deliberate, cohesive design program, and, I believe, strengthens both the building and its place in the streetscape.

I respectfully ask that you support our request for a sign exception.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Chris Simmons', with a stylized flourish extending to the right.

Christopher Simmons
Creative Director, MINE™
415 244 8605



11 June, 2026

To: Sebastopol Design Review Board

From: Jamie Shorten, Principal, zero ten design

Re: Sign permit for 280 S. Main Street — request for support

Date: June 11, 2026 in advance of the June 23 meeting

Dear Members of the Planning Commission,

My name is Jamie Shorten and I am the architect for Bonnie Bagels located at 280 S Main Street in Sebastopol. I just wanted to write you in advance of the Design Review Board's meeting on June 23rd re: Signage for Bonnie Bagels and give you some background to the building's design and signage. We were commissioned by long time Sebastopol resident Michael Sousa to remodel a small restaurant previously known as Hippizzazz Pizza and create a new Sebastopol business that Michael has a great passion for... amazing hand crafted bagels!

When we were first hired by Michael, I personally did a walking tour of Sebastopol to not only familiarize myself with the City but also get a feel for the town's "design fabric" both old and new. Our initial design goal for the project was to somehow create a simple design for the building that not only honored the historic town of Sebastopol, but also tried to blend with and celebrate the newer areas of Sebastopol. One such area was that really caught our eye was The Barlow. We loved its agricultural/industrial aesthetic that fit in perfectly with the history of Sebastopol. Some of our original design inspiration for Bonnie Bagels were roadside fruit stands that dotted old highways and small town roads throughout California. We thought this design aesthetic would be perfect for Bonnie Bagels and when we discovered The Barlow, we were very inspired by the agricultural/industrial aesthetic and its adaptive reuse buildings to pull in the locals and visitors to the town of Sebastopol. This was one of the main sources of inspiration for our "roadside" Bagel Shop design and proposed painted-on roof signage that you would traditionally see throughout California's roadside farm stands.

Another thing that was a challenge for the existing building was that it was sitting very far back from South Main Street within a small parking lot that also served a series of other small businesses. It was not only hard for pedestrians to see the building but also for cars that were cruising along State Route 116 in the one way direction...so we really wanted to give the business a visibility and chance to be seen and to draw-in patrons to the bagel shop by creating slightly larger roof signage that would give the business a chance to be seen by all passer-bys. The proposed signage wraps the two sides of the building's roof in order to be seen from the street since it sits at an angle to the street and does not have the advantage of one side being the "front" side to the street in terms of signage.

We understand that the signage is larger than is typically allowed for other street side businesses but as you can see Bonnie Bagels is NOT on the street side but rather tucked away in the parking lot and we wanted to give Michael's new business a chance to be seen by all and draw them in to get them to try his amazing bagels.

Thank you in advance for your consideration on this subject.

Sincerely,
Jamie Shorten

file: Bonnie Bagels-Sebastopol - zero ten design - Signage- 2026-06-11.docx
cc: file; Bonnie Bagels

BONNIE

BAGELS & CO.

To: Sebastopol Design Review Board
From: Michael W. Sousa, Owner, Bonnie Bagels & Co.
Re: Sign exception for 280 S. Main Street
Date: June 15, 2026, in advance of the June 23 meeting

Dear Members of the Design Review Board,

My name is Michael Sousa. I have lived in Sebastopol for twenty years, and Bonnie Bagels & Co. is my first business. We took an old building at 280 S. Main Street, one that has cycled through several restaurants, and invested heavily to bring it back to life as a hand-rolled bagel shop and neighborhood café.

I'm writing to respectfully ask for your support on a sign exception, and to give you the context behind it.

The building sits well back from South Main Street, roughly 50 feet from the road, with only its short side facing the road and the length of the building running back from there. There's also a bus shelter in front of it. Between the setback and the shelter, the building is genuinely hard to see, both for people walking and for cars on Route 116. Our architect, Jamie Shorten, designed the new building facade and its signage in a roadside agricultural style drawn from Sebastopol's own design aesthetic, and the roof signage is his solution to that visibility problem. Visibility was a real concern in the design, and the scale of the signage came directly out of it. A sign sized to code for a storefront sitting right on the sidewalk would be much harder to see on a building set this far back. The signage is what lets the building be easily recognized as an open business.

That, I believe, is the heart of our request under the exception rules. It's my hope that you'll see the signage as consistent with the architecture and development of this particular site, and appropriate to the nature of the business given how the building sits. I understand roof signs are a recognized category in Sebastopol, and it's my belief that granting this exception would not amount to a special privilege. It reflects the real conditions of this site.

On process, I want to be straightforward with you. This is my first time building a business, and I leaned heavily on my architect and my designer to guide me through what was required. We went through the City's building permit process in good faith. The permit set included signage renderings, we received our approvals, and no one raised a separate sign permit or any concern about the signage. As the design developed through construction, the signage evolved and grew beyond those early renderings. I understand now that the change should have prompted a separate sign permit, and I did not realize that at the time. That's my responsibility, and it's why I'm before you now, asking for the exception on the sign as it was built.

We've already absorbed costs well beyond what we planned and faced repeated construction delays. I'm trying to open, employ people from this community, and add something good to the town I've called home. I would be grateful for your help in finding a path forward.

Respectfully,

Michael W. Sousa
Owner, Bonnie Bagels & Co.
280 S. Main Street, Sebastopol, CA 95472

