



City of Sebastopol Design Review Board/Tree Board Staff Report

Meeting Date: August 19, 2025
Agenda Item:
To: Design Review and Tree Board
From: John Jay, Contract Associate Planner

Subject: Design Review and Tree Removal
Recommendation: Approval with conditions
Applicant/Owner: Lars Langberg/Owner
File Number: 2025-033
Address: 7580 Washington Ave
CEQA Status: Exempt 15303.a
General Plan: Medium Density Residential (MDR)
Zoning: R4 (Single-Family Residential)

Introduction:

The project before the Design Review and Tree Board is for a Single-Family residence with an Accessory Dwelling Unit (ADU) and the removal of one Oak Tree on site. The applicant is requesting approval for the board to build on an undeveloped parcel that was part of a larger lot split in 2005. Since that parcel split, the subject lot has been vacant for 20 years.

Project Description:

The applicant is proposing to develop a single-family residence that will include a detached ADU. The primary residence will have one main story, with a partial second story, and a small basement space. The size of the basement is 415 sq. ft., and will be used as a simple storage space. The first floor is 1050 sq. ft., and has a main space with kitchen, dining, and living areas, as well as a bedroom, full bathroom, and laundry room. The second floor is 515 sq. ft., and has a primary suite consisting of a bedroom, bathroom, walk-in closet, and small office space. The ADU space will be 510 square feet with 190 square feet of unconditioned space.

Environmental Review:

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and fits the Categorical Exemption of Section 15303.a "*Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.*" in that it is a new construction of single-family residence within an urbanized area in a residential zone.

General Plan Consistency:

This project is consistent with the following General Plan policies, as shown below.

- *Goal LU1 - Maintain Sebastopol as a unique, charming, and environmentally sensitive small town that provides residents, businesses, and visitors with opportunities to enjoy a high quality of life.*
- *Policy LU 1-2: Avoid urban sprawl by concentrating development within the City limits; favor infill development over annexation.*
- *Policy LU 5-5: Strongly encourage residential development in a balanced and efficient pattern that reduces sprawl, preserves open space, and creates convenient connections to other land uses.*
- *Policy LU 6-1: Promote increased residential densities.*
- *Policy LU 6-2: Promote compact urban form that provides residential opportunities in close proximity to jobs, services, and transit.*
- *Policy LU 7-1: Maintain an inventory of developable and appropriately zoned office, commercial, industrial, and mixed-use land sufficient to attract and provide regional services.*
- *Housing Element Policy C-4: The City will encourage development of new housing to meet a range of income levels, including market-rate housing, and a variety of housing sizes and types.*
- *Housing Element Goal D-1: Promote Housing Affordability for both Renters and Homeowners*

Zoning Ordinance Consistency:

The project is on a Single-Family Residential (R4) parcel, which allows for the construction of Single-Family dwelling units up to 8.7 units per acre. Additionally, the parcel does allow for the construction of an ADU of up to 850 square feet on parcels less than 10,000 square feet per Section 17.220 of the Sebastopol Municipal Code. Therefore, the construction of the single-family home and ADU are allowed by right under the Sebastopol Municipal Code. Although the Zoning Code does not normally require design review for a new single-family home and ADU, design review is required for any development on the lot as a condition of approval of the prior lot split pursuant to City Council Resolution 5462.

Public Comment:

As prescribed by Section 17.460 of the Zoning Ordinance, the Planning Department completed the following: (1) Provided written notice to all property owners within 600 feet of the external boundaries of the subject property; (2) provided a written notice that was published in the Press Democrat; and (3) posted three written notices publicly on and within vicinity of the subject property.

City Departmental Comment:

As part of the review of the plan set, the Community Development Department circulated the application package to the various city departments. As part of their review, there are conditions of approval that are included within Exhibit B Conditions of Approval. Additionally, the plan set was referred to the City Arborist for review of the request to remove the one Oak tree on site, and their conditions are included within the same Exhibit.

Required Findings:

Chapter 17.450.030(b) sets forth the required findings of Design Review permits.

In consideration of an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol in that the project breaks down the massing by proposing twenty separate structures, retains the majority of trees between the site and adjoining residential uses, and maintains two-thirds of the site as open space;
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way in that the project provides additional tree screening to the adjoining property owners, increased setbacks from what is required by the Zoning Code, and provides two-thirds of the site as open space;
3. It would not impair the desirability of investment or occupation in the neighborhood in that the project will provide new development on a vacant parcel and increased vibrance on the north gateway into Sebastopol;
4. The design is internally consistent and harmonious, as conditioned, will be met;
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter, as conditioned, will be met along with the analysis in the report.

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

Tree Removal Criteria. An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

Analysis:
Site Analysis

1. *Neighborhood Context:* As the project is located within a residential neighborhood and the last parcel to be developed within this small subdivision, the project would finalize and complete the development of these lots. As the site is sloped and includes a variety of complications, the applicant has provided a product that does not overgrade the site and works well within the bounds of the natural slope. While the site includes a variety of trees and there is a request for removal of one tree that triggers the need for a permit, the applicant includes a landscape plan which includes the replacement of on-site trees to cover the loss of the trees needed to be removed for development.
2. *Building Orientation:* The site is peculiar as it is a key lot and does not have a direct street frontage, and has a single-family home directly to the north blocking the view of the public right of way. However, the site does place the structure parallel with the street frontage as much as possible. The placement of the structures on the site are placed in a way that orients the street frontage and existing driveway. The project also includes a variety of windows and skylights to provide natural light and natural ventilation.
3. *Circulation and Parking:* While the project does not include a covered parking garage, there are two parking spaces on the front of the parcel to meet the parking requirements of the Zoning Code. The project includes a walkway from the parking spaces that directs the owners to the front door of the residence, along with access to the ADU. While the project plans do not show any bicycle parking spaces, there is a storage space of roughly 400 square feet that would allow for the storage of bicycles.
4. *Open Space:* As the project is a private development on a parcel within City limits, the project does include well more than the required 50 square feet of open space. The project includes outdoor space in the manner of decks, porches, and outdoor landscaped space. The plan set also includes privacy fencing along the perimeter of the parcel and between the two units.
5. *Grading and Stormwater Management:* As mentioned earlier in the report, the site is sloped and does require some grading work to accommodate the single-family residence and the ADU. As noted in the preliminary grading plan, the work to be done does its best to minimize the amount of grading work, and the design of the project fits with the naturally occurring slopes. Also included in the grading plan is how the project will deal with storm water runoff. As designed, the site will capture surface water to drainage lines and those lines will carry the water to the existing systems located within the driveway and street network.
6. *Auxiliary Structures:* As there is no trash enclosure designated area on the plan set, it would be assumed that the trash cans for both the residential unit and the ADU would be inside the designated storage areas, as noted on sheets 4 and 9. If their trash is not intended to be located in those storage areas, staff would recommend that there be a designated trash area that is screened from the neighbors, included as part of the project. While there is no roof plan included as part of the project plan set, and is not required as part of the design review application, staff will ensure that all rooftop equipment will be screened during the building permit submittal package. The project plan set does not include a lighting plan, but it should be recommended that the applicant use downlit energy efficiency lighting where possible in the project.

Architecture

1. *Relationship to surrounding architecture:* While the new project is newer in its building style than what is already on the adjoining sites, there are some similarities in the way that the deck and porch space are used on the site. The adjoining buildings use variety in their roof pitches to create breaks in the massing, and the main dwelling uses this same feature to blend into the surrounding area. While the ADU has a flat roof, it does use the same wrap-around porch style that is seen on other parcels.
2. *Massing:* The massing on the main structure is broken up with color and material changes, along with the pitch variation in the roof. The second story does scale down its street presence and is set further back on the site than the lower story.
3. *Elements:* The project includes a variety of window sizes on all sides of the building to break up the massing of the structures. The design features of the chosen materials continue around the entirety of both structures, along with the windows and trim treatments. The main structure uses a variety of roof pitches to break up one large flat roof. However, the ADU does use a flat roof system, but as noted within the landscape plan provides a living roof concept to function as an extension of the natural landscape in the surrounding area. The roof for the main structure will also be designed in a way that will accommodate solar panels, as is now required by the California State Building Code.

Landscape

1. *General:* The landscape materials selected do complement the structure in a way that blends the structure into the site and surrounding existing topography. Within the proposed plan, there are no large areas designated that will be left unplanted, and all zones show appropriate coverage, which leaves no bare spots. While the design guidelines mention the need for seating in the landscaped area, the project includes a larger deck area to accommodate the need for seating. The paths provided within the landscape plan do provide for pedestrian access around the remainder of the site.
2. *Plant Type:* The proposed plan set includes mostly native and drought-tolerant plants and does not include any lawn areas, and only limited high water use plant species.
3. *Trees:* The project does have a request for the removal of one on-site tree that is impeding the development of the ADU. With that, the landscape plan incorporates a few Western Redbud and Gravenstein Apple trees on site.

As the site also includes the request for a tree removal of an Oak tree larger than 20" in diameter breast height (dbh), the applicant has also included this as part of the approval request. Ben Anderson, who serves as the City's Arborist, visited the site and provided a detailed report dated July 10, 2025, and in that report, he mentions that he conducted a site visit on July 2, 2025, to inspect the one tree requesting removal. As part of his report, he mentions that he was unable to locate the trees that would be removed, as they were not located properly on the provided site plan. In the report Ben notes the five criteria that would allow for a removal and only one of them needs to be met as part of the Sebastopol Municipal Code, number four which allows for the removal of a tree if *a situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.* Ben notes in the report that he is unfamiliar with the required setback and building separation for the zoning district the site is in, but from his perspective, the

structures could be developed in a different location that would allow for the preservation of the tree. The conclusions of Ben's report indicate that he is not in agreement with the code requirements and is not recommending removal of the Oak tree. He also states that the landscape plan includes the replanting of a Japanese Maple, and he recommends that the applicant replant a Vine Maple in its place, as it serves the same purpose as the other.

This report was shared with the applicant on July 16, 2025, and the applicant responded the same day, indicating that the tree locations did not make it onto the first set of drawings. Staff recommended that the applicant revise these drawings, include justification on the location of the buildings, and have the City Arborist return to the site if needed.

As requested by staff, the City Arborist reviewed the updated site plans and made a second site visit to ensure the requested oak tree was consistent with the Municipal Code for removal. The revised report indicated that the tree did not meet any of the required findings to allow the Arborist to recommend removal. However, staff does not agree with this conclusion. If the tree is not removed, the only way for the project to proceed would be to completely redesign the proposed project, resulting in an entirely new project. Accordingly, the proposed project "cannot be reasonably designed or altered to avoid the need for tree removal. Additionally, the Arborist is recommending the replanting of a vine maple in place of the Japanese Maple as noted within the landscaping plan.

Recommendation:

If it is the consensus of the Board that the proposed single-family residence and ADU are compatible with the site, staff recommends that the application be approved based on the facts, findings, and analysis set forth in this staff report, and subject to the conditions of approval outlined.

Alternatively, the Board may find that revisions are necessary, and a continuance is appropriate. Staff recommends that the Board provide directions for redesigning for the applicant in the event of a continuance or rationale in the event of a denial.

Additional recommendations that the board should consider.

- If there are outside trash enclosures, they should be designed and screened in a way that hides the cans.
- Staff recommend that downlit and energy-efficient lighting be used where appropriate.

Attachments:

Application materials
Exhibit A Recommended Findings of Approval
Exhibit B Recommended Conditions of Approval
Exhibit C Standard Conditions of Approval
City Arborist Report
Public Comment



City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167

MASTER PLANNING APPLICATION FORM

APPLICATION TYPE

- | | | |
|--|---|---|
| <input type="checkbox"/> Administrative Permit Review | <input type="checkbox"/> Lot Line Adjustment/Merger | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Alcohol Use Permit/ABC Transfer | <input type="checkbox"/> Preapplication Conference | <input checked="" type="checkbox"/> Tree Removal Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Review | <input type="checkbox"/> Variance |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Sign Permit | <input type="checkbox"/> Other _____ |

This application includes the checklist(s) or supplement form(s) for the type of permit requested: ☐ Yes ☒ No

REVIEW/HEARING BODIES

- ☐ Staff/Admin ☒ Design Review/Tree Board ☐ Planning Commission ☐ City Council ☐ Other _____

APPLICATION FOR

Street Address: 7580 Washington Ave

Assessor's Parcel No(s): 004-223-030

Present Use of Property: vacant

Zoning/General Plan Designation: R4/MDR

APPLICANT INFORMATION

Property Owner Name: Sharon Besser

Mailing Address: 708 Gravenstein Hwy N., #3013

Phone: 608-852-7588

City/State/ZIP: Sebastopol/CA/95472

Email: sharonbesser@gmail.com

Signature: Sharon Besser

Date: 6/23/25

Authorized Agent/Applicant Name: Lars Langberg

Mailing Address: 108 Petaluma Ave

Phone: 707-338-6235

City/State/ZIP: Sebastopol/CA/95472

Email: lars@larsarchitects.com

Signature: [Signature]

Date: 6.23.25

Contact Name (If different from above):

Phone/Email:

PROJECT DESCRIPTION AND PERMITS REQUESTED (ATTACH ADDITIONAL PAGES IF NECESSARY)

Design Review Board approval requested for a new single family dwelling plus ADU on a previously undeveloped parcel.

Removal of 1 coast live oak tree, 27" DBH.

CITY USE ONLY

Fill out upon receipt:

Application Date: _____

Planning File #: _____

Received By: _____

Fee(s): \$ _____

Completeness Date: _____

Action:

Staff/Admin: _____

Planning Director: _____

Design Review/Tree Board: _____

Planning Commission: _____

City Council: _____

Action Date:

Date: _____

Date: _____

Date: _____

Date: _____

Date: _____

SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

SITE DATA TABLE	REQUIRED / ZONING STANDARD	EXISTING	PROPOSED
Zoning	N/A	R4	R4
Use	N/A	residential	residential
Lot Size		7179 sq. ft.	7179 sq. ft.
Square Feet of Building/Structures <i>(if multiple structures include all separately)</i>		n/a	1980-Primary 700 ADU
Floor Area Ratio (F.A.R)	_____ FAR	n / a FAR	3 7 3 3 FAR
Lot Coverage	_____ % of lot _____ sq. ft.	n/a % of lot n/a sq. ft.	24 % of lot 7179 sq. ft.
Parking		0 spaces	2 spaces
Building Height		n/a	29'-11 3/4"
Number of Stories		n/a	2
Building Setbacks – Primary			
Front		20'	20'
Secondary Front Yard (corner lots)		n/a	n/a
Side – Interior		6'	6'
Rear		25'	25'
Building Setbacks – Accessory			
Front		20'	20'
Secondary Front Yard (corner lots)		n/a	n/a
Side – Interior		6'	6'
Rear		25'	25'
Special Setbacks (if applicable)			
Other (_____)			
Number of Residential Units	2 Dwelling Unit(s)	0 Dwelling Unit(s)	2 Dwelling Unit(s)
Residential Density	1 unit per n/a sq. ft.	1 unit per n/a sq. ft.	1 unit per n/a sq. ft.
Useable Open Space	n/a sq. ft.	n/a sq. ft.	3660 sq. ft.
Grading	Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees.	N/A	Total: _____ cu. yds. Cut: _____ cu. yds. Fill: _____ cu. yds. Off-Haul: _____ cu. yds.
Impervious Surface Area	N/A	N/A % of lot 7179 sq. ft.	1885 % of lot 7179 sq. ft.
Pervious Surface Area	N/A	N/A % of lot 7179 sq. ft.	_____ % of lot _____ sq. ft.

CONDITIONS OF APPLICATION

1. All Materials submitted in conjunction with this form shall be considered a part of this application.
2. This application will not be considered filed and processing may not be initiated until the Planning Department determines that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant of all application deficiencies no later than 30 days following application submittal.
3. The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the owner's behalf.
4. The Owner shall inform the Planning Department in writing of any changes.
5. **INDEMNIFICATION AGREEMENT:** As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

6. **REPRODUCTION AND CIRCULATION OF PLANS:** I hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
7. **NOTICE OF MAILING:** Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
8. **DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
9. **NOTICE OF ORDINANCE/PLAN MODIFICATIONS:** Pursuant to Government Code Section 65945(a), please indicate, by checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the following plans or ordinances if the City determines that the proposal is reasonably related to your request for a development permit:

☐ A general plan

☐ A specific plan

☐ An ordinance affecting building permits or grading permits

☐ A zoning ordinance

Certification

I, the undersigned owner of the subject property, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury. I hereby grant members of the Planning Commission, Design Review Board and City Staff admittance to the subject property as necessary for processing of the project application.

Property Owner's Signature: 

Date: 6/23/25

I, the undersigned applicant, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.

Applicant's Signature: 

Date: 6.23.25

NOTE: It is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

Neighbor Notification

In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, residents, and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight, or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times, development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project: ☒ Yes ☐ No

If yes, or if you will inform neighbors in the future, please describe outreach efforts:

Have spoken informally to 2 of the neighbors on the shared driveway. Planning to show the design plan to the 6 neighbors directly adjacent whose property will be impacted

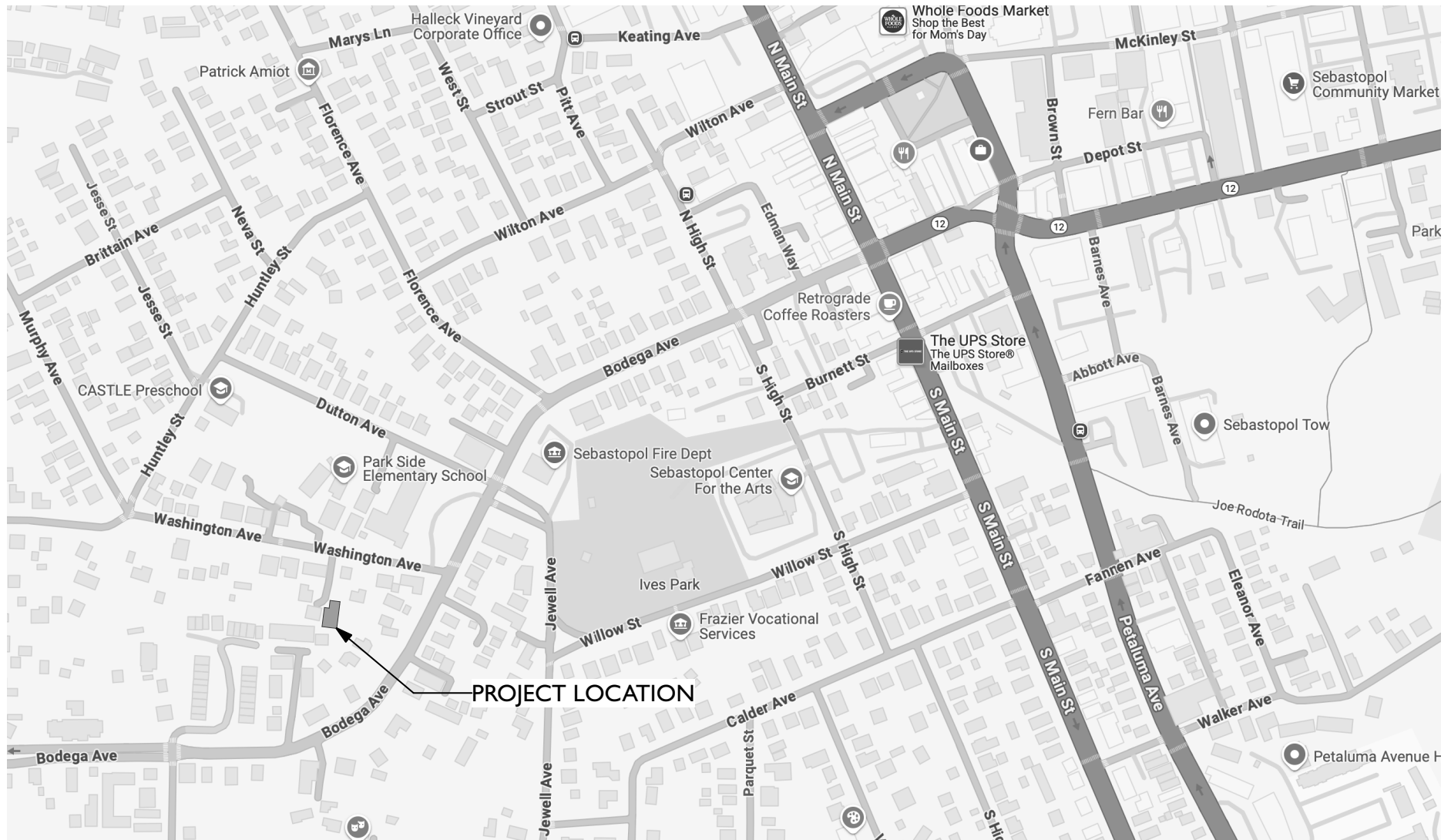
Website Required for Major Projects

Applicants for major development projects (which involves proposed development of **10,000 square feet of new floor area or greater, or 15 or more dwelling units/lots**), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

- ✓ Project description
- ✓ Contact information for the applicant, including address, phone number, and email address
- ✓ Map showing project location
- ✓ Photographs of project site
- ✓ Project plans and drawings



**LARS LANGBERG
ARCHITECTS**

DRAWING: LOCATION MAP
PROJECT: BESSER RESIDENCE

SCALE: NOT TO SCALE
DATE: June 23, 2025
REV:

July 17, 2025

City of Sebastopol Community Development Dept.

Attn: Emi Theriault, Director

7120 Bodega Ave, Sebastopol, CA 95472

Re: Design Review Application, **Project Narrative** 7580 Washington Avenue

We are submitting an application to the Design Review Board for the development of a single family residence and ADU on a previously undeveloped parcel at 7580 Washington Avenue. This parcel is part of a subdivision created in 2005; one of the parcels had an existing house that remained, while the other two were developed many years ago. There is a shared driveway for three of the parcels (including the subject property) off of Washington Avenue; site utilities are stubbed out to the subject property as well. The site is steeply sloping, bordered by single family dwellings on all four sides, with expansive views to the east.

The primary residence will have one main story, with a partial second story, and a small basement space. The size of the basement is 415 sq. ft., and will be used as a simple storage space. The first floor is 1050 sq. ft., and has a main space with kitchen, dining, and living areas, as well as a bedroom, full bathroom, and laundry room. The second floor is 515 sq. ft., and has a primary suite consisting of a bedroom, bathroom, walk-in closet, and small office space. The exterior spaces include a concrete patio outside the lower level that is 295 sq. ft, a stepped terrace outside the main level of 470 sq. ft, and a balcony on the second floor that is 110 sq. ft.

In the design of the project, we have taken measures to limit the impact on the adjacent neighbor, at 7584 Washington. The upper roof slopes up away from the neighbor, and the second story is only a partial floor, not taking up much of the site. The mass of the building is set back to maintain the neighbor's view of the eastern Santa Rosa hills. Additionally, there are no windows on the second floor of the elevation adjacent to the neighbor, and only seven small windows on the first floor of that elevation. These seven windows will have frosted glass. And the balcony on this floor has a screen wall on the neighbor's side.

The material palette for the project is as follows:

- Primary Residence
 - Painted cement fiberboard siding will clad the majority of the building. There is also a pop-up stair volume that clad in clear-sealed cedar siding.
 - Windows and doors will be Sierra Pacific aluminum-clad wood; exterior color will

- be #002-Brown. There is also a roll-up garage door to access the basement storage space
- Roofing on the uppermost volume will be corrugated galvalume; the remainder of the low-slope roofs will have PVC membrane roofing
- Soffits will also be clear cedar, except at the stair pop-up, which will have painted cement fiberboard panels
- Lighting selections include downcast wall sconces, and step lights in the risers of the stairs
- Stairs to be redwood, with stainless steel guardrails with a wood cap
- Landscape/hardscape features will include a combination of redwood decks, concrete pavers, and rusting steel retaining walls & planters
- ADU
 - Clear-sealed cedar will be the siding material
 - Windows and doors will be Sierra Pacific aluminum-clad wood; exterior color will be #002-Brown
 - Roofing will be a planted living roof; this is purposely chosen so the view from the main house will look at a nice garden space
 - Soffits will be painted cement fiberboard panels.

We are also proposing to remove one coast live oak tree of greater than 20" DBH, in the location of the ADU. Given the setbacks of the property, there is very little space to locate the residence and ADU, and we have worked to keep both buildings as compact as possible in both their square footage and footprint. See our Site Plan (drawing #2, keynote #15). Given that, it is our feeling that the tree can be removed using criteria #4 in the Sebastopol Municipal Code 8.12.060, as follows:

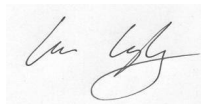
4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.

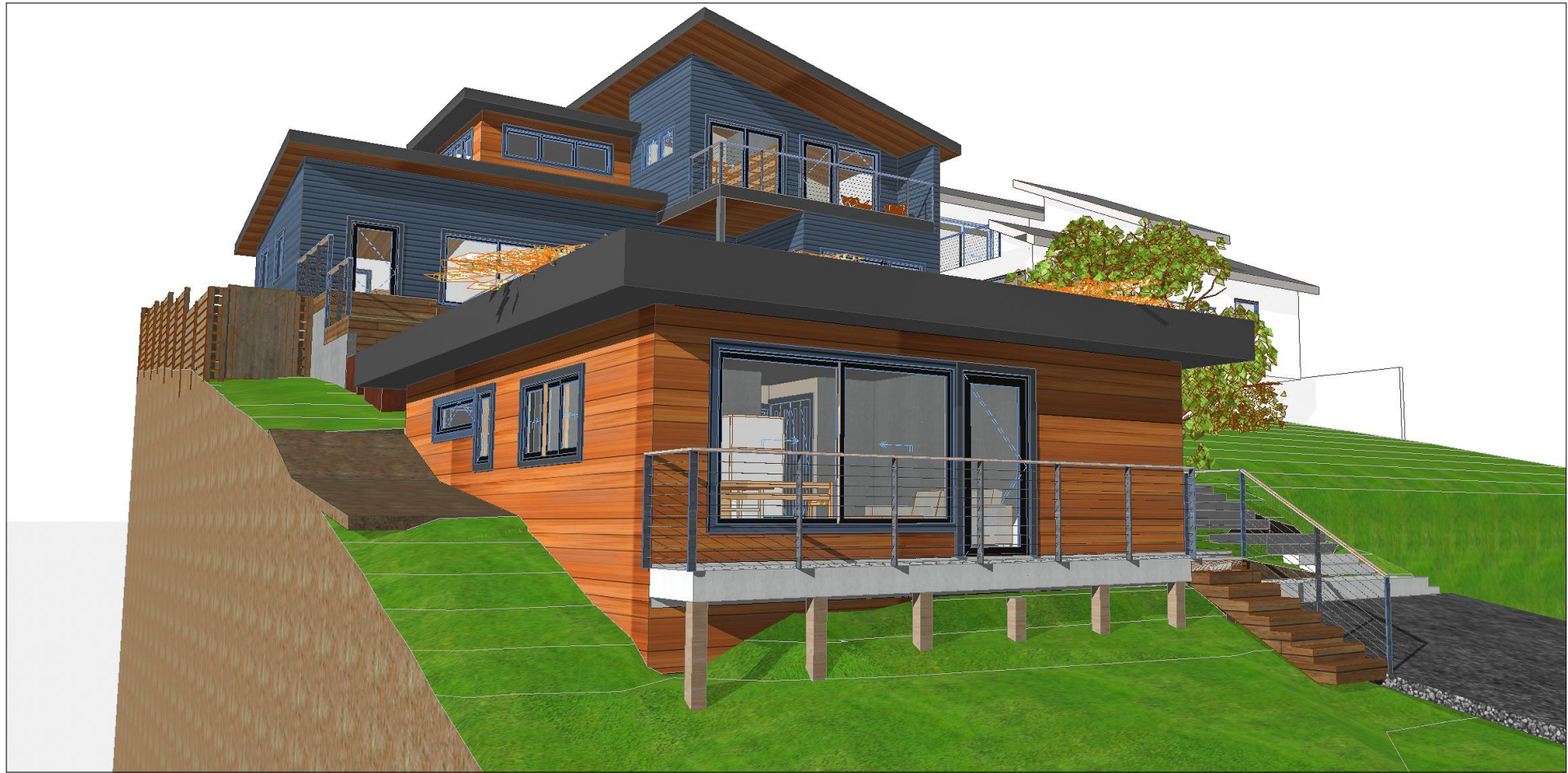
An arborist report has been prepared to document this tree removal, as well the condition of 2 other coast live oak trees that will be removed, as they would also be within or just outside the footprint of the foundation. Two replacement trees will be planted for the one needing the permit to remove. This is outlined in the landscape plan, along with the other proposed landscape design additions to the site. And while we are removing the majority of the trees on site, there are many mature trees bordering the property.

We have compiled a drawing set outlining the proposed development, including existing photos of the property, and a sample material/color board. As mentioned, there is also a preliminary landscape plan, arborist report, as well as preliminary grading/drainage plans.

Please let us know if there's anything else you need from us to illustrate the project. We look forward to your response.

Sincerely,





VIEW FROM NORTH EAST



VIEW FROM NORTH WEST



VIEW FROM SOUTH WEST



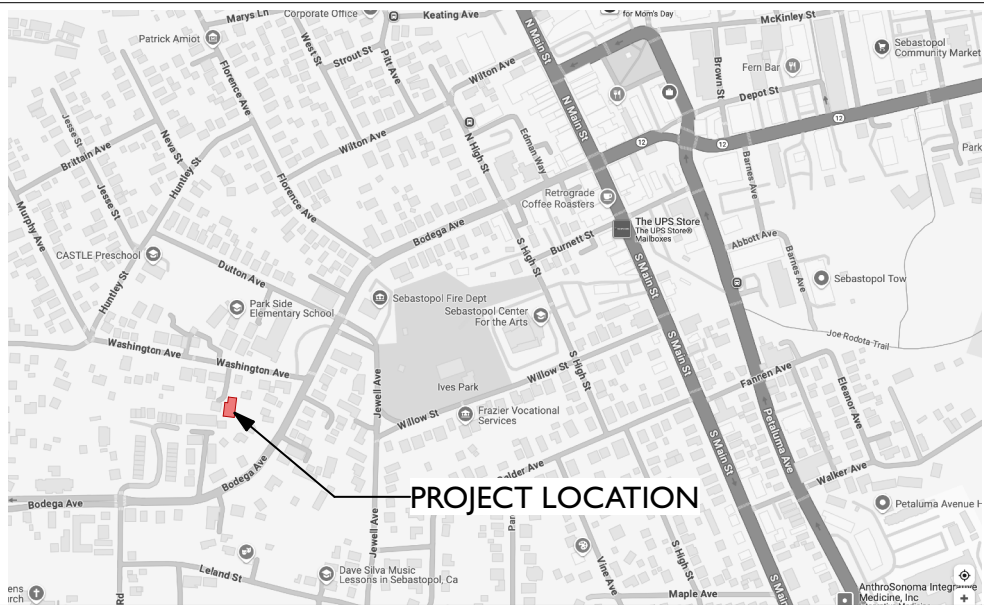
VIEW FROM SOUTH EAST



VIEW FROM NORTH EAST ON PRIMARY RESIDENCE



VIEW FROM NORTH WEST ON PRIMARY RESIDENCE



VICINITY MAP

THE PROJECT IS FOR THE DEVELOPMENT OF A SINGLE FAMILY RESIDENCE AND ADU ON A PREVIOUSLY UNDEVELOPED PARCEL. THE RESIDENCE IS PROPOSED TO BE 1980 SQUARE FEET, OF WOOD FRAME CONSTRUCTION ON A SLAB ON GRADE FOUNDATION. THE ADU IS PROPOSED TO BE 700 SQUARE FOOT, OF CONCRETE AND WOOD FRAME CONSTRUCTION ON A SLAB ON GRADE FOUNDATION.

PROJECT DESCRIPTION

AREA OF NEW PRIMARY RESIDENCE:	SQ. FT.
CONDITIONED SPACE:	1565
UNCONDITIONED SPACE:	415
COVERED BALCONY:	110
UNCOVERED PORCHES/DECKS/PATIOS:	765
AREA OF NEW ADU:	
CONDITIONED SPACE:	510
UNCONDITIONED SPACE:	190
UNCOVERED PORCHES/DECKS/PATIOS:	0
PARKING SPACES REQUIRED:	2
PARKING SPACES PROVIDED:	2
LOT AREA:	7179 SQ. FT.
LOT COVERAGE:	24%
FLOOR AREA RATIO:	37.33
OCCUPANCY GROUP:	R-3
CONSTRUCTION TYPE:	TYP V-B, SPRINKLERED
ASSESSORS PARCEL NUMBER:	004-223-030
ZONING:	R4
FIRE PROTECTION ZONE:	LOCAL

PROJECT DATA

ID	NAME
1	COVER SHEET
2	SITE PLAN
3	SITE SECTIONS
4	PRIMARY RESIDENCE BASEMENT/ FOUNDATION PLAN
5	PRIMARY RESIDENCE FIRST FLOOR PLAN
6	PRIMARY RESIDENCE SECOND FLOOR PLAN
7	ELEVATIONS - PRIMARY RESIDENCE
8	ELEVATIONS - PRIMARY RESIDENCE
9	ADU FLOOR PLAN
10	ELEVATIONS - ADU
11	SITE PHOTOS
12	MATERIAL & COLOR BOARD

SHEET INDEX

OWNER:
SHARON BESSER
7580 WASHINGTON AVENUE
SEBASTOPOL, CA 95472
(608) 852-7588

ARCHITECT:
LARS LANGBERG ARCHITECTS
108 PETALUMA AVE
SEBASTOPOL CA 95472
(707) 823-9899

PROJECT DIRECTORY

**LARS LANGBERG
ARCHITECTS**
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lars@larsarchitects.com
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charles@larsarchitects.com
970.281.5832

BESSER RESIDENCE
7580 WASHINGTON AVENUE
SEBASTOPOL, CA 95472

APN: 004-223-030

ISSUED FOR:

DESIGN REVIEW	06.23.25
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**PRELIMINARY
NOT FOR
CONSTRUCTION**

COVER SHEET

DATE: July 10, 2025

SCALE: AS NOTED

BESSER RESIDENCE
7580 WASHINGTON AVENUE
SEBASTOPOL, CA 95472

APN: 004-223-030

ISSUED FOR:

DESIGN REVIEW	06.23.25
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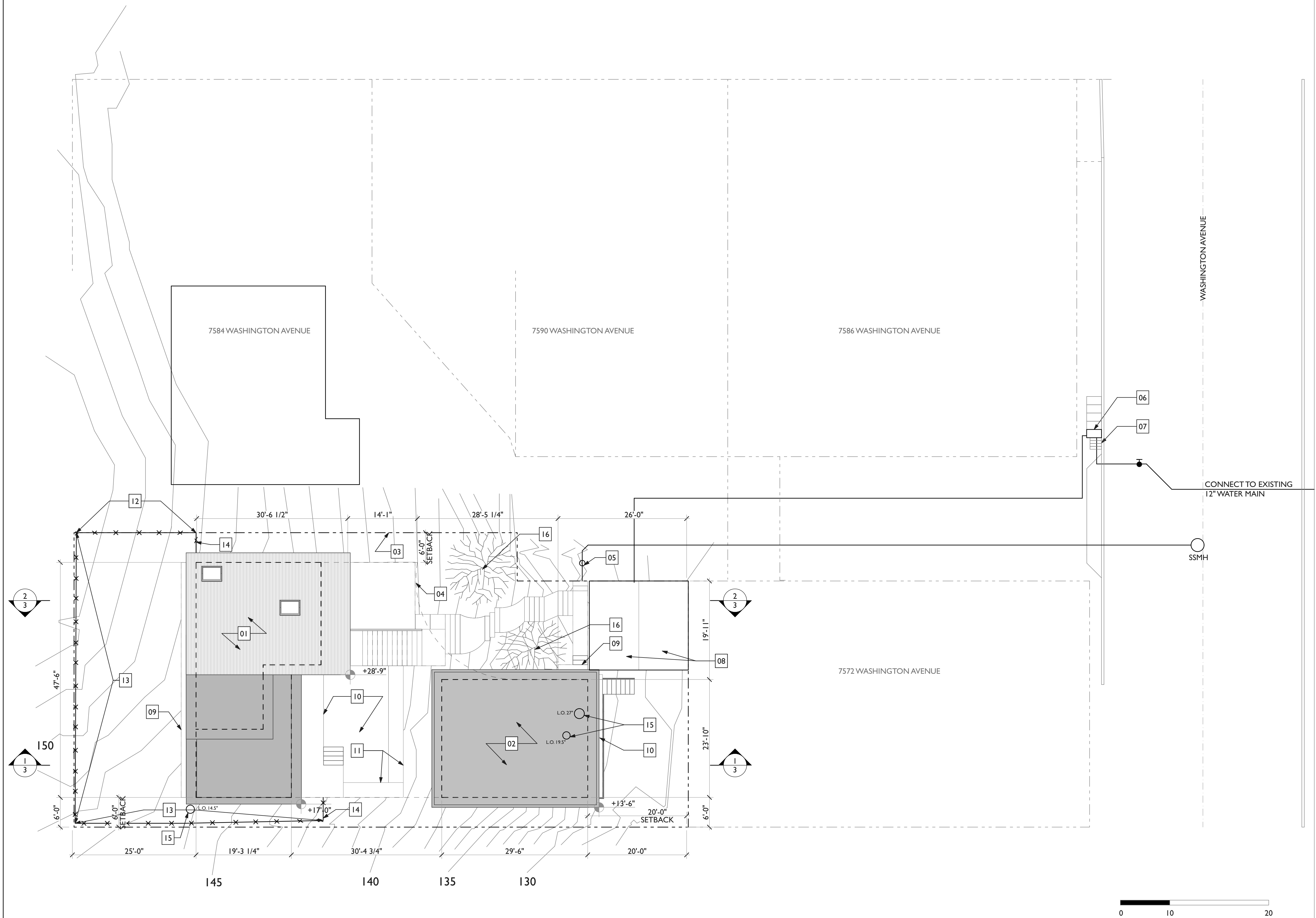


SITE PLAN

DATE: July 17, 2025

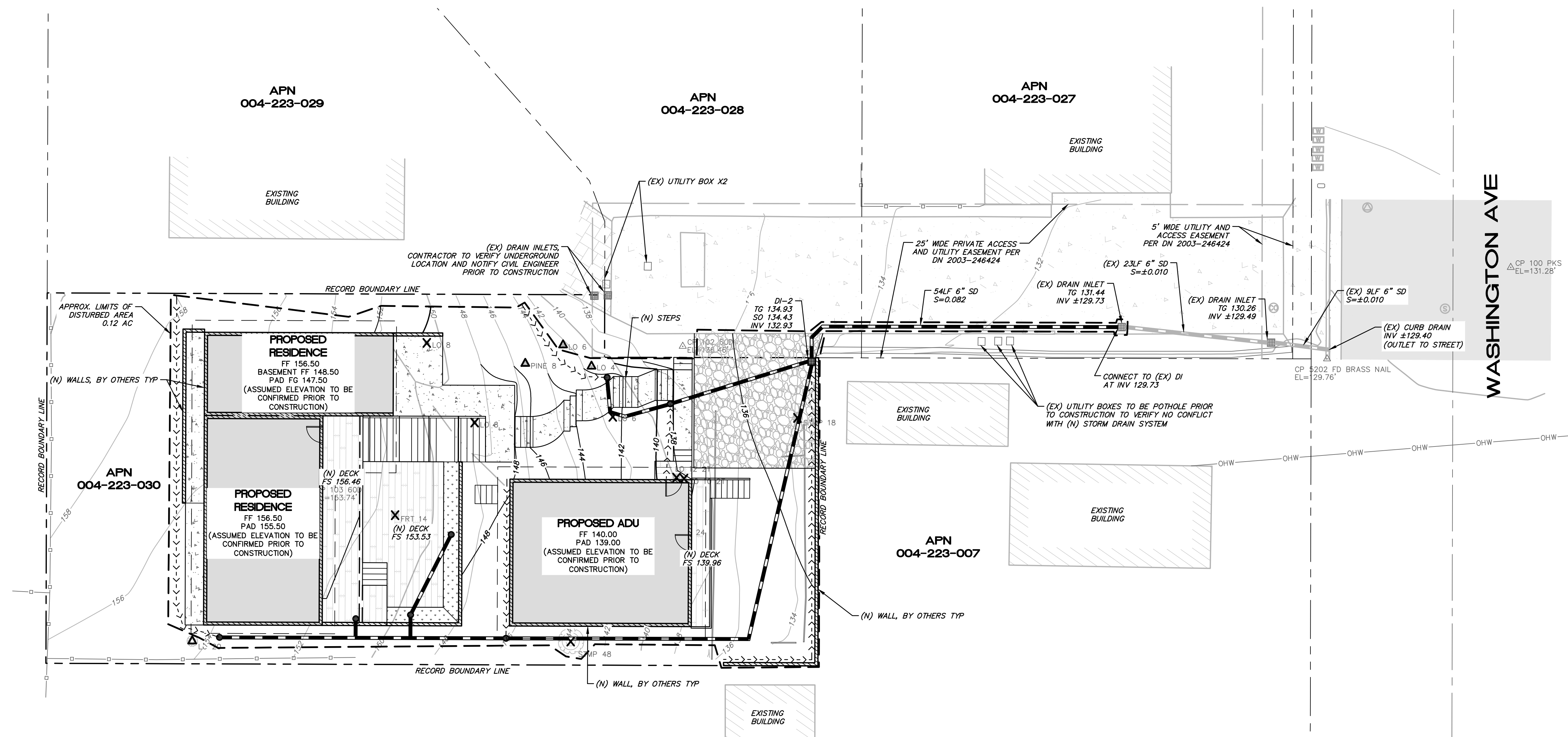
SCALE: AS NOTED

2



- 01 PRIMARY RESIDENCE
- 02 ADU
- 03 PROPERTY LINE (TYP)
- 04 BUILDING SETBACK LINE (TYP)
- 05 (E) SANITARY SEWER LINE
- 06 (E) WATER LINE
- 07 MAILBOXES
- 08 PARKING FOR 2 CARS
- 09 CONCRETE LANDING/WALKWAY
- 10 WOOD DECK & STAIRS
- 11 STEEL PLANTER BED
- 12 WOOD FENCE
- 13 (E) WOOD FENCE TO REMAIN
- 14 WOOD GATE
- 15 (E) LIVE OAK TREES TO BE REMOVED
- 16 (N) REPLACEMENT TREE, SEE LANDSCAPE DRAWINGS

KEYNOTES



DRAINAGE SCHEDULE


AD-1 6" AREA OF DRAIN WITH ATRIUM GRATE, OR
APPROVED EQUAL

DI-1 12"x12" OLDCASTLE PRECAST CONCRETE INLET WITH
SIDE OPENING AND TRAFFIC RATED GRATE, OR
APPROVED EQUAL

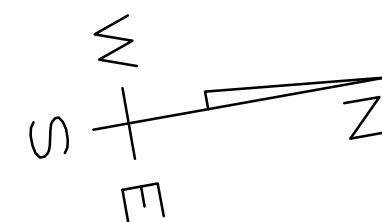
ALL 6" STORM DRAIN PIPE TO BE SDR 35 PVC.
ALL 4" STORM DRAIN, SUBDRAIN, AND ROOF LEADER DRAIN
PIPE TO BE PVC SCHEDULE 40.

OVERALL SITE PLAN

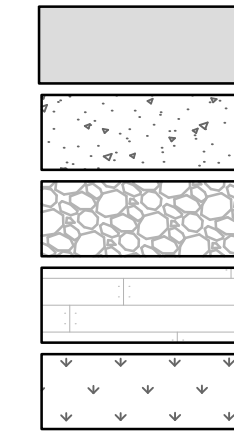
SCALE: 1" = 10'



(GRAPHIC SCALE IN FEET)



LEGEND



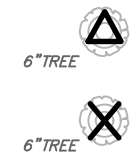
PROPOSED RESIDENCE
SEE ARCHITECTURAL PLANS

PROPOSED CONCRETE
SEE ARCHITECTURAL PLANS

PROPOSED GRAVEL
DRIVEWAY, 12" MIN. CLIIB

PROPOSED DECK
SEE ARCHITECTURAL PLANS

PROPOSED LANDSCAPE



TREE TO BE SAVED
 TREE/STUMP TO BE
 REMOVED

**7580 WASHINGTON AVE
OVERALL SITE PLAN**
APN 004-223-030

APN 004-Z23-030
7580 WASHINGTON AVENUE
SEBASTOBL CA 95472

JUNE 19, 2025

B NO.

56-25

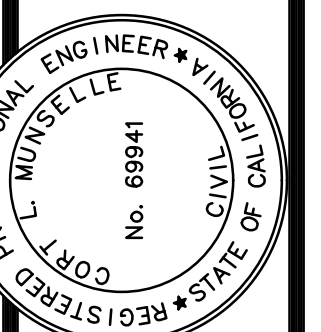
SHEET NO.

2

F 3 SHEETS

♦ CIVIL ENGINEERING ♦ SURVEYING ♦
♦ PLANNING ♦ CONST. MANAGEMENT ♦

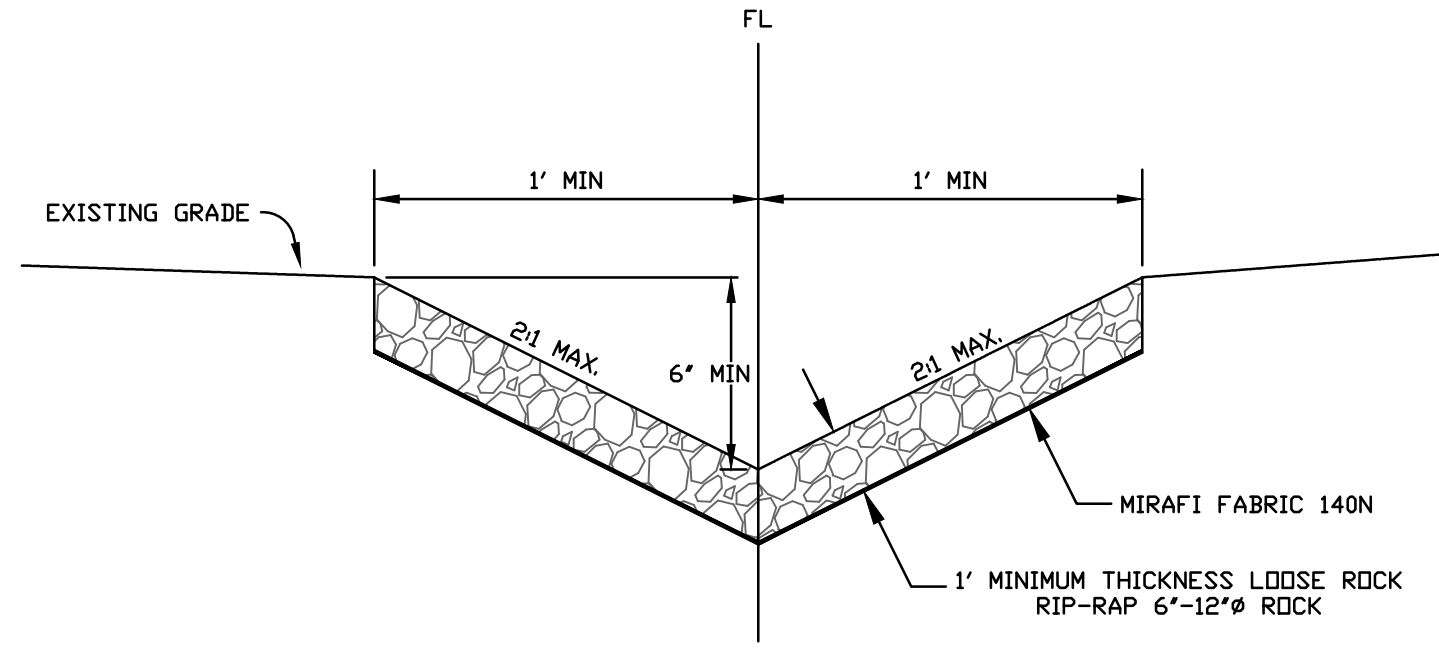
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968



Cort L. Munselle
DATE

GRADING AND DRAINAGE NOTES

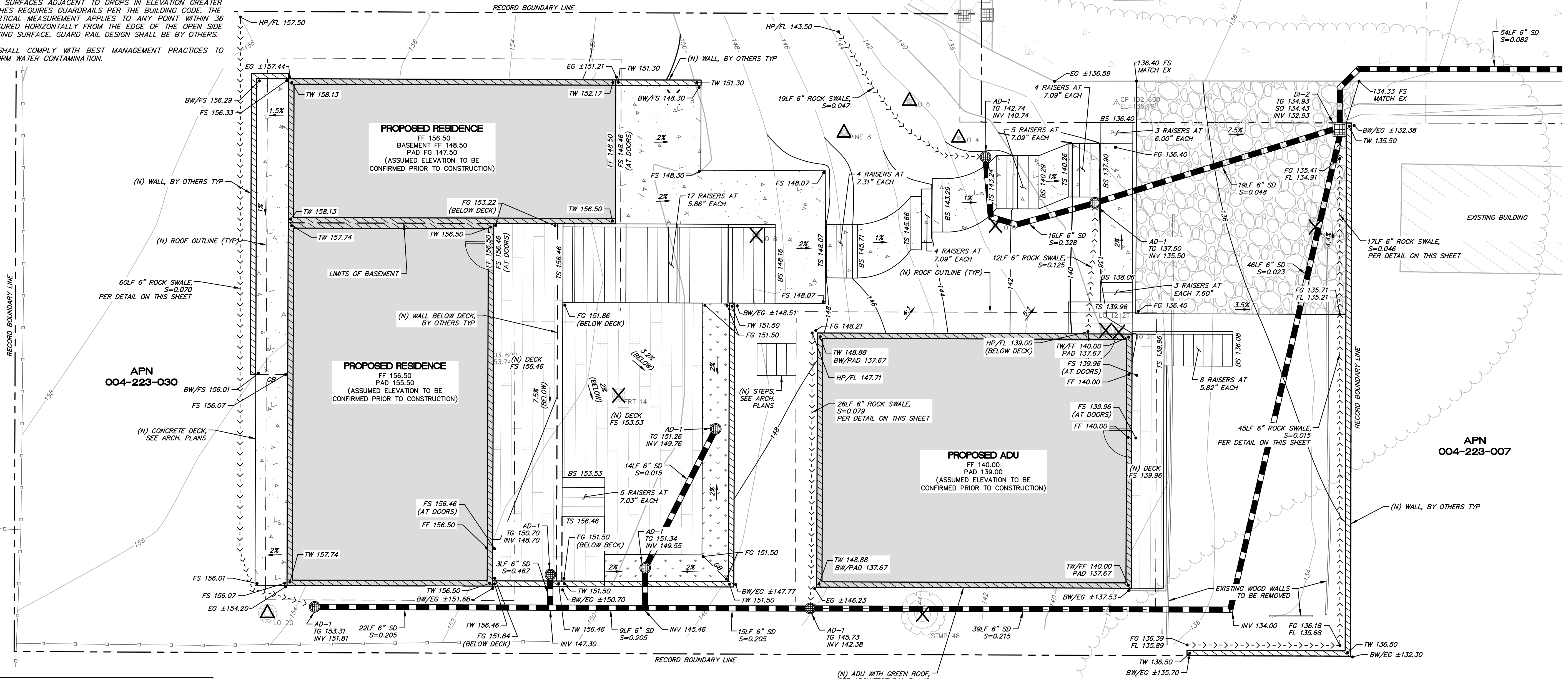
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARD SCAPE SECTIONS.
- PAD ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETTED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
- NOT SHOWN, CONSULT WITH GEOTECH FOR LOCATION:
(1) GEOTECH RECOMMENDATIONS FOR FILL PLACEMENT ON EXISTING SLOPES IN EXCESS OF 20%.
(2) BACKRAINS AND SUBDRAINS PER GEOTECH REPORT.
(3) OVEREXCAVATION IN VICINITY OF PROPOSED FOUNDATIONS AND PAVEMENTS.
- INSTALL FOUNDATION SUBDRAINS AND RETAINING WALL BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS OR SUBDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "V" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
- ALL WALKING SURFACES ADJACENT TO DROPS IN ELEVATION GREATER THAN 30 INCHES REQUIRES GUARDRAILS PER THE BUILDING CODE. THE 30 INCH VERTICAL MEASUREMENT APPLIES TO ANY POINT WITHIN 36 INCHES MEASURED HORIZONTALLY FROM THE EDGE OF THE OPEN SIDE OF THE WALKING SURFACE. GUARD RAIL DESIGN SHALL BE BY OTHERS.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.



ROCK LINED SWALE
NO SCALE

LEGEND

- PROPOSED RESIDENCE
SEE ARCHITECTURAL PLANS
- PROPOSED CONCRETE
SEE ARCHITECTURAL PLANS
- PROPOSED GRAVEL
DRIVEWAY, 12" MIN. CL11AB
- PROPOSED DECK
SEE ARCHITECTURAL PLANS
- PROPOSED LANDSCAPE
- 6" TREE
TREE TO BE SAVED
- 6" TREE
TREE/STUMP TO BE REMOVED

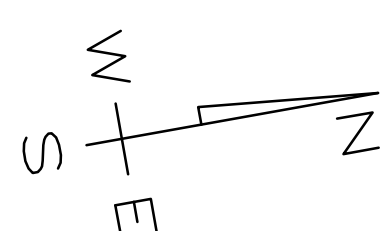
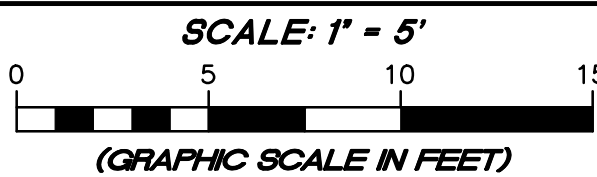


DRAINAGE SCHEDULE

- AD-1 6" AREA OF DRAIN WITH ATRIUM GRATE, OR APPROVED EQUAL
- DI-1 12"x12" OLDCASTLE PRECAST CONCRETE INLET WITH SIDE OPENING AND TRAFFIC RATED GRATE, OR APPROVED EQUAL

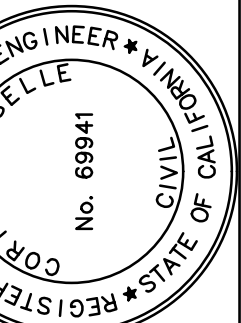
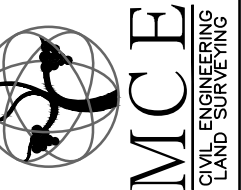
ALL 6" STORM DRAIN PIPE TO BE SDR 35 PVC.
ALL 4" STORM DRAIN, SUBDRAIN, AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40.

GRADING AND DRAINAGE PLAN



DATE	
BY	
DESCRIPTION	
REVISION	

MUNSELLE CIVIL ENGINEERING
CIVIL ENGINEERING & SURVEYING
PLANNING & CONST. MANAGEMENT
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0868



CORT L. MUNSELLE
DATE
PCE 68941

7580 WASHINGTON AVE
GRADING AND DRAINAGE PLAN
APN 004-223-030
7580 WASHINGTON AVENUE
SEBASTOBL, CA 9472

JUNE 19, 2025
JOB NO.
156-25
SHEET NO.

1
OF 3 SHEETS



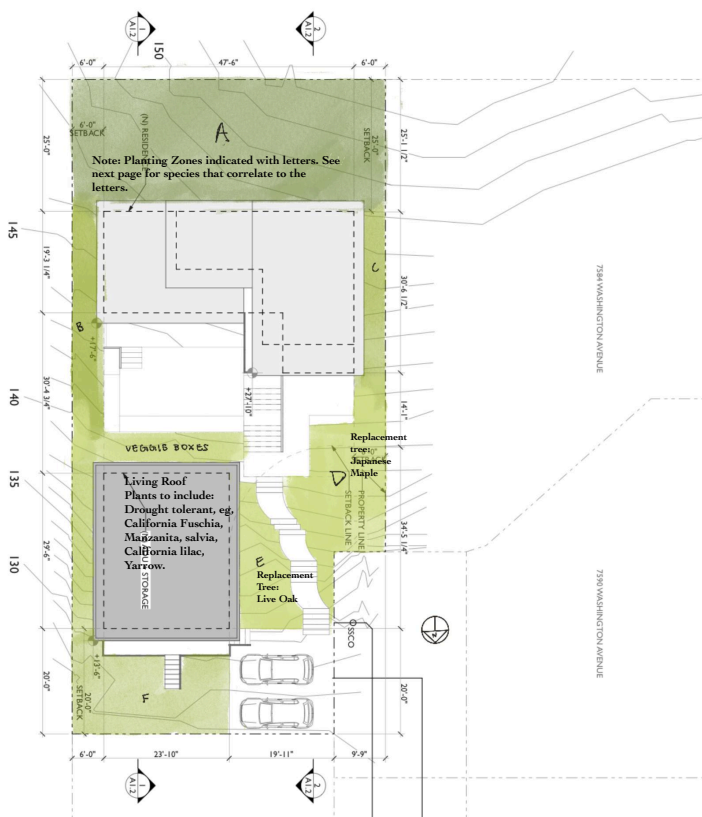
Client	Sharon Besser
Site	7580 Washington Ave, Sebastopol, 95473

Summary

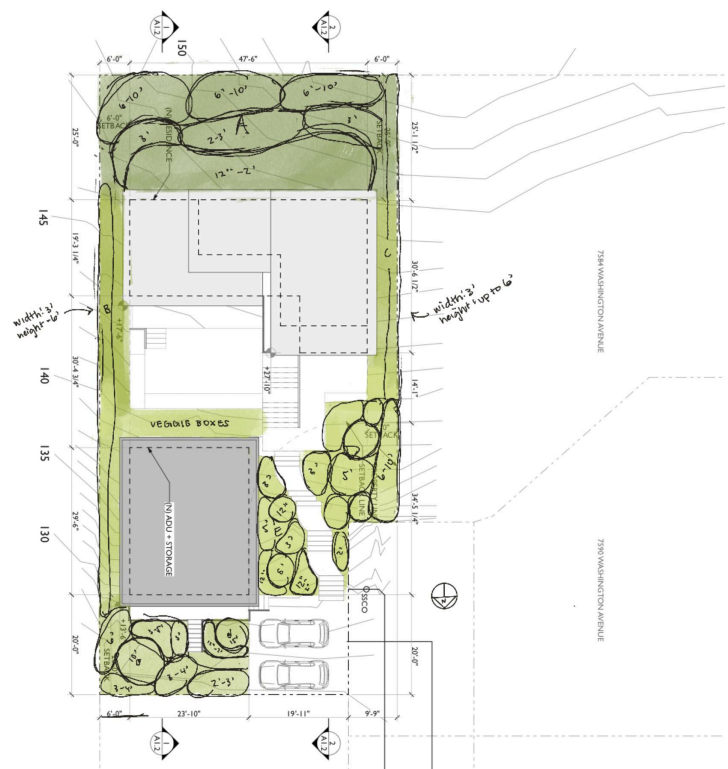
Sharon Besser is building her home in Sebastopol from the ground up! In designing her garden, she is looking forward to growing veggies in front of the main house, and is excited about growing native/drought tolerant flowering plants—especially those that can act as pollinators. Some oak trees will be removed from the front of the property, and need to be replaced with Sonoma County approved trees. There are various areas that need privacy screening from neighbors, and fence lines that should be covered. Sharon likes an eclectic and harmonious array of plants, and is open to experimentation. A heritage rose or two are a must. Irrigation will be installed in the sunnier areas but, for the time being, shady areas will be hand watered.

Bubble Diagrams

Labels



Height Plan



Plant List

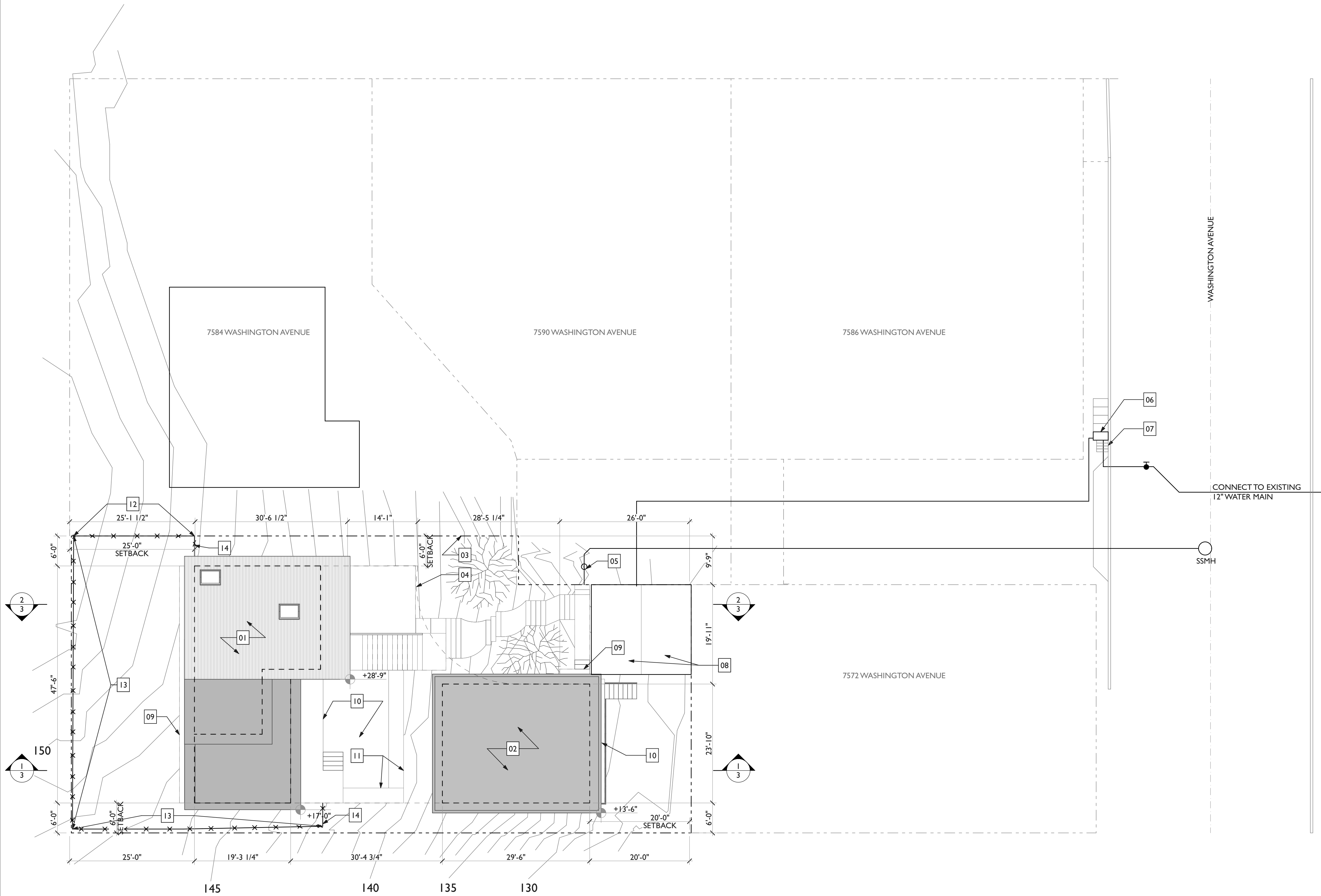
Zone	Botanical Name	Common Name	Height	Width	Sun/ shade	Water Use	Texture	Notes
A	<i>Salvia spathacea</i>	Hummingbird sage	1-2 ft.	4-5 ft	Full, Half, Shade	L	Course	
	<i>Iris douglasiana</i>	Douglas Iris	2 ft	3 ft	Half	M	Course	
	<i>Arctostaphylos densiflora</i> 'Austin Griffiths'	Austin Griffith's Manzanita	9 ft	7 ft	Full, Half	L	Medium	
	<i>Ribes sanguinium</i>	Pink Flowering Current	6-8 ft	4-5 ft	Half, Shade	VL, L	Course	
	<i>Ceanothus griseus</i> 'Yankee Point'	Yankee Point CA Lilac	2-3 ft	8-10 ft	Full, Half	L	Medium	
	<i>Monardella villosa</i> 'Russian River'	Russian River Coyote Mint	2 ft	2 ft	Full, Half	VL	Fine	
	<i>Heucera maxima</i> 'Rosada'	Rosada Alum Root	1.5-2 ft	1.5-2 ft	Half, Shade	M	Course	
	<i>Juncus patens</i>	California Grey Rush	2-3 ft	203 ft	Full, Half, Shade	L	Fine	
	<i>Diplicus auranticus</i>	Sticky Monkey flower	2-5 ft	5 ft	Full, Half	L	Medium	
B	<i>Rhamnus californica</i> 'Eve Case'	Coffee Berry 'Eve Case'	3-6 ft	3-6 ft	Full, Half	VL	Medium	pruned to maintain width 3 ft
	<i>Rubus parviflorus</i>	Thimble Berry	3-6 ft	3-6 ft	Full, Half, Shade	High	Course	Edible; keep from spreading out to maintain width
	<i>Eriogonum fasciculatum</i> 'Warner Lytle'	Warner Lytle CA Buckwheat	1-2 ft	3-5 ft	Full, Half	L	Fine	pruned to maintain width

	<i>Salvia apiana</i> 'Compacta'	Compact White Sage	1-2 ft	2-5ft	Full	VL	Course	pruned to maintain width
C	<i>Calystegia macrostegia</i>	Island Morning Glory	12-25 ft	2-3 ft	Full, Half	VL	Medium	To grow along fenceline
	<i>Frageria vesca</i>	California Wild Strawberry	0.5 - 1 ft	0.5 - 1 ft	Full, Half, Shade	M	Medium	Edible
E	<i>Salvia clevelandii</i> 'Winnifred Gilman'	Winnifred Gilman Blue Sage	3-5 ft	5-8 ft	Full, Half	L, VL	Fine	
	<i>Baccharis pilularis</i> 'Pigeon Point'	Pigeon Point Coyote Brush	1-2 ft	8-10 ft	Full, Half	L	Fine	
	<i>Diplicus auranticus</i>	Sticky monkey flower	2-5 ft	5 ft	Full, Half	L	Medium	
	<i>Salvia greggii</i> 'Hot Lips'	Hot Lips Salvia	1-4ft	1-4 ft	Full, Half	M	Fine	
	<i>Yucca filamentosa</i> 'Golden Sword'	Golden Sword Yucca	3-4 ft	4-5 ft	Full, Low	VL	Course	
	<i>Cynara scolymus</i>	Artichoke	4	6-8 ft	Full	M	Course	Edible
	<i>Arctostaphylos manzanita</i> 'Dr. Hurd'	Dr. Hurd Manzanita	8-10 ft	8-10 ft	Full	L, VL	Medium	Kept in Shrub Form for screening
	<i>Ceanothus</i> 'Concha'	Concha California Lilac	4-8 ft	5-12 ft	Full	L, VL	Fine	For Screening
	<i>Penstemon</i> <i>het.</i> 'Margarita Bop'	Margarita Bop Penstemon	.5-.8 ft	1-1.5 ft	Full, Half	L	Fine	
	<i>Achillea milliforma</i> 'Sonoma Coast'	Sonoma Coast Yarrow	1.5 ft	2-3 ft	Full	VL, L	Medium	
	<i>Eriophyllum lanatum</i>	Common Woolly	1.5 ft - 3 ft	2 ft	Full, Half	VL	Medium	

		Sunflower						
	<i>Trichostema lanatum</i>	Woolly Bluecurls	3-5 ft	3-5 ft	Full, Half	VL	Fine	
	Rosa 'Heritage'	Heritage Rose	5 ft	4 ft	Full	M	Course	
F	<i>Cercis Occidentalis</i>	California Redbud	15 ft	10 ft	Full, Half	VL	Course	on the Sebastopol Municipal Approved list; low water once established; prune seasonally for size
	<i>Malus Domestica</i>	Gravenstein Apple	12-20 ft.	12-20 ft	full	M	Course	on the Sebastopol Municipal Approved list; low water once established; prune seasonally for size
	<i>Garrya elliptica</i>	Silk Tassel						
	<i>Ceanothus 'Concha'</i>	Concha California Lilac	4-8 ft	5-12 ft	Full	L, VL	Fine	For Screening
	<i>Sambucas Nigra</i>	Elderberry	12 ft	12 ft	Full, Half, Shade	M	Course	Edible
	<i>Frageria vesca</i>	California Wild Strawberry	0.5 - 1 ft	0.5 - 1 ft	Full, Half, Shade	M	Medium	Edible
	<i>Ceanothus griseus 'Yankee Point'</i>	Yankee Point CA Lilac	2-3 ft	8-10 ft	Full, Half	L	Medium	
	<i>Muhlenbergia rigens</i>	Deer Grass	3 ft	3 ft	Full, Half	L	Fine	
	<i>Salvia clevelandii 'Winnifred Gilman'</i>	Winnifred Gilman Blue Sage	3-5 ft	5-8 ft	Full, Half	L, VL	Fine	
	<i>Baccharis pilularis'</i>	Pigeon Point Coyote Brush	1-2 ft	8-10 ft	Full, Half	L	Fine	

→

Thank you for including me in your garden care strategy! I look forward to working with you to bring out the best in your garden, for your enjoyment as well as for the mutual flourishing of all living beings that make it home.



I SITE PLAN
1" = 10'

- 01 PRIMARY RESIDENCE
- 02 ADU
- 03 PROPERTY LINE (TYP)
- 04 BUILDING SETBACK LINE (TYP)
- 05 (E) SANITARY SEWER LINE
- 06 (E) WATER LINE
- 07 MAILBOXES
- 08 PARKING FOR 2 CARS
- 09 CONCRETE LANDING/WALKWAY
- 10 WOOD DECK & STAIRS
- 11 STEEL PLANTER BED
- 12 WOOD FENCE
- 13 (E) WOOD FENCE TO REMAIN
- 14 WOOD GATE

KEYNOTES

LARS LANGBERG
ARCHITECTS
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SEBASTOPOL, CA 95472
lars@larsarchitects.com
707.823.9899

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970.281.5832

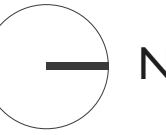
BESSER RESIDENCE
7580 WASHINGTON AVENUE
SEBASTOPOL, CA 95472

APN: 004-223-030

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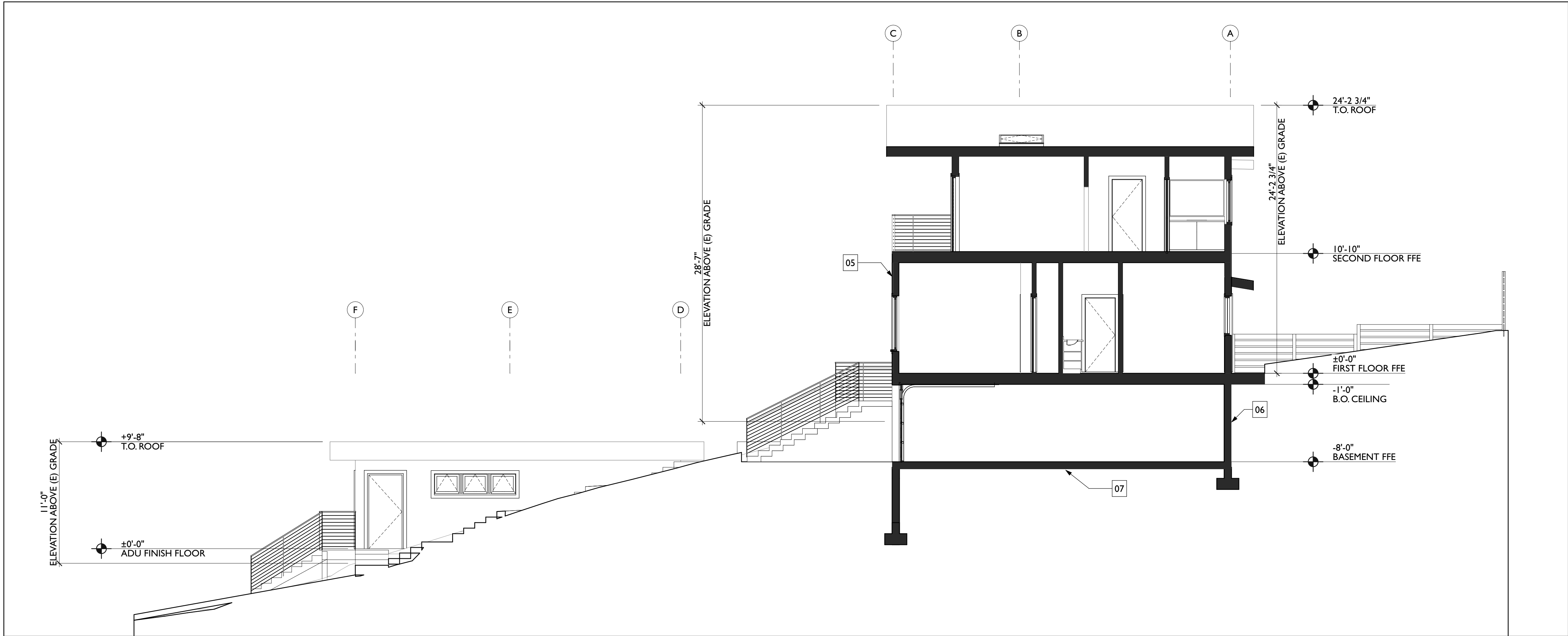
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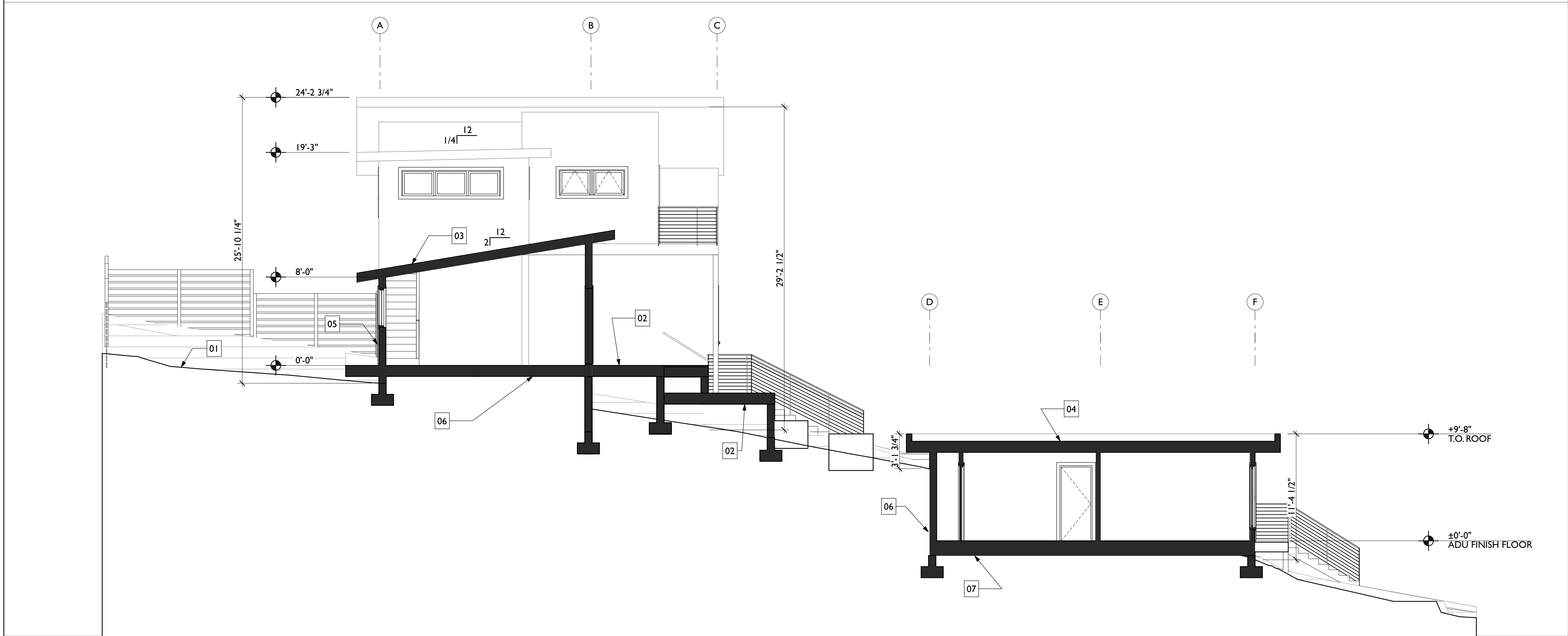
SITE PLAN

DATE: June 23, 2025

SCALE: AS NOTED



2 SITE CROSS SECTION NORTH - SOUTH
3/16" = 1'-0"



1 SITE CROSS SECTION SOUTH - NORTH
3/16" = 1'-0"

- 01 (E) GRADE
02 WOOD DECK ON 2X10 WOOD JOISTS
03 2X10 ROOF, PVC MEMBRANE ROOFING
04 LIVING ROOF
05 2X6 EXTERIOR WALL
06 CONCRETE WALL
07 CONCRETE SLAB ON GRADE

KEYNOTES

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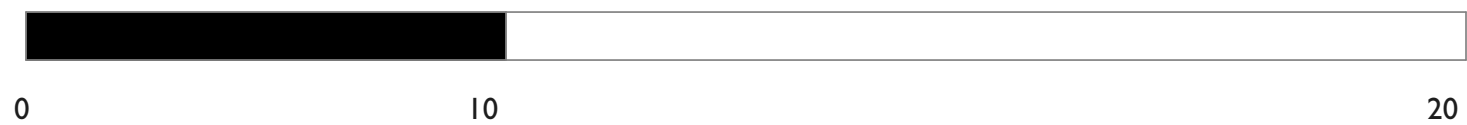
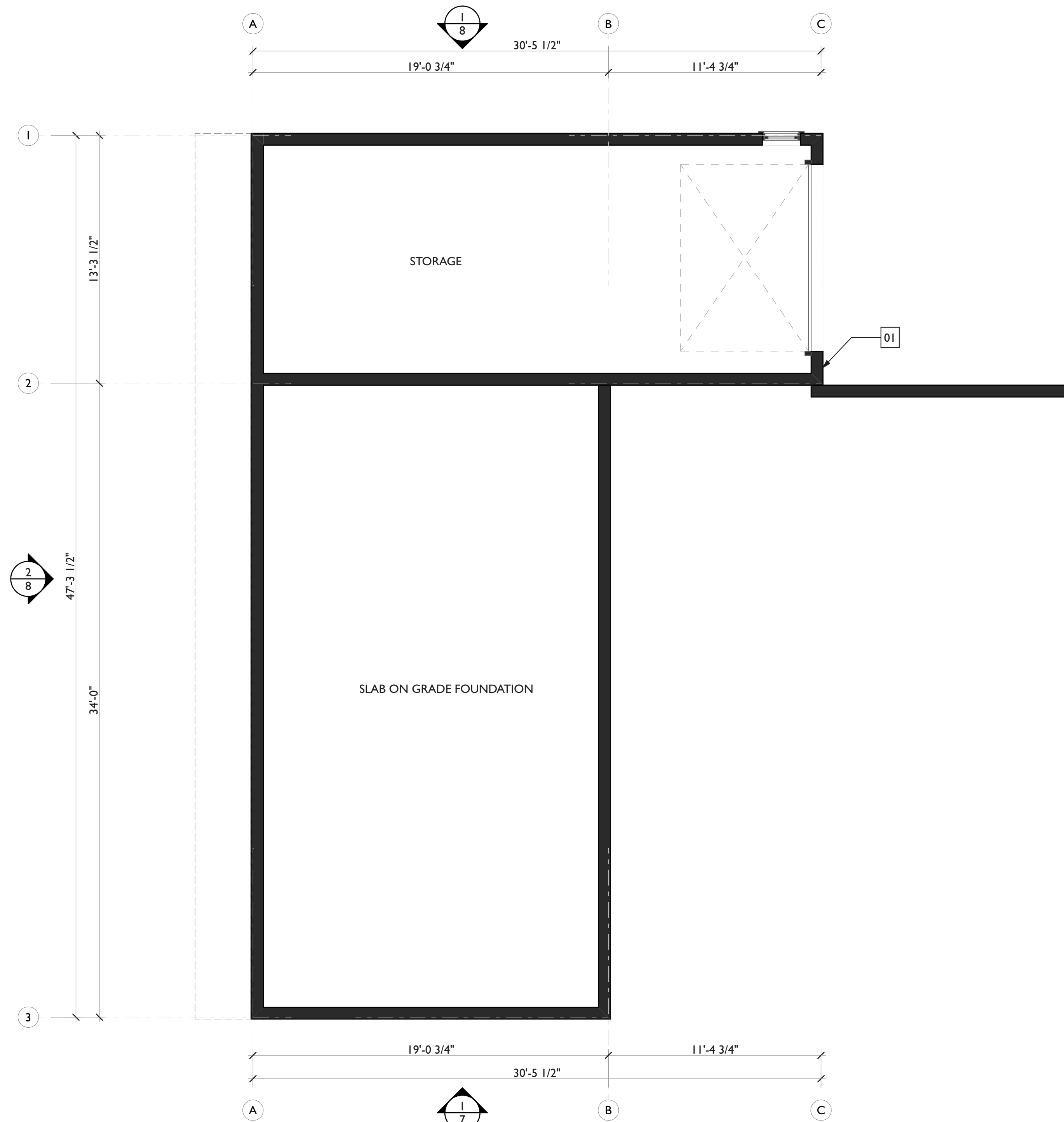
PRELIMINARY
NOT FOR
CONSTRUCTION

SITE SECTIONS

DATE: June 23, 2025

SCALE: AS NOTED

3



- 01 CONCRETE FOUNDATION WALL (TYP)
- 02 EXTERIOR 2X6 WALL, HARDIE ARTISAN SERIES LAP SIDING, PAINTED. COLOR BENJAMIN MOORE VAN DEUSEN BLUE (TYP)
- 03 INTERIOR 2X4 WALL (TYP)
- 04 WOOD DECK
- 05 WOOD STAIRS
- 06 PLANTER
- 07 BALCONY
- 08 GUARDRAILS, H=3'-6" (TYP)
- 09 ROOF ABOVE (TYP)
- 10 ROOFING, PVC MEMBRANE
- 11 WOOD LANDING
- 12 CONCRETE LANDING/ WALKWAY

KEYNOTES

I BASEMENT / FOUNDATION PLAN - PRIMARY RESIDENCE
1/4" = 1'-0"

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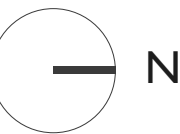
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SEBASTOPOL, CA 95472

APN: 004-223-030

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PRELIMINARY
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CONSTRUCTION

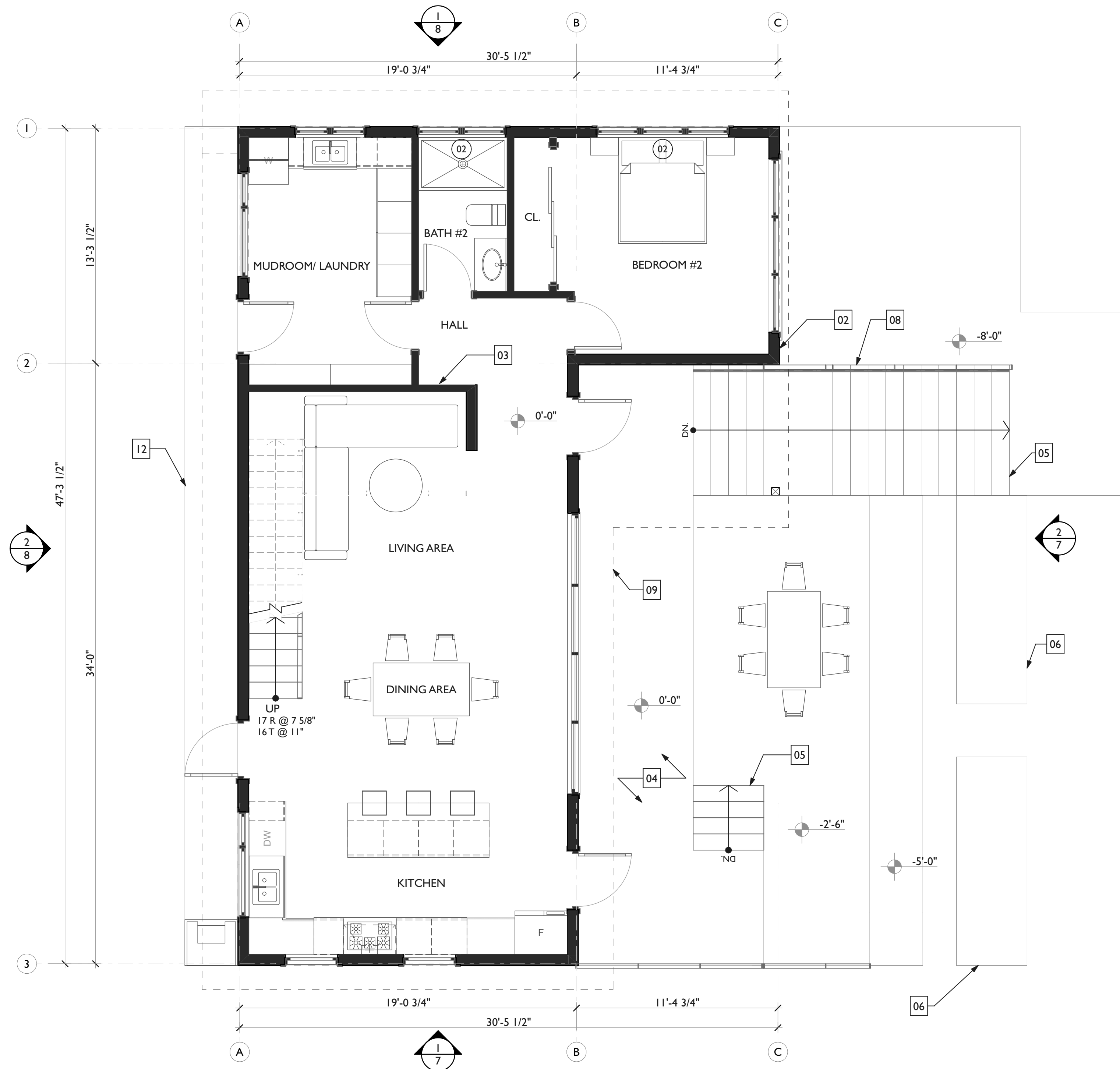


PRIMARY RESIDENCE
BASEMENT/
FOUNDATION PLAN

DATE: June 23, 2025

SCALE: AS NOTED

4



- 01 CONCRETE FOUNDATION WALL (TYP)
- 02 EXTERIOR 2X6 WALL, HARDIE ARTISAN SERIES LAP SIDING, PAINTED. COLOR BENJAMIN MOORE VAN DEUSEN BLUE (TYP)
- 03 INTERIOR 2X4 WALL (TYP)
- 04 WOOD DECK
- 05 WOOD STAIRS
- 06 PLANTER
- 07 BALCONY
- 08 GUARDRAILS, H=3'-6" (TYP)
- 09 ROOF ABOVE (TYP)
- 10 ROOFING, PVC MEMBRANE
- 11 WOOD LANDING
- 12 CONCRETE LANDING/WALKWAY

I FIRST FLOOR PLAN - PRIMARY RESIDENCE
1/4" = 1'-0"

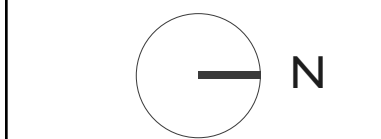
KEYNOTES

LARS LANGBERG ARCHITECTS
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lars@larsarchitects.com
707.823.9899
1800 PLATTE ST.
DENVER, CO 80202
charles@larsarchitects.com
970.281.5832

BESSER RESIDENCE
7580 WASHINGTON AVENUE
SEBASTOPOL, CA 95472

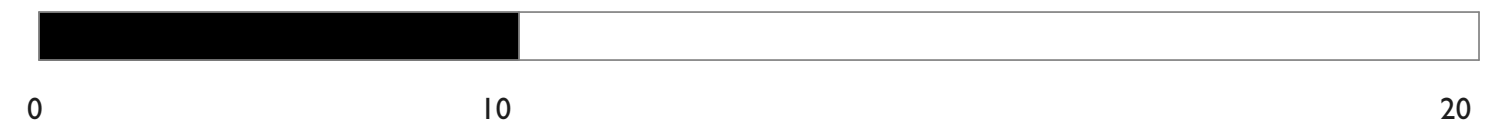
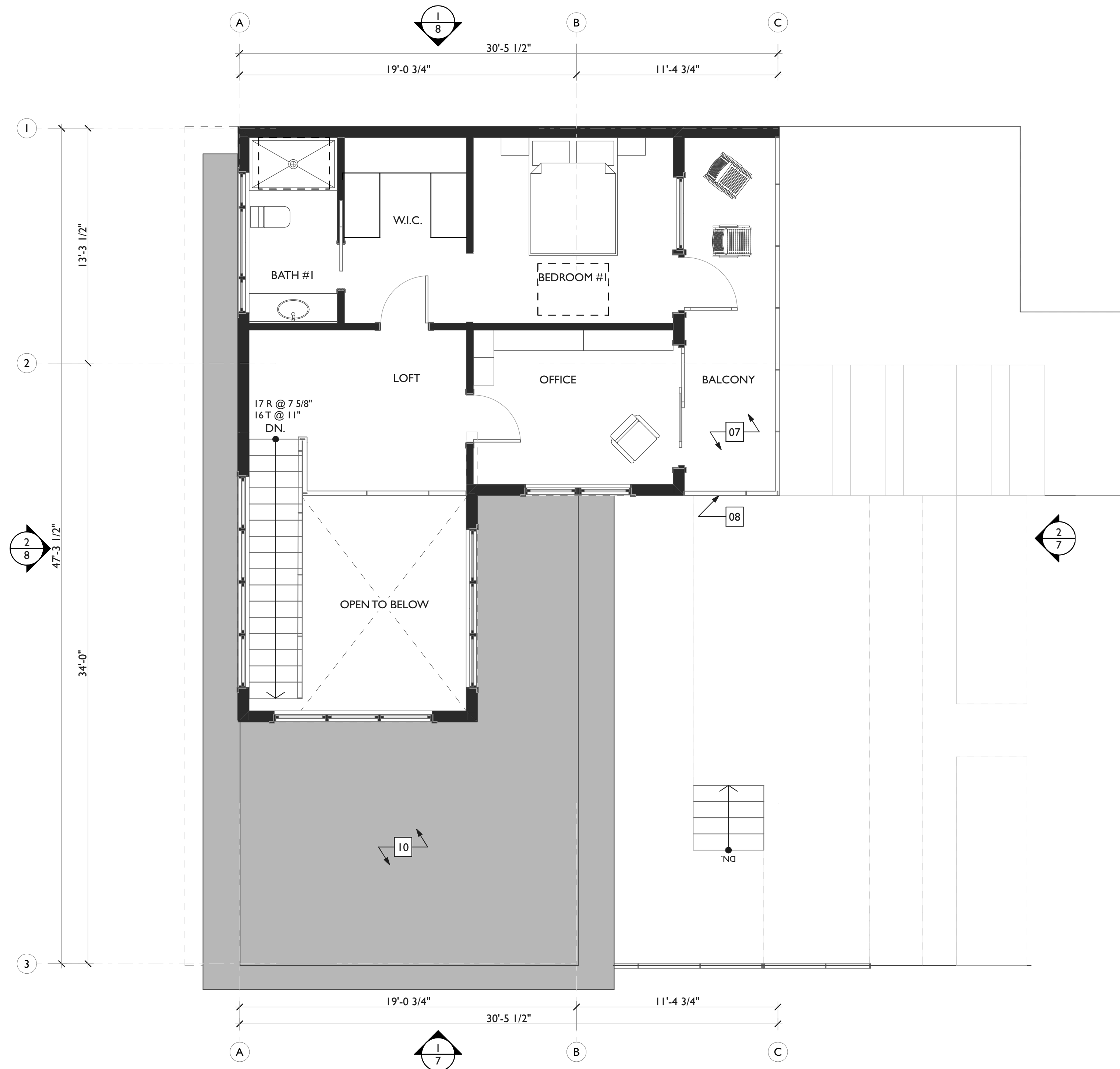
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PRELIMINARY
NOT FOR
CONSTRUCTION



PRIMARY RESIDENCE
FIRST FLOOR PLAN

DATE: June 23, 2025
SCALE: AS NOTED



- 01 CONCRETE FOUNDATION WALL (TYP)
- 02 EXTERIOR 2X6 WALL, HARDIE ARTISAN SERIES LAP SIDING, PAINTED. COLOR BENJAMIN MOORE VAN DEUSEN BLUE (TYP)
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- 10 ROOFING, PVC MEMBRANE
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KEYNOTES

1 SECOND FLOOR PLAN - PRIMARY RESIDENCE
1/4" = 1'-0"

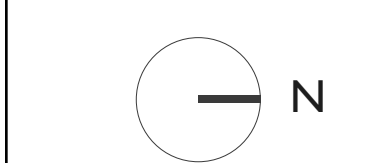
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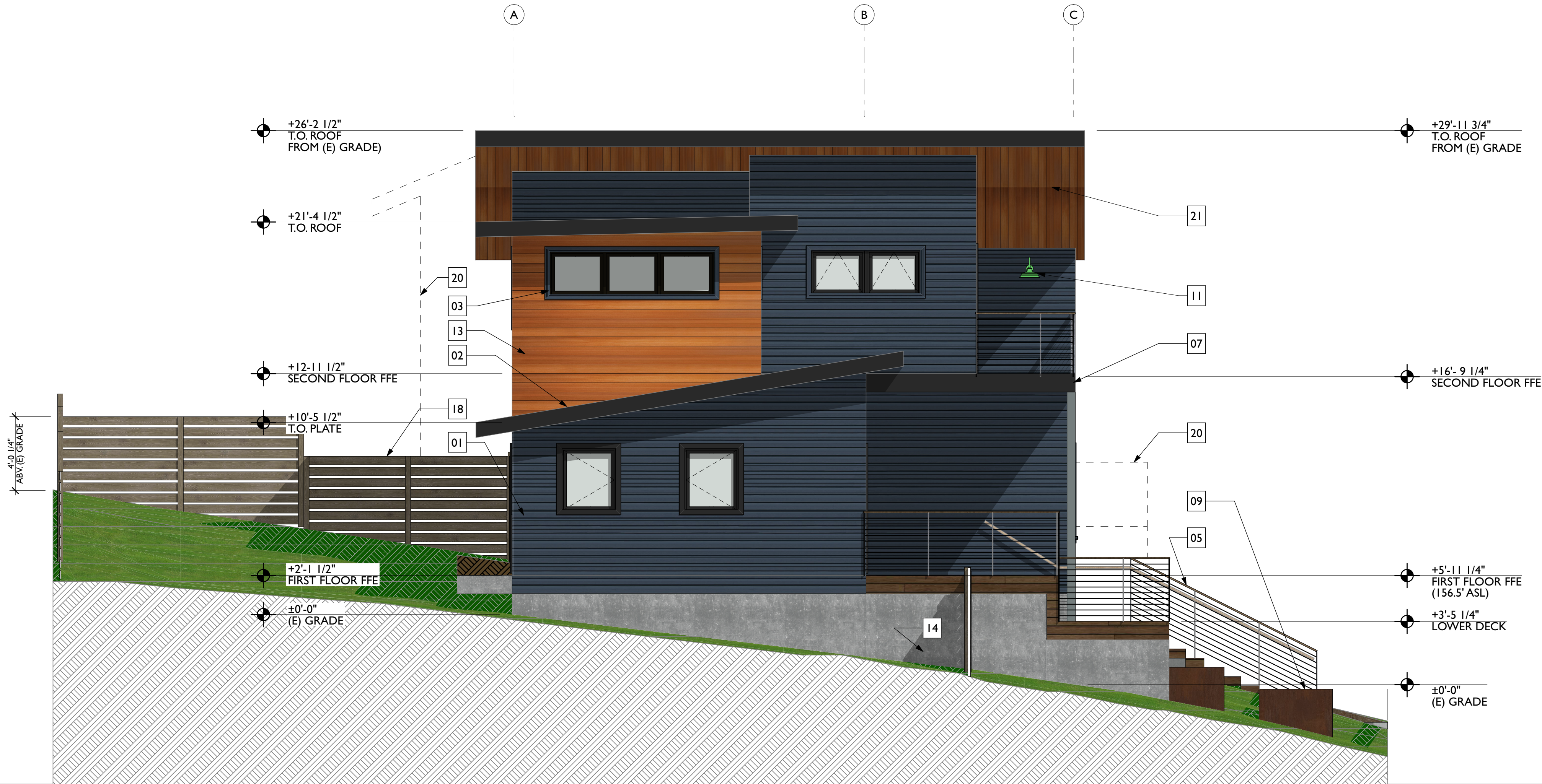


PRIMARY RESIDENCE
SECOND FLOOR
PLAN

DATE: June 23, 2025
SCALE: AS NOTED



2 NORTH ELEVATION - PRIMARY RESIDENCE
1/4" = 1'-0"



1 EAST ELEVATION - PRIMARY RESIDENCE
1/4" = 1'-0"

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- 02 PVC MEMBRANE ROOFING
- 03 ALUMINUM CLAD WINDOW, COLOR: BROWN #002
- 04 ALUMINUM CLAD DOOR, COLOR: BROWN #002
- 05 STAINLESS STEEL GUARDRAILS W/ WOOD CAPRAIL, H= 3'-6"
- 06 REDWOOD DECK, STAINED
- 07 BALCONY
- 08 REDWOOD STAIR, STAINED
- 09 PLANTER, RUSTED STEEL PANEL
- 10 LIVING ROOM
- 11 WALL SCONCE, DARK SKY COMPLIANT
- 12 CONCRETE LANDING/ WALKWAY
- 13 CEDAR LAP SIDING, CLEAR SEALED
- 14 CONCRETE FOUNDATION WALL, FINISH TBD
- 15 CORRUGATED METAL ROOFING, 2X10 ROOF FRAMING, 3' IN 12' SLOPE
- 16 SKYLIGHT
- 17 (E) WOOD FENCE
- 18 WOOD FENCE
- 19 WOOD GATE
- 20 NEIGHBOR'S RESIDENCE (APPROX. LOCATION)
- 21 CEDAR SOFFIT

KEYNOTES

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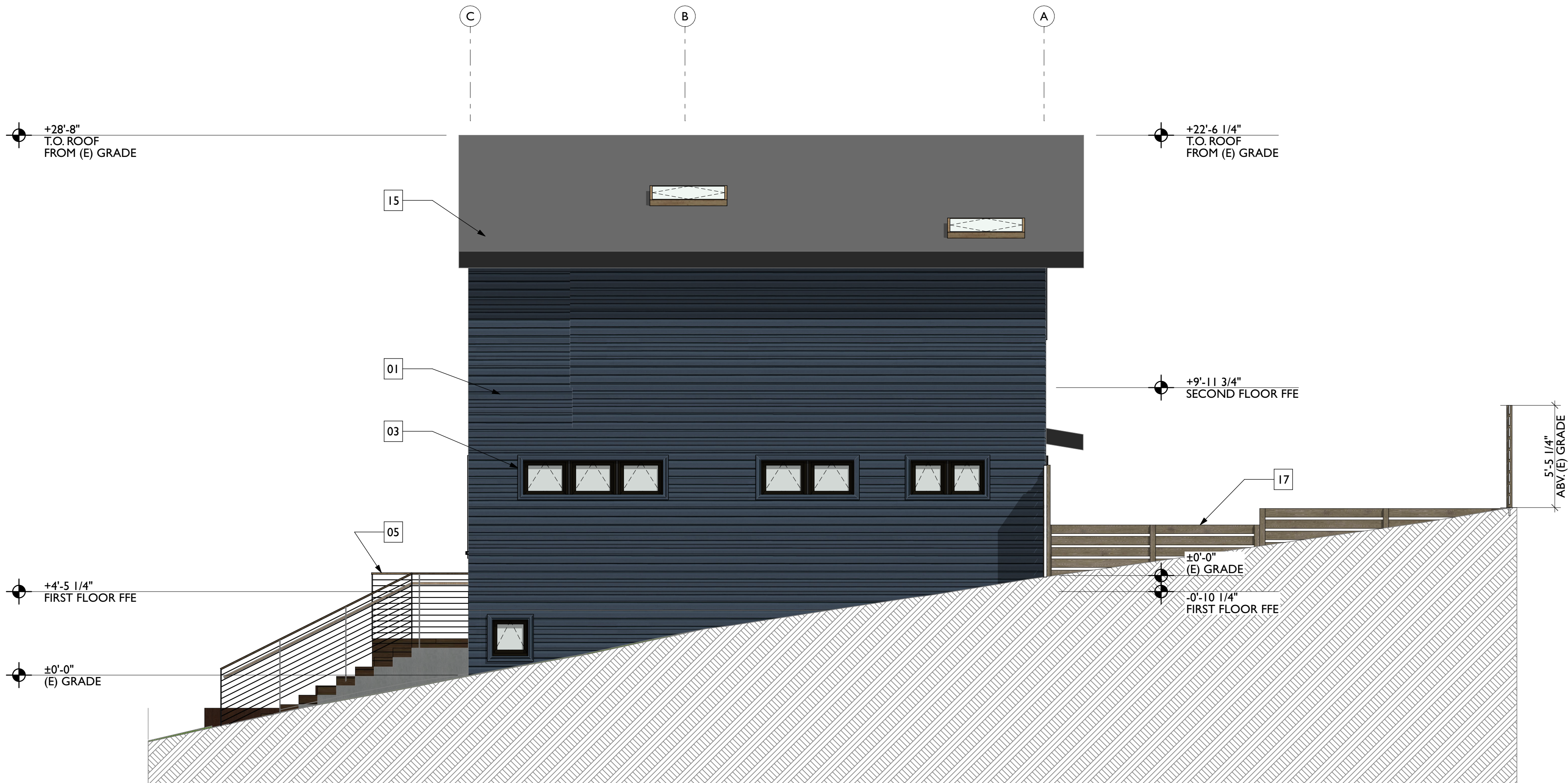
ELEVATIONS -
PRIMARY RESIDENCE

DATE: June 23, 2025

SCALE: AS NOTED



2 SOUTH ELEVATION - PRIMARY RESIDENCE
1/4" = 1'-0"



1 WEST ELEVATION - PRIMARY RESIDENCE
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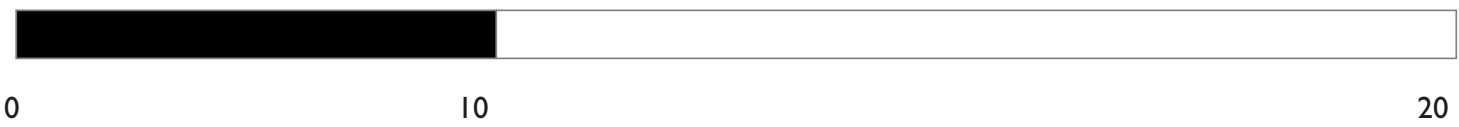
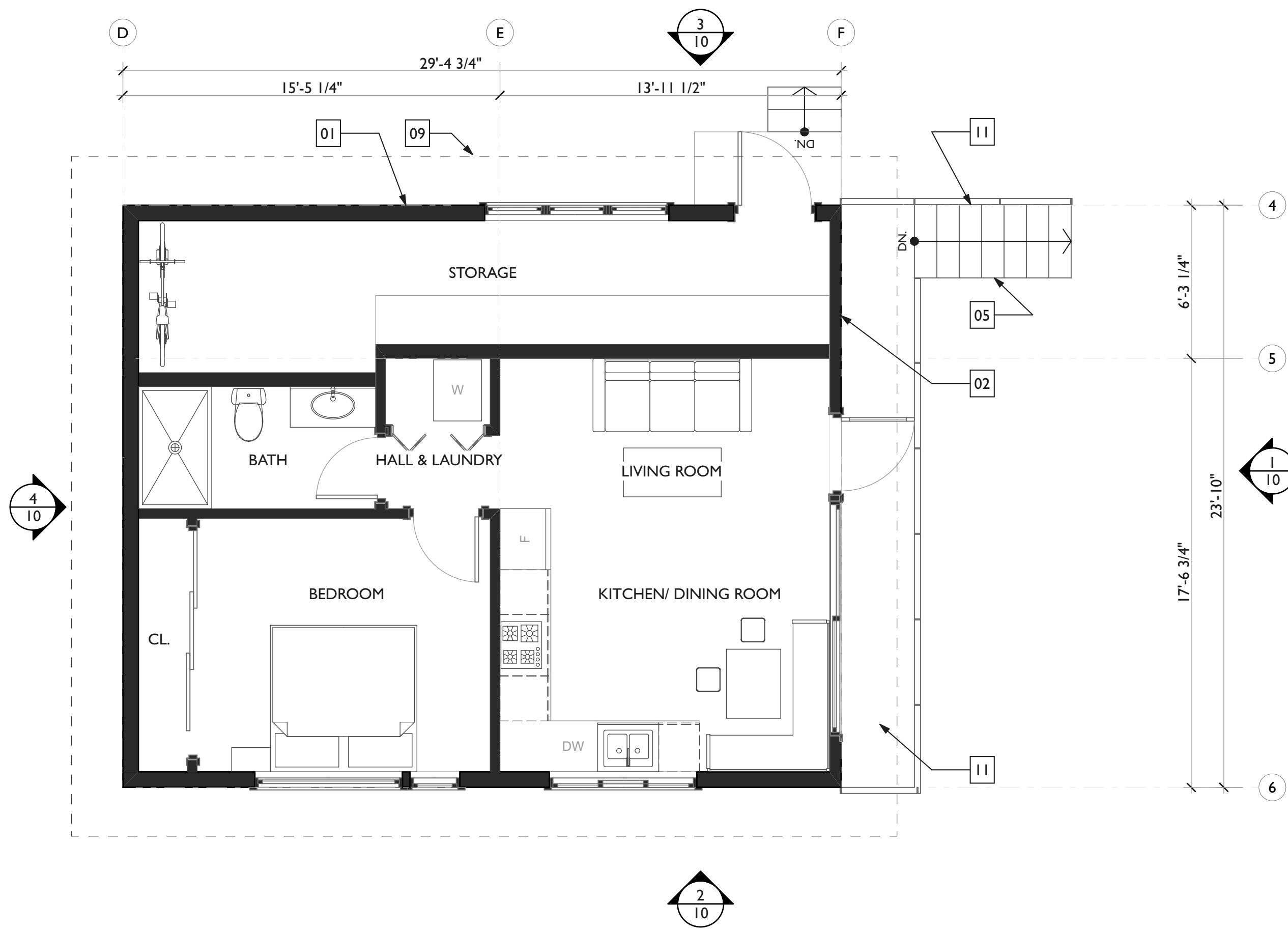
DESIGN REVIEW 06.23.25

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ELEVATIONS -
PRIMARY RESIDENCE

DATE: June 23, 2025

SCALE: AS NOTED



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KEYNOTES

FLOOR PLAN - ADU
SCALE: 1/4" = 1'-0"

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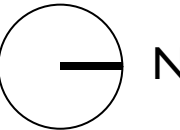
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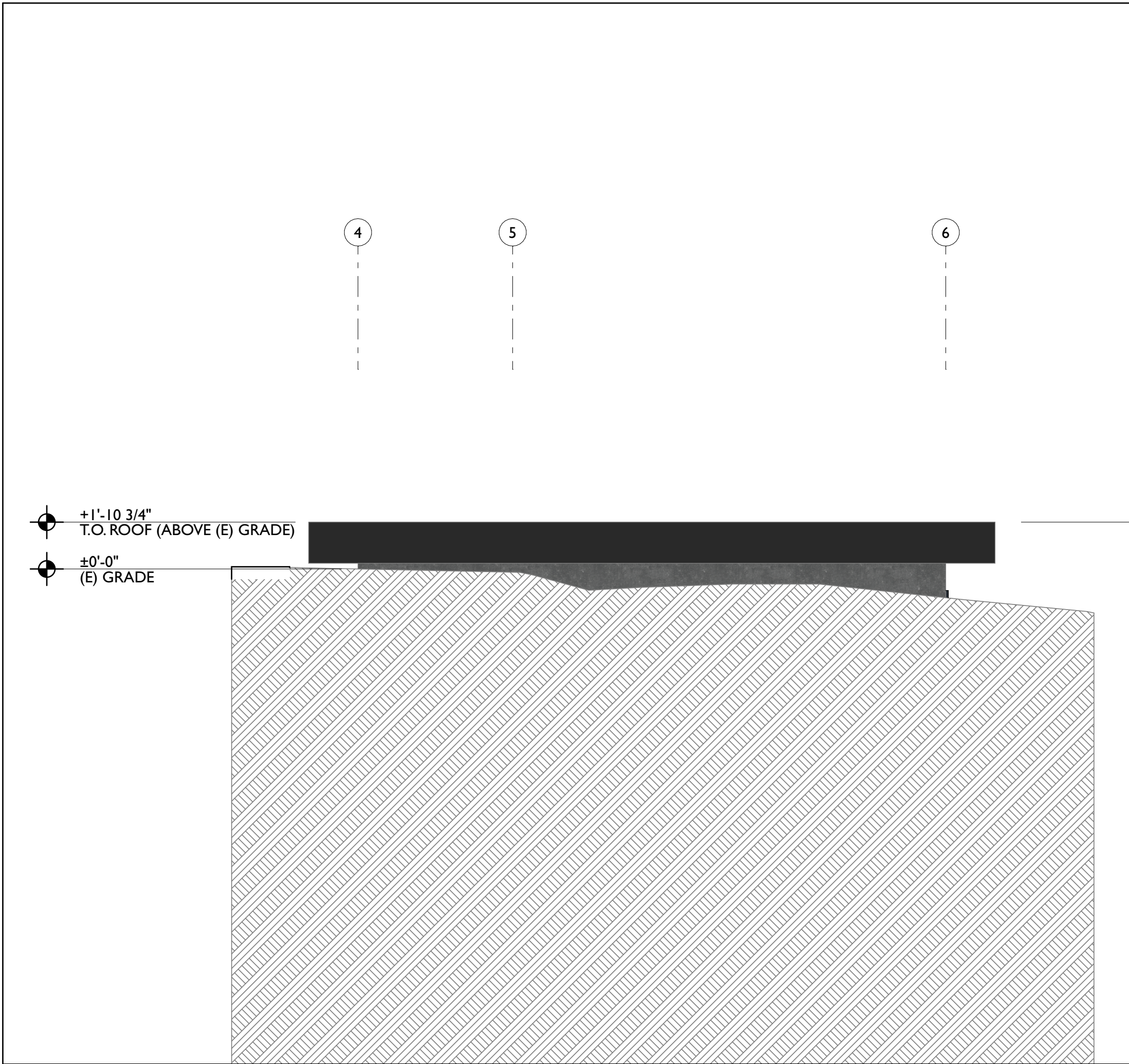
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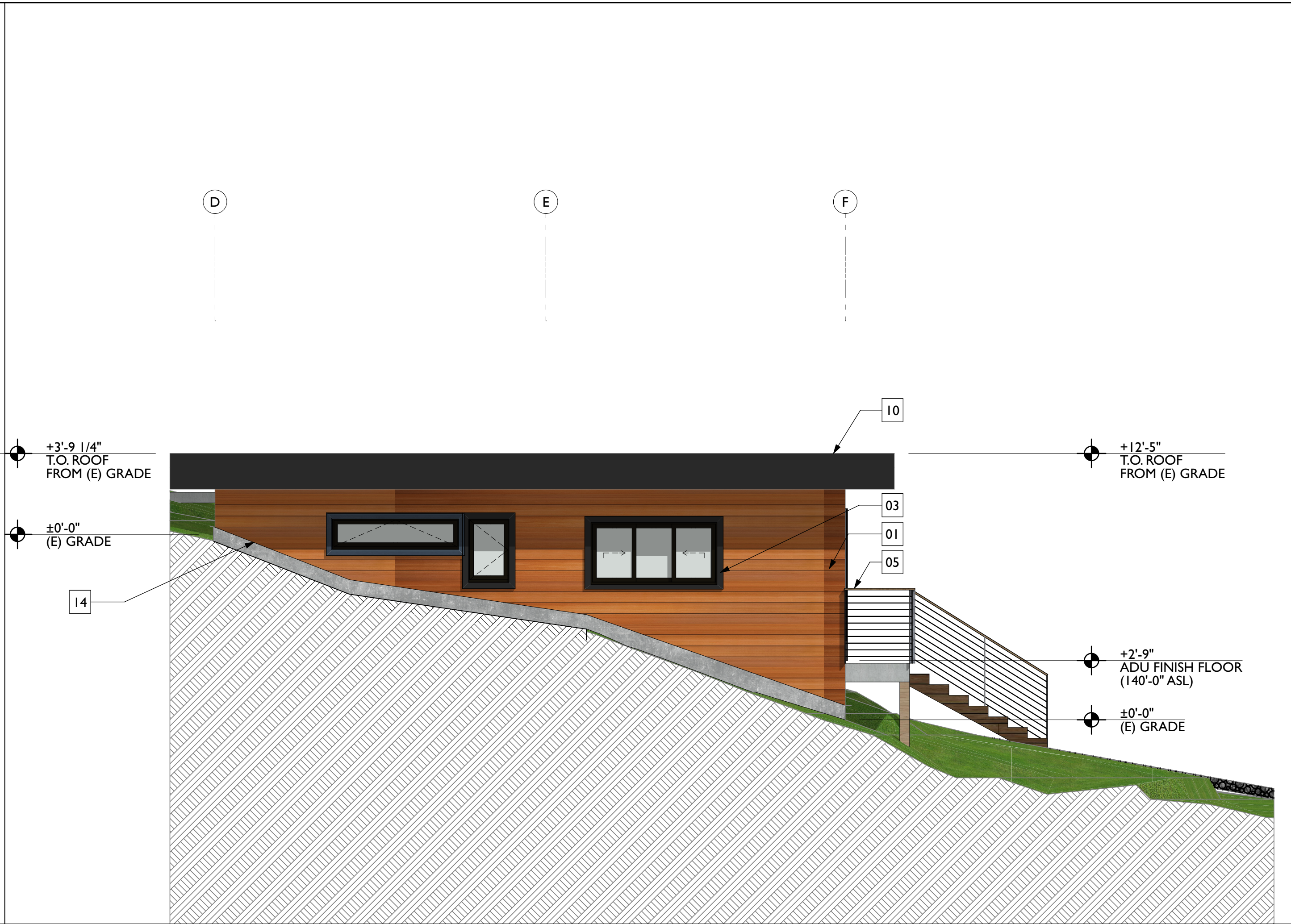
ADU FLOOR PLAN

DATE: June 23, 2025

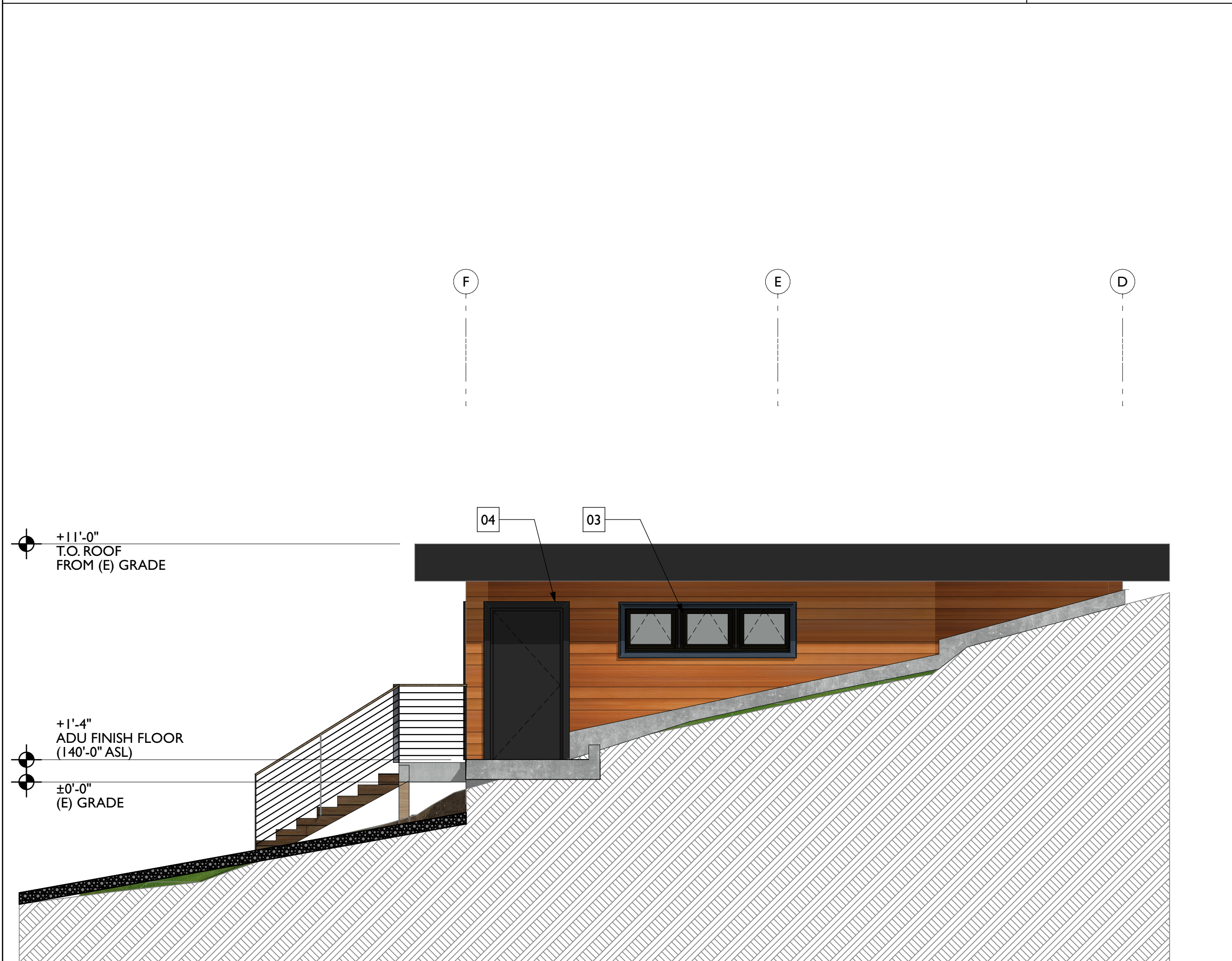
SCALE: AS NOTED



4 SOUTH ELEVATION - ADU
1/4" = 1'-0"



2 EAST ELEVATION - ADU
1/4" = 1'-0"



3 WEST ELEVATION - ADU
1/4" = 1'-0"



1 NORTH ELEVATION - ADU
1/4" = 1'-0"

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ELEVATIONS - ADU

DATE: June 23, 2025
SCALE: AS NOTED
10



DOORS & WINDOWS: SIERRA PACIFIC ALUMINUM CLAD, COLOR BROWN -002, PAINTED WOOD TRIM DARK GREY



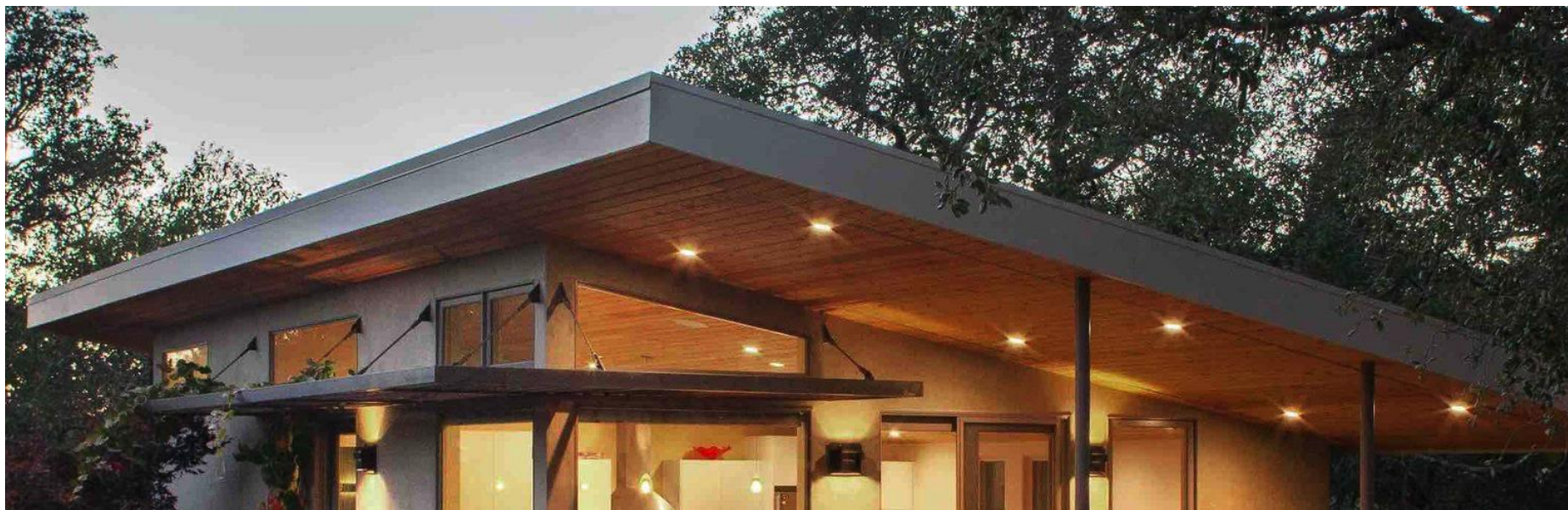
ALUMINUM GARAGE DOOR WITH GLASS PANELS. BY "OVERHEAD DOOR CORP."



HARDIE ARTISAN SERIES LAP SIDING, PAINTED. COLOR BENJAMIN MOORE VAN DEUSEN BLUE



CEDAR LAP SIDING, CLEAR SEALED



EXTERIOR SOFFIT - 1X6 T&G CEDAR, CLEAR SEALED 2X12 WOOD FASCIA, PAINTED, COLOR DARK GREY



BARN LIGHT WALL MOUNTED LIGHT FIXTURE BOMBER GOOSENECK. BLE-G-WHB. COLOR FERN GREEN.



LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT BY "WAC LIGHTING"



PLANTER BEDS - RUSTED STEEL PANEL



REDWOOD STAIRS, WITH STEEL GUARDRAILS, WITH REDWOOD CAPRAIL



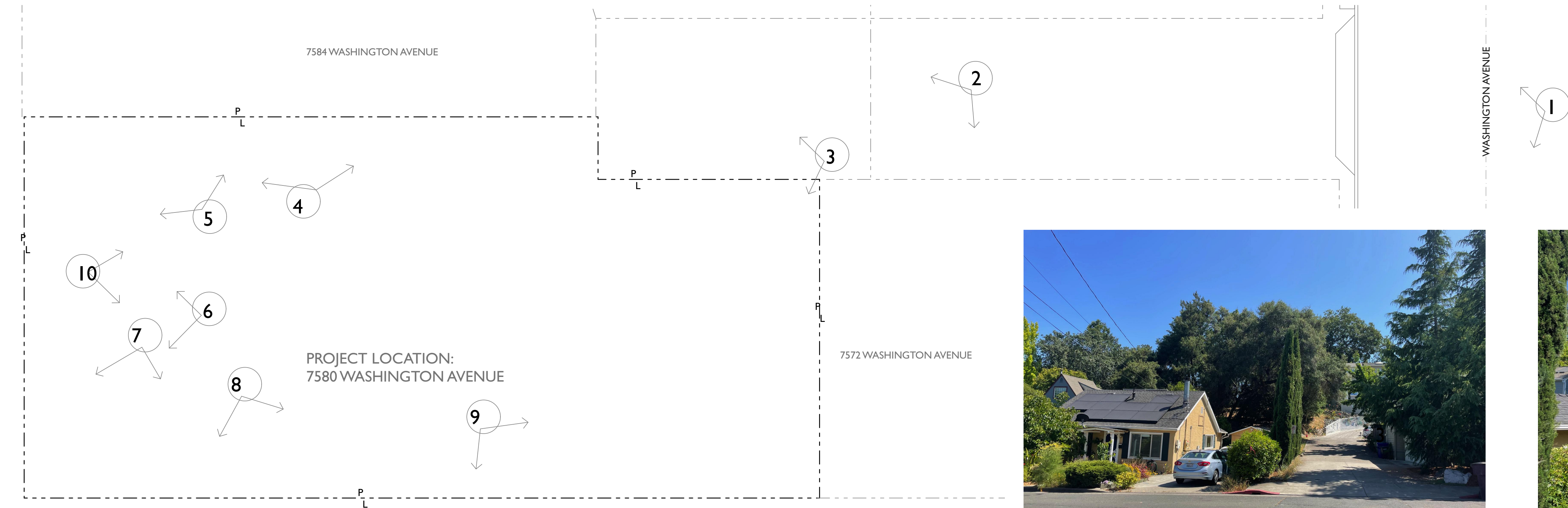
1X6 REDWOOD FENCE



LIVING ROOF

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APN: 004-223-030

ISSUED FOR:

DESIGN REVIEW06.23.25

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PRELIMINARY
NOT FOR
CONSTRUCTION

SITE PHOTOS

DATE: June 23, 2025

SCALE: AS NOTED

||



ARBORIST REPORT

February 25th 2025

LOCATION

7580 Washington Avenue Sebastopol, Ca

PREPARED BY

Kevin Paul

ISA Certified Arborist WE-6265A

ISA Qualified Tree Risk Assessor

CONTACT INFORMATION

Sandborn Tree Service, Inc. CCL 694407

119 Morris Street Sebastopol, Ca 95472

Website: sandborntree.com

Office: (707) 823-9144

Office Email: service@sandborntree.com

Kevin Mobile: (707) 483-2312

Kevin Email: kevin@sandborntree.com

7580 Washington Avenue Sebastopol, Ca

Arborist Inspection Report

The subject trees are three Coast Live Oaks (*Quercus agrifolia*) located at 11873 Washington Avenue, Sebastopol Ca.

The first Coast Live Oak tree (27" D.B.H.) is located on the east slope of the property. It measures to have an approximately 26% lean at 4.5' to the northeast. This tree appears to be free of any obvious visual defects such as root or trunk decay, fungal or beetle attacks. To determine its stability, further testing would be necessary. A complete grade correction as well as an end weight reduction pruning is recommended. Any trenching within the drip line will likely cause the tree to become unstable.

The second Coast Live Oak tree (19.5") is located on the east slope of the property. This tree also has a very distinct lean towards the northeast. There are no obvious visual defects observed.

The third Coast Live Oak (14.5"±dbh) is located up at the top of the property. It appears to be free of any major defects or diseases. This tree arches to the north over what will likely be an intended building site. It would likely be unsuitable or retainable in consideration of satisfying homeowners' insurance requirements.

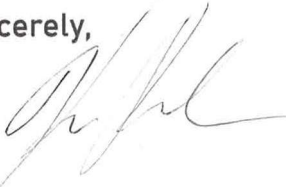
Assumptions and Limiting Conditions

- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.
- The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.
- This report and any values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser, and the consultant/appraisers fee for this report is in no way contingent upon the

reporting of a specified value, a stipulated result, nor upon any finding to be reported.

- Unless expressed otherwise: 1) the information in this report covers only the items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee expressed or implied that problems or deficiencies of the plants or property in question may not arise in the future.
- Loss or alteration of any part of this report invalidates the entire report.

Sincerely,



Kevin Paul

ISA Certified Arborist WE-6265A
ISA Certified Tree Risk Assessor

LOCATION

7580 Washington Avenue Sebastopol, Ca

Coast Live Oak (27") tree on east slope



Coast Live Oak (14.5") up at the top of the property



Coast Live Oak (19.5"±dbh) on the East slope



EXHIBIT A
RECOMMENDED FINDINGS OF APPROVAL

Design Review and Tree Removal
7580 Washington Ave
004-223-030, **File# 2025-033**

In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
a. As conditioned, this project will meet this requirement, in that the project incorporates a single-family residence with a detached Accessory Dwelling Unit (ADU) that will complete the 4 lot subdivision.
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way;
a. As conditioned this project will meet this requirement with the proposed landscaping plan and new tree plantings.
3. It would not impair the desirability of investment or occupation in the neighborhood;
a. As conditioned this project will meet this requirement as it will increase the desirability of this neighborhood as it proposes to develop a vacant lot with a single-family residence and ADU.
4. The design is internally consistent and harmonious;
a. As conditioned this project will meet this requirement.
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter.
a. As conditioned this project will meet this requirement, in that it meets Design Guideline A.2 as the site is naturally sloped and the proposed plan integrates this slope into the design without a substantial amount of grading work. Design Guideline B.1. as the buildings are related to the street and proper setbacks are provided to reinforce existing street frontages. Design Guideline E.1. as the project minimizes the amount of grading on site and uses the natural topography within the design of the two structures.

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

Tree Removal Criteria. An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
a. Not applicable

2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.

a. *Not applicable*

3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.

a. *Not applicable.*

4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.

a. *The removal of the on site trees are needed to facilitate the construction of the project and will be mitigated by the replanting of trees listed in the landscape plan.*

5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

a. *Not applicable.*

EXHIBIT B
RECOMMENDED CONDITIONS OF APPROVAL

Design Review and Tree Removal
7580 Washington Ave
004-223-030, **File# 2025-033**

1. Plans and elevations shall be in substantial conformance with plans prepared by Lars Langberg and Munselle Civil Engineering and stamped received on June 23rd, 2025, and revised on July 10th, 2025, and on file at the City of Sebastopol Planning Department, except as modified herein:
2. The Use shall be in substantial conformance with the proposed operations as described in the application materials prepared by Lars Langberg, and stamped received on June 23rd, 2025, and revised on July 10th, 2025, and on file at the City of Sebastopol Planning Department, except as modified herein.
3. Site landscaping shall be generally consistent with the Landscape Plan included as part of the plans stamped received on June 23rd, 2025, and revised on July 10th, 2025, on file with the Sebastopol Planning Department. The final landscape plan shall be stamped by a licensed landscape architect and filed with the Planning Department prior to occupancy. Plans for any irrigation of the site shall be incorporated into the landscape plan. All planting associated with a building, as shown on the approved plan, shall be installed prior to occupancy.
4. The project shall comply with the Green Building regulations contained in the Sebastopol Municipal Code that are in effect at the time the preliminary application was submitted.
5. A Tree Protection Plan is required and shall conform to the requirements of SMC 8.12.050 and be added to all applicable plan sheets.
6. A fee of \$75.00 per required replacement tree shall be paid per required tree removed at the time of submittal of the tree removal application, or a minimum of one 15-gallon tree shall be planted, and the fee refunded. The final number of replacement trees and the tree species shall be one (1) tree, or as otherwise determined by the Tree Board or the City Arborist, as applicable. In any case, the mitigation (number and size of replacement trees) must be related to the significance (size, age, etc.) of the trees that are proposed for removal. On-site replacement trees shall be planted prior to final inspection unless otherwise approved by Planning Staff.
7. As part of the grading permit approval, the civil plan sheet of existing conditions/demolition shall accurately reflect the tree tags. If any tags go missing, tags shall be replaced.
8. The Applicant shall include language from Section 8.12.050 on all applicable plan sheets.
9. The applicant shall provide a sewer connection into the existing lateral in the property: Verify condition of existing lateral meets standards by providing Public Works a digital video inspection recording of pipe condition from the connection point on the property to the public main on Washington Ave.

10. The Applicant shall install a sanitary sewer cleanout in the public right of way per City standard details.
11. Any new water service connection shall be installed in the public right-of-way per City standard details.
12. No lot-to-lot drainage shall be permitted. All stormwater runoff shall be conveyed to existing public facilities, including existing storm drains, street gutters, etc. Stormwater runoff shall not be allowed to flow over the public sidewalk.

EXHIBIT C
STANDARD CONDITIONS OF APPROVAL

Design Review and Tree Removal
7580 Washington Ave
004-223-030, **File# 2025-033**

1. All plans shall include a brief description of the project on the cover sheet.
2. All submitted building permit plan check sets shall include a plan sheet incorporating these conditions of approval.
3. Except as otherwise noted in these conditions of approval, the plans submitted to the Building Department for plan check shall be in substantial conformance to those approved by the review body. If any changes are made to submitted plans which were approved by the review body the applicant shall work with the Planning Department to determine if the changes are significant enough to once again be seen by the review body, or if staff can approve the changes. Any changes that have not been approved by Planning staff are not approved. Construction or demolition work that does not conform to the Planning approval is not valid and shall be subject to stop work orders and may require removal.
4. Site landscaping shall be generally consistent with the Landscape Plan included as part of "Exhibit A" on file with the Sebastopol Planning Department. The final landscape plan shall be stamped by a licensed landscape architect and filed with the Planning Department prior to occupancy. Plans for any irrigation of the site shall be incorporated into the landscape plan. All planting shown on the approved plan shall be installed prior to occupancy of the proposed project. Upon the request of an Applicant to receive a Temporary Certificate of Occupancy and at discretion of the Planning Director, landscape installation may be suitably guaranteed by posting a cash bond equal to 100% of the cost and installation of any landscape improvements.
5. Acceptance of the construction drawings and specifications does not release the applicant and owner from correction of mistakes, errors, or omissions contained therein. If, during the course of construction, the field conditions or other previously unknown conditions require a modification or a departure from the accepted plans, the applicant shall provide the modifications or departure and specify the correction of mistakes errors, or omissions in compliance with the CBC and City Standards.
6. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
7. A Construction Management Plan (CMP) shall be submitted to the City as part of the Building Permit and/or Grading Permit and shall be incorporated into the plans, unless waived by staff. The City's CMP template, provided by the Planning Department, may be used for small, infill projects. Revisions to the CMP to increase or add on time to the construction timeline shall be coordinated with the Building Official and any additional requests will be at the applicant's responsibility.

This CMP shall be a binding document. Failure to adhere to the CMP may result in a

“Stop Work Notice” being placed on the project. An electronic copy of the APPROVED CMP shall be submitted to the City, and may be posted to the city’s website. The CMP shall be updated as project conditions warrant. Updates to the CMP shall be provided to the City for review and approval. The CMP shall include but not be limited to:

- a) Work schedule (start of construction date, road or lane closure intent/dates, important milestones and proposed final dates)
- b) Construction Hours
- c) Travel routes and turn-around locations with staff approval
 - Impact to state highways
- d) Road and/or lane closures (Applicant to provide information on how many anticipated road closures, and the reasons for each road closure).
- e) Worker auto parking space locations/construction parking
- f) Phasing (if applicable)
- g) If construction improvements are located in areas of slopes 15% or greater, the Contractor shall provide safe temporary hard surface stair access to the improvements, unless waived by the Building Official. This access shall be shown on the CMP.
- h) Projects that require a grading permit shall comply with the City’s grading ordinance.

The CMP may be more stringent if the project is located close to schools or in impacted neighborhoods. A CMP may be required to be modified if a neighborhood becomes “impacted” during the course of the construction. Impacted neighborhoods are defined as areas in geographic proximity (i.e. using the same streets for access) with a significant number of simultaneous construction projects.

The hours of construction activity shall be limited 7:00 a.m. to 8:00 p.m., Monday through Friday, 8:00 a.m. to 5:00 p.m. on Saturdays with staff approval, depending on scope of work being done, or unless modified by a project’s Specific Conditions of Approval.

A **24-inch by 36-inch** weatherproof copy with items A-F posted on site. The remaining Construction Management Plan shall be made available on site. The Construction Management Plan shall be posted on the site as part of the job site signage and should include:

- a) Address of the project site.
 - b) Permitted hours of construction and of deliveries/off-haul.
 - c) Name, e-mail address and direct phone number of the General Contractor.
 - d) Name, e-mail address and direct phone number of the person responsible for managing the project.
 - e) Name and direct phone number of the party to call in case of an emergency.
 - f) City of Sebastopol Building Department (707-823-8597).
8. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Public Works Department prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way. The fee for using the right-of-way for storage of construction materials or equipment is \$10.00 per day. A minimum of 11’ passable auto traffic clearance (paved travel way) shall be maintained at all times along the roadway. The placing of portable restroom facilities in the City right-of-way will not be permitted.

9. All portions of the job site shall be maintained in an organized and professional condition. All trash, debris, construction scraps and broken/deteriorated machinery shall be removed from the site by the end of each week. If off loaded construction materials are not used within 2 weeks, they shall be screened from public view. All sidewalks, driveways and public/private roadways fronting the subject site shall be broom cleaned at the end of each business day.
10. A pre-construction meeting is required with city staff for projects that:
 - a) Require a City encroachment permit, a Caltrans encroachment permit, or a City grading permit; or
 - b) Have 5 dwelling units or more; or
 - c) Have a total of 5,000 square feet of building or more; or
 - d) Have a creek setback requirement; or
 - e) Are required to have a pre-construction meeting under a specific condition of approval.
11. All permits and/or inspection fees required shall be paid in full prior to final occupancy being granted unless otherwise stipulated by the City.
12. All required construction signage and any required tree-protection shall be posted and available for City inspection at the time of the Pre-construction meeting or, if no pre-construction meeting is required, prior to commencing construction. If these measures are not in place at the time of the pre-construction meeting, a re- inspection fee will be required, and issuance of building permit will be delayed.
13. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.

Planning Department Standard Conditions of Approval:

14. This approval is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this Use Permit from the Planning Director, pursuant to Zoning Ordinance §17.400.100.
15. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Cut sheets for all exterior lighting shall be submitted as part of the Design Review or other planning application.
16. For projects with new foundations or retaining walls less than 10' away from a required setback property lines shall be physically identified (string line or equal), and the applicant shall submit a letter or certificate from a licensed surveyor that confirms that the structure complies with the approved setbacks prior to placing the foundation. For any project that includes new foundations or retaining walls more than 10' away from a required setback, the applicant may apply for a waiver from this requirement from the City Engineer and Planning Department.
17. For any project that includes new structures within 2 feet of the allowed height limit, a letter or certificate from a surveyor confirming that the height of the roof complies with the approved plans shall be submitted to the Planning Department at the earliest point possible.

18. All landscape and irrigation plans must be designed in accordance with the most current City of Sebastopol landscape requirements. Prior to providing water service for new landscape areas, or improved or modified landscape areas, the Planning Department must review and approve the project's working drawings for planting and irrigation systems. Any question regarding the City of Sebastopol current water conservation and Landscape Ordinance should be directed to the Planning Department.

New construction and rehabilitated (renovations or changes made to sites with an existing irrigation system) landscape projects will be affected by these requirements if the altered landscape area is greater than 500 square feet.

19. For any new housing unit development, the developer/owner shall submit the total amount of fees and exactions associated with the project prior to issuance of certificate of occupancy or final inspection.

Engineering and Public Works Department Standard Conditions of Approval:

20. All projects are subject to Impact Fees as adopted by the City Council, which are due at the time of issuance of the Building Permit unless otherwise stipulated by the City.
21. An Encroachment Permit is required from the Public Works Department for any and all work within the public right-of-way. If the work is within a CalTrans right-of way, an Encroachment Permit from CalTrans shall also be procured by the applicant. Encroachment Permit shall not be issued until the City Engineer approves the applicant's site improvement plans.
22. Construction within the public right-of-way is limited to that necessary to support the lot's use. This may include but is not limited to: driveways, sidewalks and any utility connections. For all improvements within the public right of way, the applicant shall submit plans to adequately describe the work. Plans shall include but not be limited to drainage details, cross-sections, driveway/roadway grades and utility locations as necessary.
23. The applicant shall prepare and submit site improvement plans for the construction of all improvements including water, sanitary sewer, storm drain, water quality facilities, roadway improvements, curbs, gutters, sidewalks, elevated or structural pedestrian walkways, landscaping, landscape irrigation, signing, striping, joint trench and streetlights. All design and construction shall conform to the latest edition of the City of Sebastopol Design and Construction Standards and other applicable codes, standards, guidelines and specifications. Public improvement drawings shall be drafted in the City-approved sheet format.
24. Once approved by the City Engineer, the applicant shall submit PDF files of the signed improvement plans. As-Built record drawings shall also be submitted as PDF files.
25. Deviations from City Standards and applicable Code requirements shall be approved by the City Engineer. The applicant's engineer shall request all design exceptions in writing.
26. Any improvements, public or private, damaged during construction shall be replaced, by the applicant, in-kind or with new improvements. All cracked, broken, or uplifted sidewalk, driveway and/or curb and gutter fronting the property shall be replaced.

Applicant shall coordinate with the Public Works Department prior to the first submittal of project improvement plans to identify the extents and limits of replacement.

27. An erosion and sediment control plan are required as part of the building permit application. The plan shall be prepared by a certified erosion control specialist and in full compliance with CASQA standards. The plan is subject to review and approval by the Engineering Department prior to the issuance of the building or grading permit. No modifications to the approved plans shall be made without approval of the City Engineer.
28. Mailbox plans and locations shall be approved by the Sebastopol Postmaster prior to improvement plan approval. The developer shall provide a letter and exhibit showing mailbox locations from the Sebastopol Postmaster approving mailbox locations.
29. City Public Water and Sewer and Drainage utility easements as required by the City Engineer utility companies shall be provided within the development. Easement locations shall be subject to review and approval by the City Engineer.

Roadway Improvements:

30. The improvement plans for the first phase of development shall include and provide for the construction of all offsite improvements as required to support full project build-out. Each subsequent phase of development shall construct sufficient onsite roadway and utility improvements to support the cumulative development proposed to be constructed as approved by the City Engineer.
31. Road closures, if permitted by the Project Approval, will only be permitted with prior authorization from the Public Works Department consistent with the City's road closure policy. Signs containing details of the proposed closure must be posted 48 hours in advance. Coordinate road closures with the Sebastopol Public Works Department. Contact the Public Works Department at 707-823-5331 to obtain a road closure permit.
32. An emergency vehicle access, meeting the requirements of the Sebastopol Fire Department shall be constructed.
33. All private driveway areas less than 24-foot wide shall require the approval of the Sebastopol Fire Department.
34. Sidewalk warps shall be provided to allow a clear five-foot walkway at all locations, including areas where mailboxes, street furniture, streetlights, street signs and fire hydrants are to be installed, or as otherwise approved by the City Engineer.
35. The structural section of all public road improvements shall be designed using a soil investigation which provides the basement soils R-value and expansion pressure test results. A copy of Geotechnical report and structural section calculations shall be submitted with the first improvement plan check.
36. The structural section of the private on-site drive aisles and parking areas shall meet the requirements and recommendations of the geotechnical report for the project.
37. Retaining walls and retaining curbs may be required to protect damage to trees as determined by a licensed Arborist. All retaining structures shall be designed and constructed to minimize damage to trees.

38. Pedestrian curb ramps, meeting City standards and current accessibility requirements, shall be provided at all intersections and crosswalks where sidewalks are proposed.

Drainage Improvements:

39. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed by a Civil Engineer registered in the State of California in accordance with the Sonoma County Water Agency's Flood Management Design Manual (FMDM). Public and private drainage improvements shall be shown on the improvement plans and the City Engineer may require the applicant to acquire the review and recommendations by the Sonoma County Water Agency (Sonoma Water) prior to approval by the City Engineer. Private storm drain easements will be required for any portions of the private storm drain not entirely located with the lot being served or for any portion of a private utility located on an adjacent parcel.
40. No lot-to-lot drainage will be allowed between the project site and any adjacent parcels. No concentrated drainage may discharge across sidewalks. All site drains must be connected to the public storm drain system or discharged through the face of curb or to an established waterway.
41. Plans and certifications shall demonstrate compliance of all improvements, including building finished floor elevations, with the City's Flood Ordinance, to the satisfaction of the Building Official and City Engineer. Building finished floor elevations shall be constructed at a minimum of 2 foot above the 100-year storm event water surface elevation as determined by the City and certified by the project engineer. The Engineer of Record shall provide a signed and stamped letter indicating the project meets the requirements of the Ordinance before plan approval.

Stormwater Quality:

42. Projects that create or replace 10,000 square feet or more of impervious surface area are subject to design and construction requirements of the most recent edition of City of Sebastopol Low Impact Development (LID) Technical Design Manual. Improvement plans with required LID design features shall be approved by the City Engineer.
43. Projects that will disturb 1.0 acre or more of developed or undeveloped land shall provide evidence that a Notice of Intent (NOI) has been submitted by the applicant and received by the State Water Resources Control Board for a General Construction Activity Storm Water Permit. Two copies of the project Storm Water Pollution Protection Plan (SWPPP) shall be provided to the City prior to issuing a grading permit, encroachment permit, or building permit.
44. For required LID features constructed on private property or on street frontage, the owner shall provide a Declaration Letter to the City Manager regarding the owner's commitment to ongoing maintenance of said LID features (LID Declaration) prior to occupancy.

Grading:

45. The improvement plans shall include a site-grading plan prepared by a Civil Engineer registered in the State of California as part of the required improvement

drawings. Lots shall be generally designed to drain to public and private streets or parking areas, unless otherwise approved in the interest of tree preservation or other unusual circumstances.

46. The City of Sebastopol shall require a grading permit for projects that meet these requirements.
 - a) Cut or fill exceeding 50 cubic yards
 - b) Cut or fill greater than 3 feet in depth
 - c) Cut creating a cut slope greater than 5 feet in height and steeper than 2 units horizontal to 1 unit vertical
 - d) Fill intended to support a structure or surcharge greater than 1 foot in depth or placed on terrain with a natural slope steeper than 15 percent
47. When required by the Building Official the applicant shall submit to the City for review and approval, a detailed Geotechnical Report prepared by a Geotechnical Engineer registered in the State of California. The grading plan shall incorporate the recommendations of the approved Geotechnical Report.
48. Where soil or geologic conditions encountered during grading operations are different from those anticipated in the Geotechnical Report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
49. Existing wells, septic tanks and/or underground fuel storage tanks that are defective or will no longer be in use shall be permanently destroyed or removed under permit and inspection by the Sonoma County Permit and Resource Management Department, Well and Septic Division and/or Sonoma County Environmental Health or other designated agency. Underground fuel storage tanks are subject to UST regulations of the State Water Resources Control Board.
50. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved. Should monuments be damaged or destroyed during construction, they shall be replaced by the developer.
51. Improvements plans shall include an erosion control (winterization) plan. The plan shall include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed.
52. Sewer services and laterals shall be CCTV inspected to determine if the service needs to be removed and replaced. A copy of the CCTV report shall be provided to the City Engineer. A waiver for CCTV inspection may be waived by the City Engineer, if the sewer lateral has been replaced within ten years of the submittal of the improvement plans. A copy of the documentation evidencing such replacement shall be included in the submittal package.
53. If the proposed project is located in or adjacent to a waterway, within an area designated as habitat for threatened or endangered species, or other special status area, it possibly falls under the jurisdiction of another agency such as the United States Army Corps of Engineers, the California Regional Water Quality Control, or the

California Department of Fish & Wildlife, U. S. Fish & Wildlife Service, etc. These agencies shall be contacted to determine if the project lies within their respective jurisdictions. All necessary permits and/or approvals shall be obtained prior to the City issuing any permits. If permits are not required, a letter stating so shall be submitted to the City as part of the record.

54. Trees and vegetation shall be trimmed according to Section 8.12 of the Sebastopol Municipal Code. Trees and shrubs shall be kept trimmed so that the lowest branches projecting over public properties provide a clearance of not less than eight (8) feet over sidewalks and not less than twelve (12) feet over streets.

Fire Department. Standard Conditions of Approval:

55. The address shall be posted in accordance with requirements of the California Building Code and California Fire Code. The Fire Chief shall review and approve all requests for new addresses. Inspection and signoff of address posting shall be coordinated through Building Department.
56. Smoke and CO detectors shall be installed in accordance with the California Building Code. Final inspection and signoff of smoke detectors shall be coordinated through Building Department.
57. Noncombustible roofing shall be provided for:
 - a. All new roofs shall be non-combustible.
 - b. Roof Repairs or replacement:
 - i. Less than 25% - no requirement
 - ii. 25Hr to 50% - Class C minimum
 - iii. 50% or more — Non-Combustible
 - c. In no case shall the roofing material used to be less fire resistive than the existing roof.

NOTE: A "noncombustible" roof is a Class A roof (for other than Group R Occupancies, a Class A or Class A assembly) as defined in the California Building Code and approved by the Building Department.

58. Prior to occupancy, a spark arrester shall be installed on the chimney(s) 3/8" mesh minimum.

Building Department Standard Conditions of Approval:

59. All construction shall comply with all applicable Title 24 Codes in effect at the time of building permit submittal. It is the responsibility of the designer(s) to ensure that all applicable Title 24 codes, as well as any applicable Sebastopol Municipal Codes are incorporated into the design.
60. The project shall comply with the Green Building regulations contained in the Sebastopol Municipal Code that are in effect at the time of building permit submittal.

END OF STANDARD CONDITIONS OF APPROVAL

Client: City of Sebastopol Planning Department
Project Location: 7580 Washington Ave, Sebastopol, CA
Inspection Date: July 2, 2025
Arborist: Ben Anderson



Assignment

Tori Henkel asked me to review a tree removal permit application for a coast live oak tree (*Quercus agrifolia*) to help determine whether its removal would be consistent with the municipal code. The removal request was precipitated by concerns expressed by plans to develop the subject property. No one met me onsite, but I had full access to the tree.

Observations

The subject property is in an area zoned for single-family residential. It is currently undeveloped. I was provided with the preliminary plan set and an arborist report from Kevin Paul of Sandborn Tree Service, dated February 25, 2025. Only one tree on the site has a trunk diameter (dbh) greater than 20 inches, though two others are very close at 19.0 inches and 17.5 inches. There are several other young coast live oaks on the site and a large plum tree (*Prunus sp.*, 15.5" dbh). Presumably, all trees will be removed from the site.

The arborist report accurately describes the three largest trees, although there was a discrepancy in the diameters. I reached out to Mr. Paul to clarify and he sent me photos showing their trunk measurements to clarify.

I was unable to find the trees shown on any of the initially provided plans. The applicant then provided an additional plan showing tree locations. The lower oaks are situated within the footprint of the ADU, and the upper oak is directly adjacent to the main residence, leaning into the space it would occupy.

Discussion

From the Sebastopol Municipal Code 8.12.060: "Tree removal permit—When a Tree Removal Permit is Required."

Single-Family and Duplex Residential. On properties which house a single-family or duplex residential use, no person shall allow or cause the removal of a tree that has a minimum diameter at breast height (d.b.h.) of 20 inches or more if the tree has a single trunk, or which has at least one trunk with a minimum d.b.h. of 20 inches if the tree has two or more trunks without first obtaining a TRP, unless otherwise exempted herein.

The tree is greater than 20 inches and requires a permit.

From the Sebastopol Municipal Code 8.12.060 D "Tree removal permit – Tree Removal Criteria," at least one of the following conditions must be satisfied to approve a tree removal permit:

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.

The tree did not appear diseased or structurally unsound and was not described as such in the arborist report. Trunk leans are technically a structural defect, but are naturally occurring and very common on coast live oaks.

2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.

N/A.

3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.

N/A

4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.

I am unfamiliar with the specific setback and building spacing requirements for the property, but from an arborist's perspective, it appears the buildings could be rearranged to accommodate the tree, especially if all other trees on the site are removed.

5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

There are many other trees of similar stature on this and adjacent properties.

Conclusions

The subject tree, which is over 20 inches in diameter, cannot be removed without a permit. Its removal fails to meet any of the removal criteria listed in the municipal code related to tree condition. The plan would need to be entirely redesigned to accommodate the tree(s). If the subject tree were retained, it would screen the home from the street, but also potentially block desirable views from the new home to the north, although the project description describes expansive views to the east.

Other than the largest, leaning tree, the other trees may be removed without a permit; however, it would be preferable to keep the larger oaks if possible.

The landscape plan lists the replacement trees as "live oak" and "Japanese maple." Japanese maple is not on the approved list in the ordinance. I recommend planting vine maple (*Acer circinatum*) in its place. It is a California native that serves a similar purpose in the landscape to Japanese maples.

SCOPE OF WORK AND LIMITATIONS

Urban Forestry Associates has no personal or monetary interest in the outcome of this investigation. All observations regarding trees in this report were made by UFA independently, based on our education and experience. All determinations of the health condition, structural condition, or hazard potential of a tree or trees at issue are based on our best professional judgment. The health and hazard assessments in this report are limited by the visual nature of the assessment. Arborists cannot detect every condition that could lead to a tree's structural failure. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk, and the only way to eliminate all risks associated with trees is to eliminate all trees.



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