

City Council
Mayor Una Glass
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Patrick Slayter
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Diana Rich



Planning Director
Kari Svanstrom
Associate Planner
Alan Montes
Senior Administrative Assistant
Rebecca Mansour

City of Sebastopol Design Review Board Staff Report

Meeting Date: March 3, 2021
Agenda Item: 8A
To: Design Review Board
From: Alan Montes, Associate Planner
Subject: Design Review for Oxygen Storage Tanks
Recommendation: Conditional Approval
Applicant/Owner: James Loera/Gurpreet Singh
File Number: 2021-001
Address: 6789 Walker Ave.
CEQA Status: Categorical Exemption: Section 15303: Class 3
General Plan: Commercial Office (CO)
Zoning: Commercial Office (CO)

Introduction:

This is a design review application for the installation of oxygen storage tanks and screening in the parking lot located 6789 Walker Ave. to serve Sebastopol Specialty Hospital.

Project Description:

The project proposes to install a new bulk oxygen system, composed of two white oxygens storage tanks (one primary and one secondary), an ambient vaporizer, and associated equipment within the existing hospital parking lot. The system is proposed to connect to the existing oxygen supply line. The project will install a seven-foot chain link fence with slats, in an earth tone color around the oxygen system.

The project will eliminate eight surplus parking spaces.

Environmental Review:

The project is categorically exempt from the requirements of CEQA pursuant to Section 15303, Class 3, which includes construction of accessory structures such as garages, mechanical equipment, and fences. The bulk oxygen system would be considered an accessory structure and will not create any new environmental impacts as it will be in an already developed area.

General Plan Consistency:

The General Plan Land Use Designation for the site is Commercial/Office. The General Plan states the following: "This designation provides areas for commercial and office uses with off-street parking and/or clusters of street-front stores. This designation allows primarily local-serving retail establishments, specialty shops, banks, professional offices, motels, professional, administrative, medical, dental, and business offices, bed and breakfast users, and business and personal services, along with ancillary commercial and service uses". The project is

proposing to install a bulk oxygen system in an existing hospital's parking lot to better serve the needs of the hospital. The bulk oxygens system is consistent with the intent of the Commercial/Office district in that it is an accessory structure to a medical facility.

Zoning Ordinance Consistency:

The site is located in the CO: Commercial Office District. The Zoning Ordinance states the following: "The CO District is intended to create, preserve, and enhance areas containing a mixture of professional, medical, administrative, and general offices, residential, and small-scale retail uses and to encourage mixed-use developments of commercial and residential uses. This district is typically appropriate along major thoroughfares and adjacent to residential neighborhoods." A hospital and the accessory structures, such as oxygen tanks would be consistent with the CO District.

Height

The project proposes that the primary oxygen tank be 19 feet tall, which exceeds the accessory structure height limit of 17 feet. However, Section 17.100.00 (B)(1) in the Zoning Ordinance allows gas storage holders, mechanical equipment, and screening for such features may be permitted up to five feet in excess of applicable height limits, provided the area of such elements does not exceed 15 percent of roof area, and is located in a nonresidential district. The proposed equipment will be located at grade in the existing parking lot and will be partially screened by a proposed 7-foot fence and existing landscaping. Additionally, the parking lot is uphill from the right of way and the equipment will have a minimal visual impact.

Parking

The site has a total of 173 parking spaces, whereas the code requires 46 parking spaces (1.25 parking spaces per bed, and the facility is licensed for 37 beds). The project as proposed would eliminate eight parking spaces leaving the facility with 165 spaces, which would still provide a surplus of 119 parking spaces.

Public Comment:

The Planning Department has not received any comments on the application from the public as of writing this report.

City Departmental Comment:

The following City departments reviewed the application: Building and Safety, Fire, Public Works, and City Manager. The only comment received was from the Fire Department stating, "HazMat Inspection and Fire Inspection will be required".

Required Findings:

Design Review: Section 17.450.030(B) of the Zoning Ordinance states the following: "In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

- 1) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
- 2) The design provides appropriate transitions and relationships to adjacent properties and the public right of way;
- 3) It would not impair the desirability of investment or occupation in the neighborhood;
- 4) The design is internally consistent and harmonious; and
- 5) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter."

Analysis:

The proposed bulk oxygen system is consistent with the hospital and its needs. The project would result in the elimination of eight surplus parking spaces; however, the hospital has a significant surplus of parking to absorb the lost spaces.

There is concern regarding the height of the structure and the screening material (chain link fence with slats). The storage tank does exceed the accessory structure height limit, but there is an exception to exceed the height limit by up to five feet for gas storage tanks. The project proposes a seven-foot chain link fence with slats around the equipment. The fencing will provide a partial screen along with the existing landscaping. Given that the equipment is located uphill from the right of way, staff anticipates minimal visual impacts from the street.

Staff is seeking the Board's input on whether a higher quality fence and/or a landscape island with root barriers should be added to the west of the equipment to better screen the equipment. The applicant has stated that oxygen yards typically utilize chain link fencing or CMU block walls for screening as they are non-combustible materials. Alternatively, if the Board is supportive of a chain link fence with slats, does the Board have a preferred color for the slats.

Recommendation:

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report and Exhibits A and B, which any modifications the Board feels are appropriate, and if there is a consensus that the design of the project appropriate.

Alternatively, the Board may find that revisions are necessary, and a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

Exhibits:

- A. Recommended Findings of Approval
- B. Recommended Conditions of Approval

Attachments:

- Master Planning Application
- Submitted Plans

Exhibit A
DESIGN REVIEW: 2021-001
Sebastopol Specialty Hospital – Bulk Oxygen System
6789 Walker Ave.; APN: 004-550-019

Recommended Findings of Approval:

1. That the proposed use is categorically exempt from the requirements of CEQA, pursuant to Section 15303, Class 3, which includes construction of accessory structures such as garages, mechanical equipment, and fences. The bulk oxygen system would be considered an accessory structure and will not create any new environmental impacts as it will be in an already developed area.
2. That the design provides appropriate transitions and relationships to adjacent properties and the public right of way as the project will be: 1) setback towards the rear of the property with minimal visual impact from the right of way; 2) being placed behind existing trees; and 3) involves the installation of seven-foot-tall fence around the equipment to provide additional screening from grade.
3. That the project will not impair the desirability of investment or occupation in the neighborhood in that the project is placed in the back of the property with minimal visual impact and the project is providing a critical service to the Hospital.
4. That the project design is in conformity with the guidelines and standards adopted in the Zoning Ordinance, in that the project is consistent with the height limit in that the code allows for a height exception of five feet for gas storage tanks, the equipment will be screened from the right of way given the natural incline of the property, the landscaping tree and the installation of a seven-foot-tall fence around the structure.

Exhibit B
DESIGN REVIEW: 2021-001
Sebastopol Specialty Hospital – Bulk Oxygen System
6789 Walker Ave.; APN: 004-550-019

Recommended Conditions of Approval:

1. Approval is granted for the bulk oxygen system (and associated equipment) and fencing described in the application materials initially date-stamped January 13, 2021 except as modified by the conditions of approval.
2. A HazMat Inspection and Fire Inspection is required.
3. The approval is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this Design Review Permit from the Planning Director, pursuant to Zoning Ordinance §17.400.100.
4. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
5. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.



City of Sebastopol
Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167

MASTER PLANNING APPLICATION FORM

APPLICATION TYPE

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Administrative Permit Review | <input type="checkbox"/> Lot Line Adjustment/Merger | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Alcohol Use Permit/ABC Transfer | <input type="checkbox"/> Preapplication Conference | <input type="checkbox"/> Tree Removal Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Review | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Sign Permit | <input type="checkbox"/> Other _____ |

This application includes the checklist(s) or supplement form(s) for the type of permit requested: ☐ Yes ☐ No

REVIEW/HEARING BODIES

- ☒ Staff/Admin ☐ Design Review/Tree Board ☐ Planning Commission ☐ City Council ☐ Other _____

APPLICATION FOR

Street Address: 6788 Walker Ave Assessor's Parcel No(s): 004-550-019
Present Use of Property: Parking for adjacent hospital Zoning/General Plan Designation: CO (Commercial-Office) / CO

APPLICANT INFORMATION

Property Owner Name: GURPREET SINGH
Mailing Address: 4120 DALE RD Phone: 38-140 (209) 485-6500
City/State/ZIP: Sebastopol, CA 95472
Signature: [Signature] Date: 1/5/2021
Authorized Agent/Applicant Name: James Loera
Mailing Address: 501 Petaluma Ave Phone: 707-322-4620
City/State/ZIP: Sebastopol, CA 95472 Email: jloera@sonoma-specialty.org
Signature: [Signature] Date: 1.5.21
Contact Name (if different from above): _____ Phone/Email: _____

PROJECT DESCRIPTION AND PERMITS REQUESTED (ATTACH ADDITIONAL PAGES IF NECESSARY)

New bulk oxygen system within middle of existing hospital parking lot, connected to the existing hospital main oxygen supply line. New concrete pad and fencing around oxygen tanks, vaporizer, etc.

CITY USE ONLY

Fill out upon receipt:	1/13/2021	Action:	Action Date:
Application Date:	2021-001	Staff/Admin:	Date:
Planning File #:	AM	Planning Director:	Date:
Received By:		Design Review/Tree Board:	Date:
Fee(s):	\$535	Planning Commission:	Date:
Completeness Date:		City Council:	Date:

SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

SITE DATA TABLE	REQUIRED / ZONING STANDARD	EXISTING	PROPOSED
Zoning	N/A	CO	same
Use	N/A	parking/hospital support	same
Lot Size		59,996 sf	same
Square Feet of Building/Structures (if multiple structures include all separately)		existing hospital support buildings	362 sf concrete pad with fencing
Floor Area Ratio (F.A.R.)	_____ FAR	_____ FAR	_____ FAR
Lot Coverage	_____ % of lot _____ sq. ft.	_____ % of lot _____ sq. ft.	_____ % of lot _____ sq. ft.
Parking			
Building Height			n/a
Number of Stories			n/a
Building Setbacks – Primary			
Front			
Secondary Front Yard (corner lots)			
Side – Interior			
Rear			
Building Setbacks – Accessory			
Front			
Secondary Front Yard (corner lots)			
Side – Interior			
Rear			
Special Setbacks (if applicable)			
Other (_____)			
Number of Residential Units	_____ Dwelling Unit(s)	_____ Dwelling Unit(s)	_____ Dwelling Unit(s)
Residential Density	1 unit per _____ sq. ft.	1 unit per _____ sq. ft.	1 unit per _____ sq. ft.
Useable Open Space	_____ sq. ft.	_____ sq. ft.	_____ sq. ft.
Grading	Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees.	N/A	Total: _____ cu. yds. Cut: _____ cu. yds. Fill: _____ cu. yds. Off-Haul: _____ cu. yds.
Impervious Surface Area	N/A	_____ % of lot _____ sq. ft.	_____ % of lot _____ sq. ft.
Pervious Surface Area	N/A	_____ % of lot _____ sq. ft.	_____ % of lot _____ sq. ft.

CONDITIONS OF APPLICATION

1. All Materials submitted in conjunction with this form shall be considered a part of this application.
2. This application will not be considered filed and processing may not be initiated until the Planning Department determines that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant of all application deficiencies no later than 30 days following application submittal.
3. The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the owner's behalf.
4. The Owner shall inform the Planning Department in writing of any changes.
5. **INDEMNIFICATION AGREEMENT:** As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.
6. **REPRODUCTION AND CIRCULATION OF PLANS:** I hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
7. **NOTICE OF MAILING:** Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
8. **DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a "Deposit". The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
9. **NOTICE OF ORDINANCE/PLAN MODIFICATIONS:** Pursuant to Government Code Section 65945(a), please indicate, by checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the following plans or ordinances if the City determines that the proposal is reasonably related to your request for a development permit:

- ☐ A general plan
 ☐ A specific plan
☐ An ordinance affecting building permits or grading permits
 ☐ A zoning ordinance

Certification

I, the undersigned owner of the subject property, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury. I hereby grant members of the Planning Commission, Design Review Board and City Staff admittance to the subject property as necessary for processing of the project application.

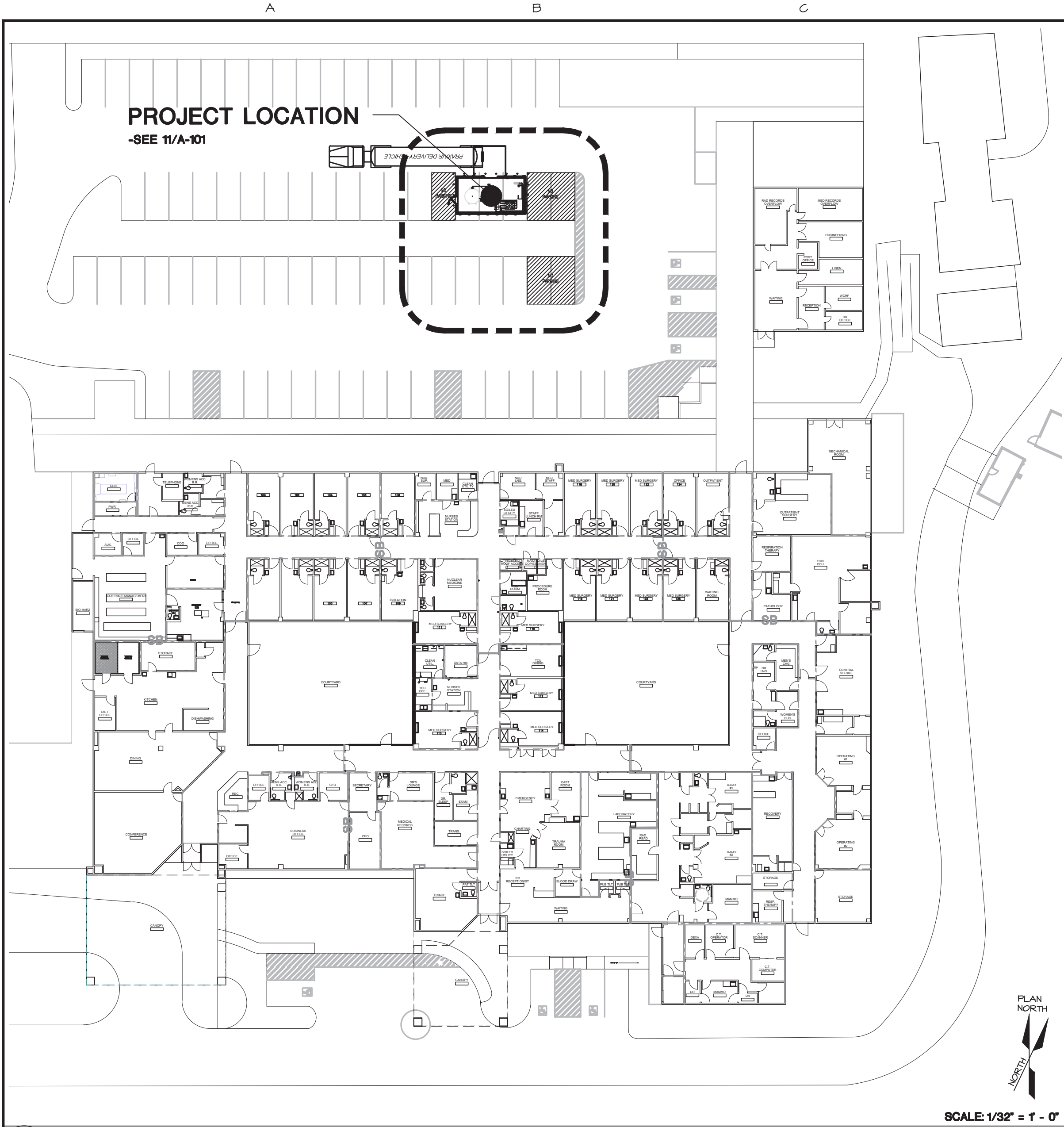
Property Owner's Signature: [Signature] Date: 1/5/2021

I, the undersigned applicant, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.

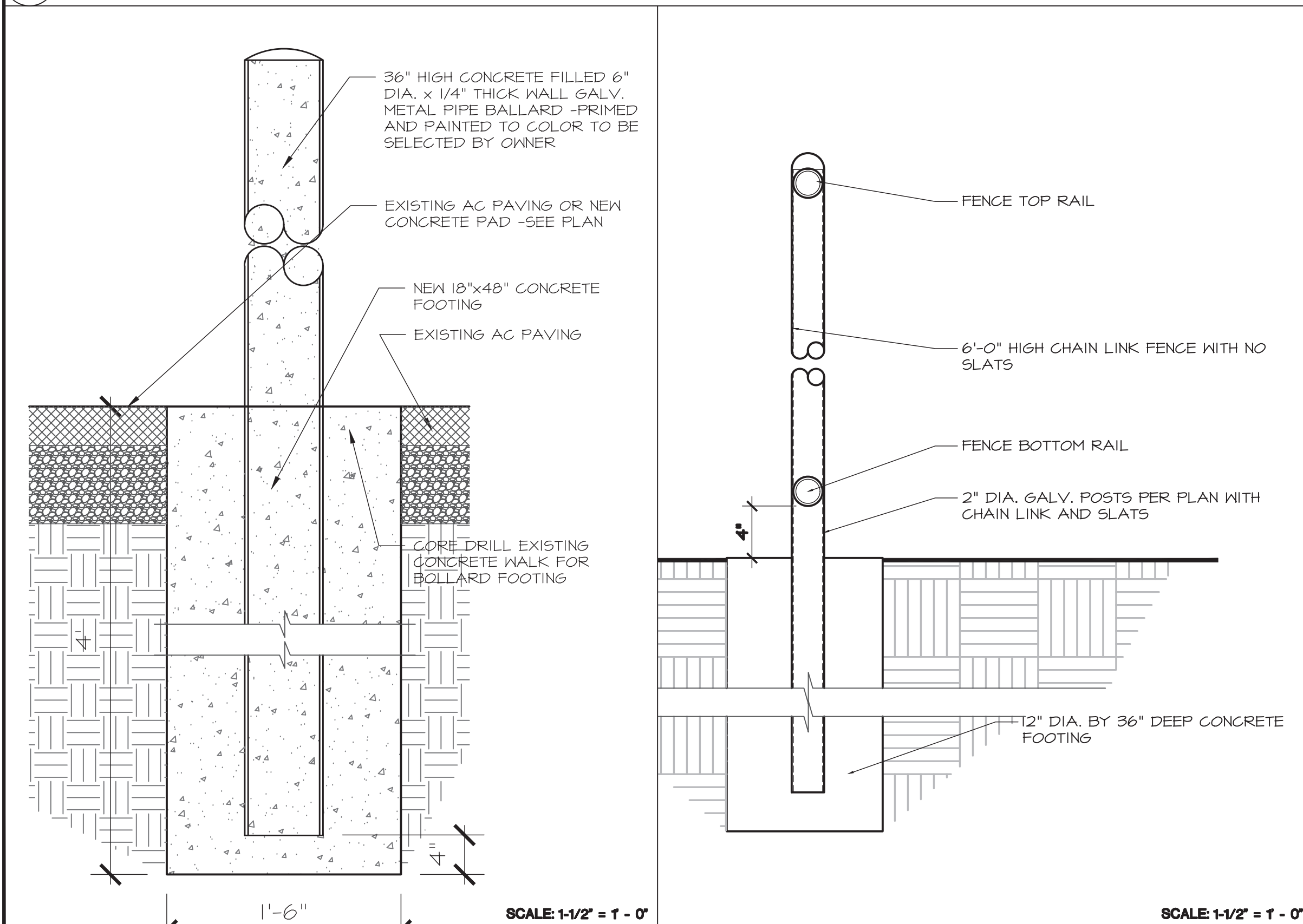
Applicant's Signature: [Signature] Date: 1/5/2021

NOTE: It is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

THIS DRAWING IS MEANT TO BE PRINTED 24"x36". AT ANY OTHER SIZE, DISREGARD REFERENCES TO SCALE.

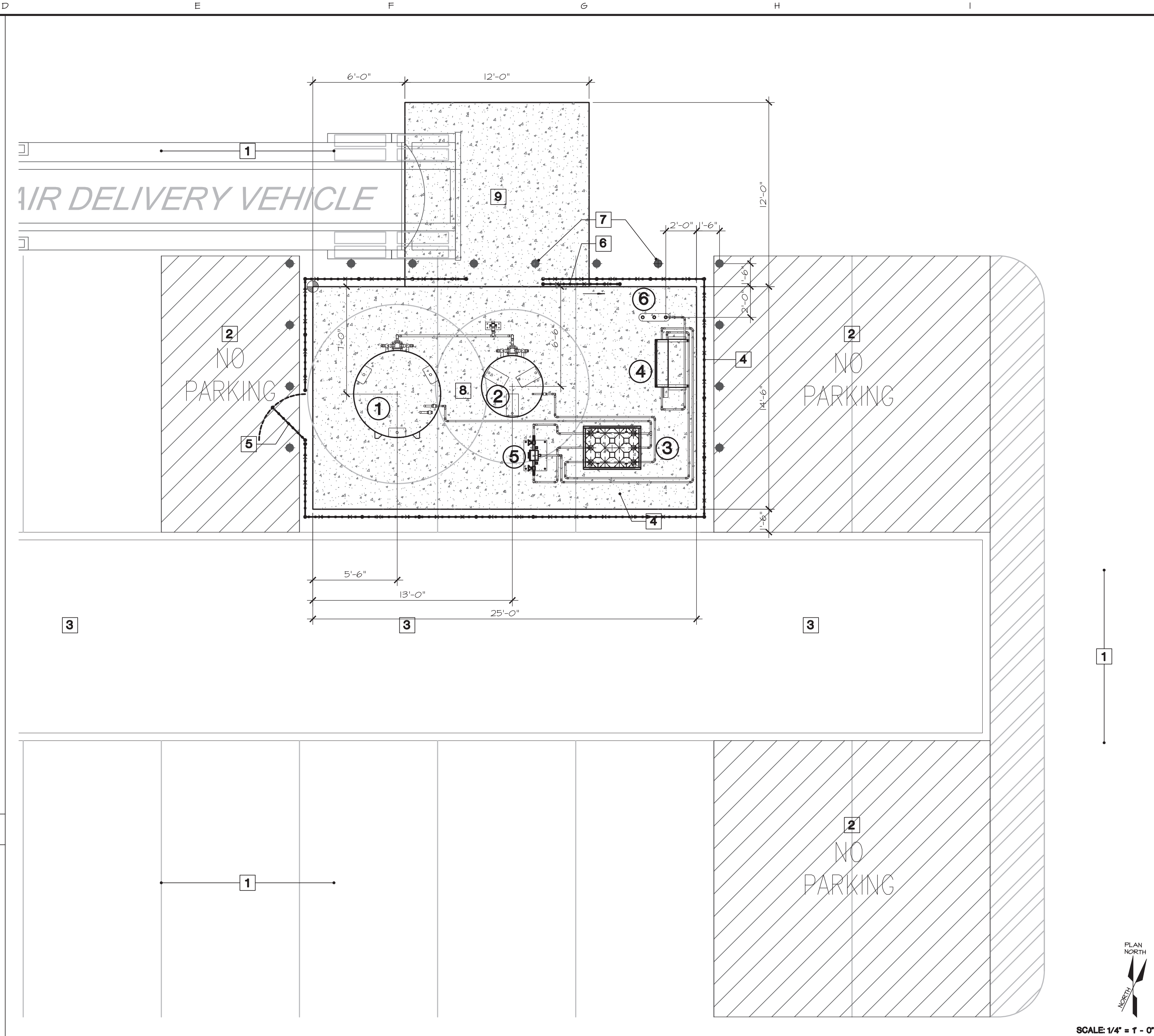


19 OVERALL FACILITY SITE PLAN



20 BOLLARD

16 FENCE POSTS



11 EQUIPMENT LAYOUT PLAN

1	VESSEL CRYOGENIC STORAGE: VCS-1500
2	BACKUP SUPPLY: VCS-525
3	VAPORIZER, AMBIENT: VAI-812-F-SP-OSHDP
4	MODULE, COMB. LTPP/REG: HOSPITAL CABINET
5	MISC. EQUIPMENT: SWITCHING MODULE
6	UTILITY SUPPLY (110V POWER, ALARM CONDUITE & MAIN O2 GAS) PIPING & CONDUITS AT 6" O.C. -SEE PLUMBING & ELECTRICAL DRAWINGS

NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR EQUIPMENT ANCHORAGE REQUIREMENTS AND PLUMBING DRAWINGS FOR PIPING ANCHORAGE.

SCALE: -

12 EQUIPMENT SCHEDULE

8 KEYED NOTES

1. CUT AND REMOVE EXISTING ASPHALT CONCRETE PAVING AS NEEDED FOR THE INSTALLATION OF NEW SPECIFIED CONCRETE PADS. NEW CONCRETE PADS TO BE CONSTRUCTED FLUSHED WITH EXISTING ASPHALT CONCRETE PAVING U.O.N.

2. CORE DRILL EXISTING ASPHALT CONCRETE PAVING AND EARTH AS NEEDED FOR THE INSTALLATION OF NEW SPECIFIED BOLLARDS -SEE DETAIL 20, ON THIS SHEET.

3. PATCH AND REPAIR AFFECTED ASPHALT CONCRETE PAVING TO MATCH EXISTING CONDITION.

4. SEE STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MORE REQUIRED WORK.

NOTE TO CONTRACTOR:
CONSTRUCTION RESPONSIBILITIES:

GENERAL CONTRACTOR - GC IS RESPONSIBLE CONSTRUCTING ALL SPECIFIED WORK BUT NOT LIMIT TO CONCRETE PADS, FENCING, BOLLARDS, TRENCHING, UNDERGROUND PIPING/ELECTRICAL/LOW VOLTAGE CABLING DOWN STREAM OF THE CONCRETE PADS & CONDUITS AND SYSTEM CONNECTIONS.

PRAXAIR - OWNER/VENDOR (PRAXAIR) IS RESPONSIBLE FOR PROVIDING AND INSTALLING/ANCHORING SPECIFIED BULK OXYGEN TANKS/EQUIPMENT /PIPING WITHIN THE BULK OXYGEN YARD.

SCALE: -

4 SITE NOTES



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AGENCY APPROVAL STAMP

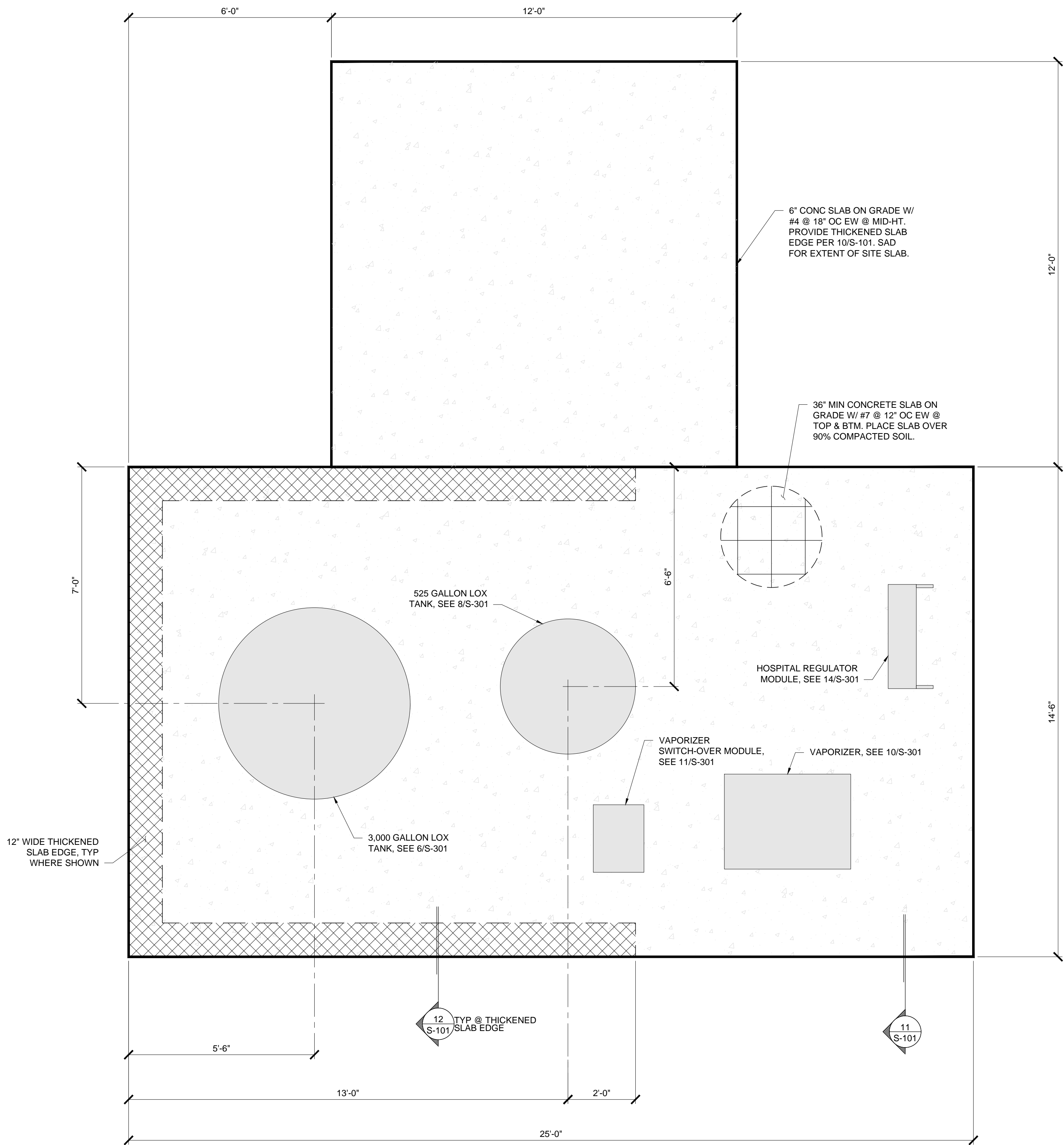
AGENCY NO. **S201693-49-00**

ASA PROJECT NO. **219052.10**

OVERALL FACILITY SITE
/ PARTIAL ENLARGED
SITE PLANS, NOTES AND
DETAILS

DRAWING TITLE
PLAN REVIEW
08/31/20

THIS DRAWING IS MEANT TO BE PRINTED 24"X36". AT ANY OTHER SIZE, DISREGARD REFERENCES TO SCALE.



FOUNDATION PLAN

SCALE: 1/2"=1'-0"

PLAN NOTES:

1. SEE S-00X SERIES SHEET FOR STRUCTURAL NOTES. STRUCTURAL NOTES SHALL APPLY UNLESS OTHERWISE NOTED IN THE STRUCTURAL CONSTRUCTION DOCUMENTS.
2. SEE S-10X SERIES SHEETS FOR TYPICAL DETAILS. TYPICAL DETAILS SHALL APPLY UNLESS OTHERWISE SHOWN IN THE STRUCTURAL CONSTRUCTION DOCUMENTS.
3. SEE SITE PLAN FOR LOCATION OF EQUIPMENT ON CONCRETE SLAB.
4. SEE ARCH FOR FENCE & BALLARD LOCATION.



ASPEN STREET
ARCHITECTS, INC.
Architecture • Planning
Feasibility Studies
494 North Main Street
P.O. Box 370
Angels Camp, CA 95222
t: 209.736.0882 f: 209.736.9071
www.aspenstreetarchitects.com



BULK LIQUID OXYGEN SYSTEM
501 PETALUMA AVE
SACRAMENTO, CA

AGENCY APPROVAL STAMP

AGENCY NO.

219052.10

ASA PROJECT NO.

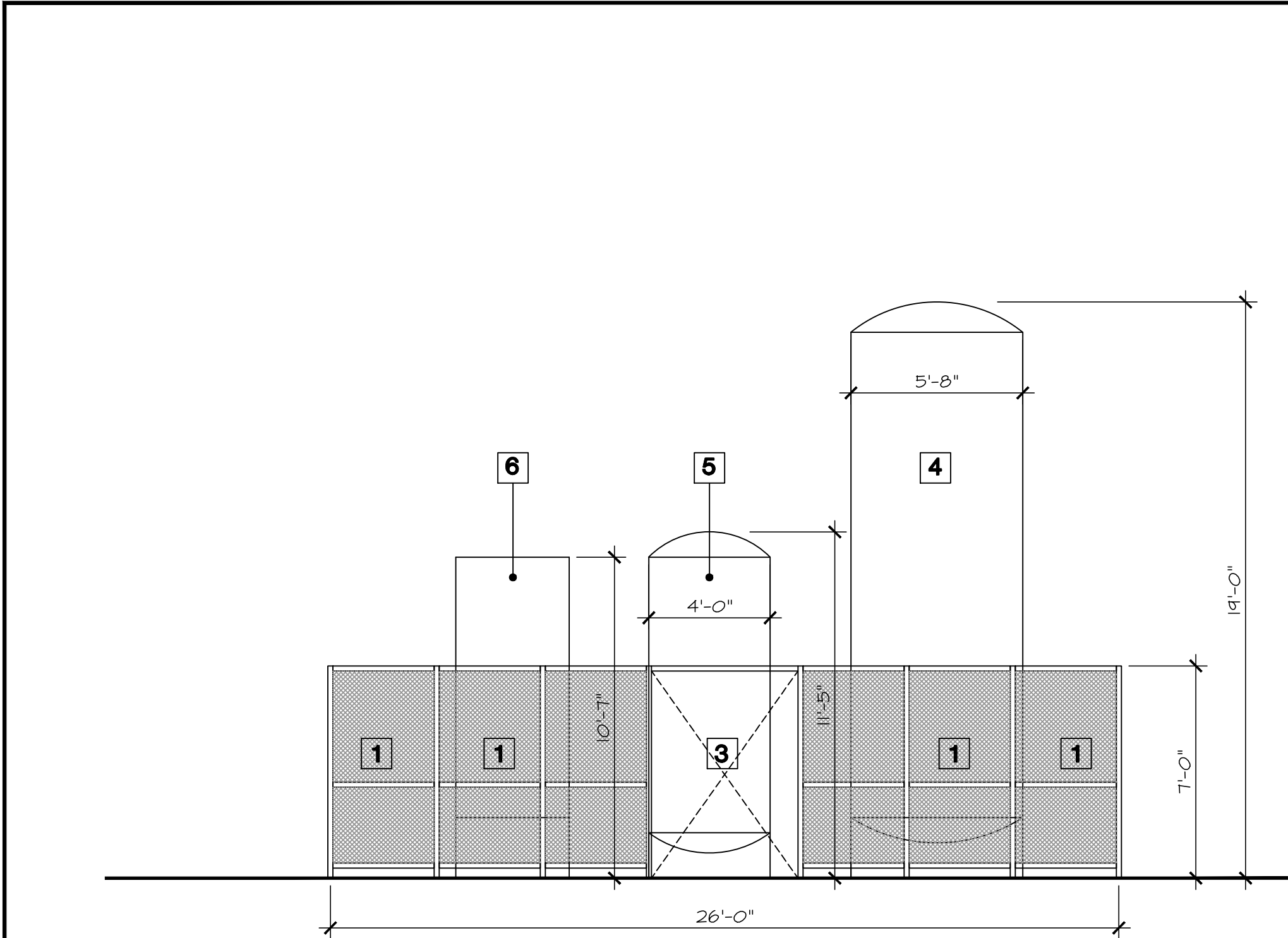
FOUNDATION PLAN

DRAWING TITLE

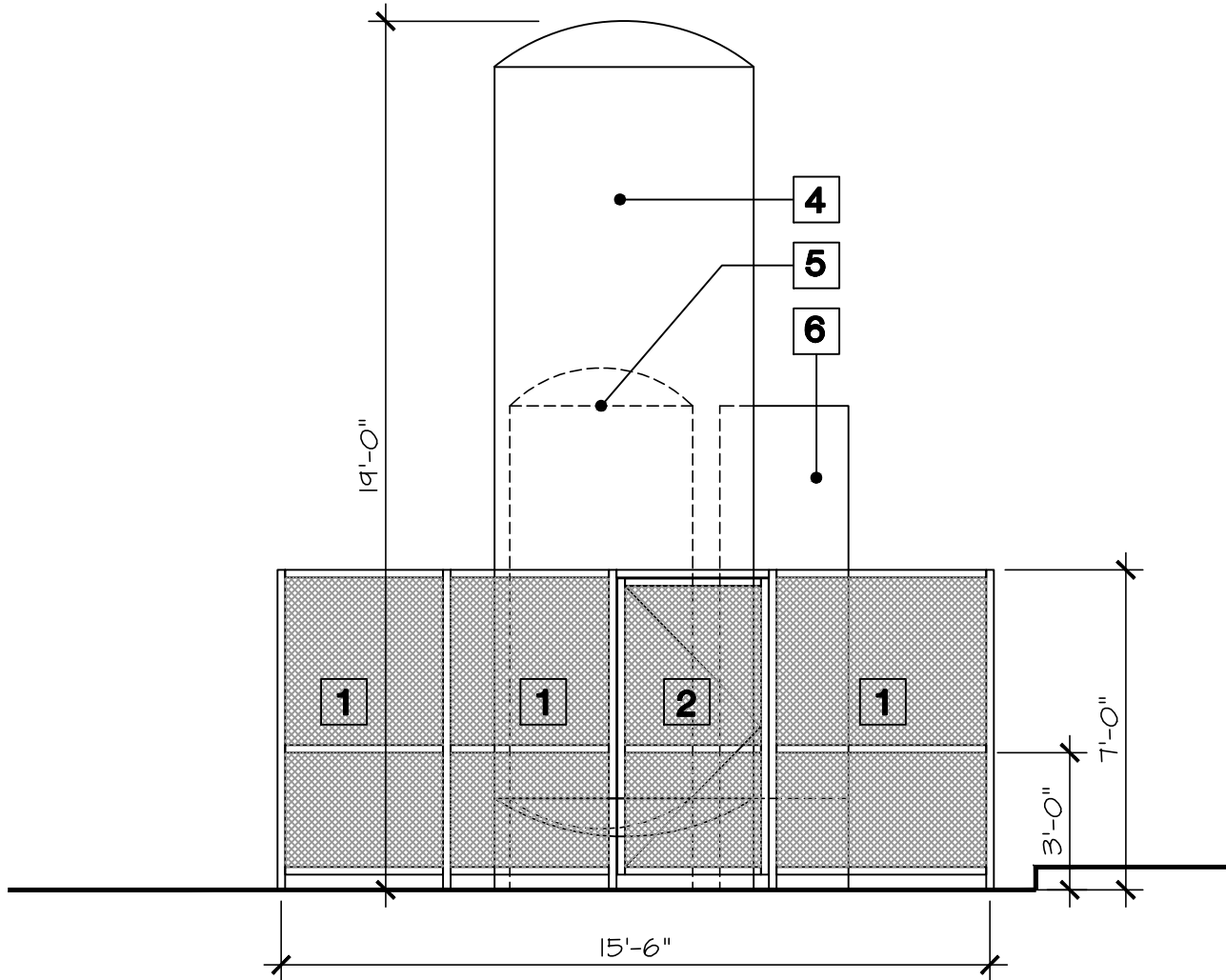


S-201

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SCALE: 1/4" = 1' - 0"

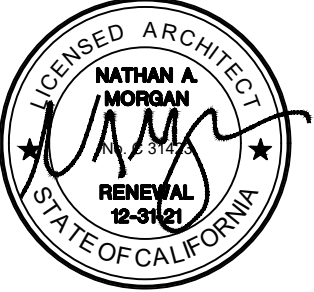


SCALE: 1/4" = 1' - 0"

- 1 CHAIN LINK FENCE WITH SLATS
- 2 36" WIDE MAN GATE WITH LOCKS
- 3 5'-0" WIDE SLIDING GATE WITH LOCKS
- 4 MAIN OXYGEN STORAGE TANK - VS-3000-250
- 5 BACK-UP OXYGEN STORAGE TANK - VS-52555-250-MVE-01
- 6 VAPORIZER - VAI-012-F-SP-OSHDP



ASPEN STREET
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BULK LIQUID OXYGEN SYSTEM
501 PETALUMA AVE
SEBASTOPOLE, CA 95472

18 FRONT -PARKING ELEVATION

10 SIDE -STREET ELEVATION

2 KEYED NOTES

19 .

15 .

11 .

11 .

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SCALE: 1/4" = 1' - 0"

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AGENCY APPROVAL STAMP

AGENCY NO.

219052.10

ASA! PROJECT NO.

ELEVATIONS

DRAWING TITLE

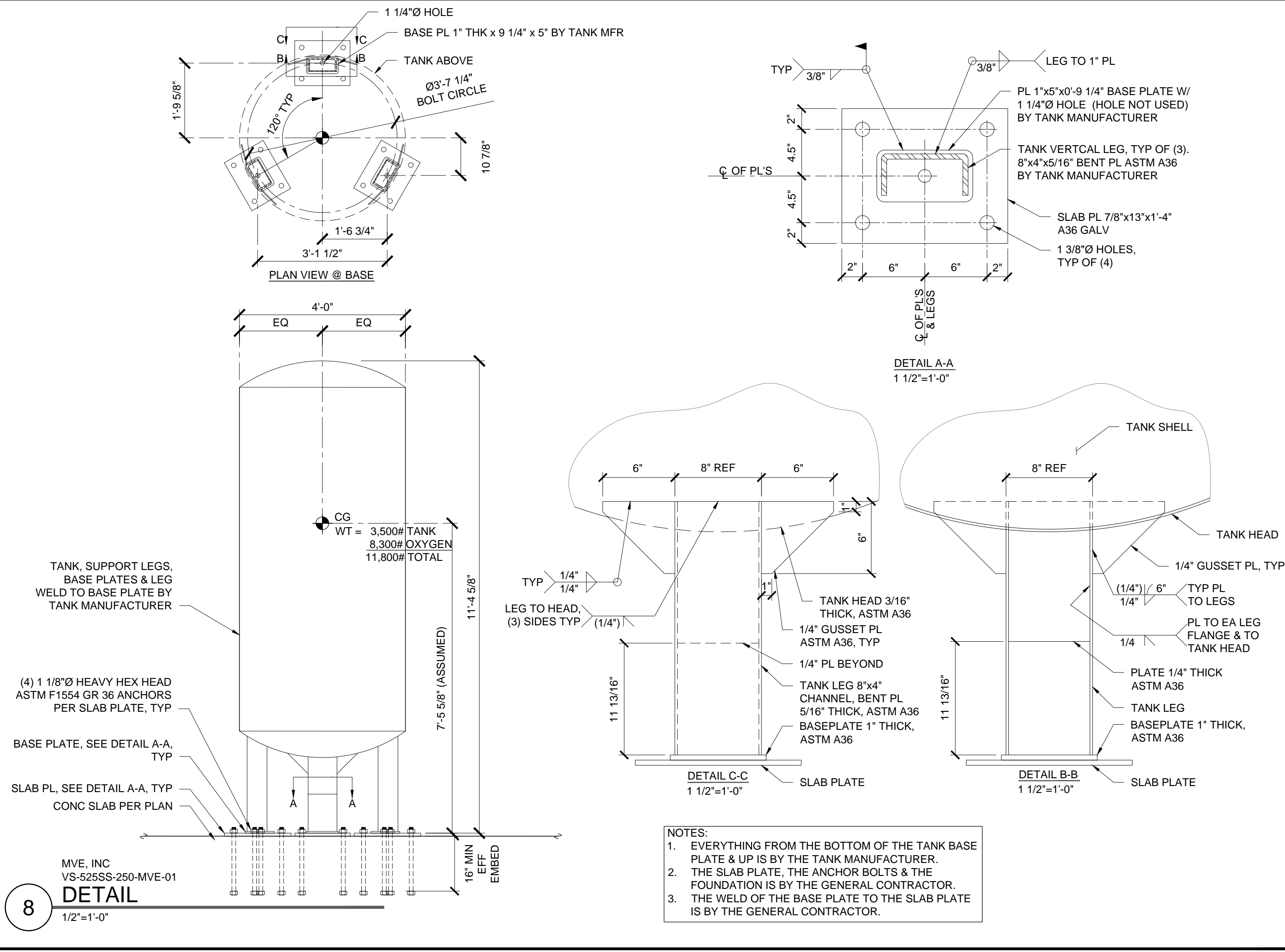
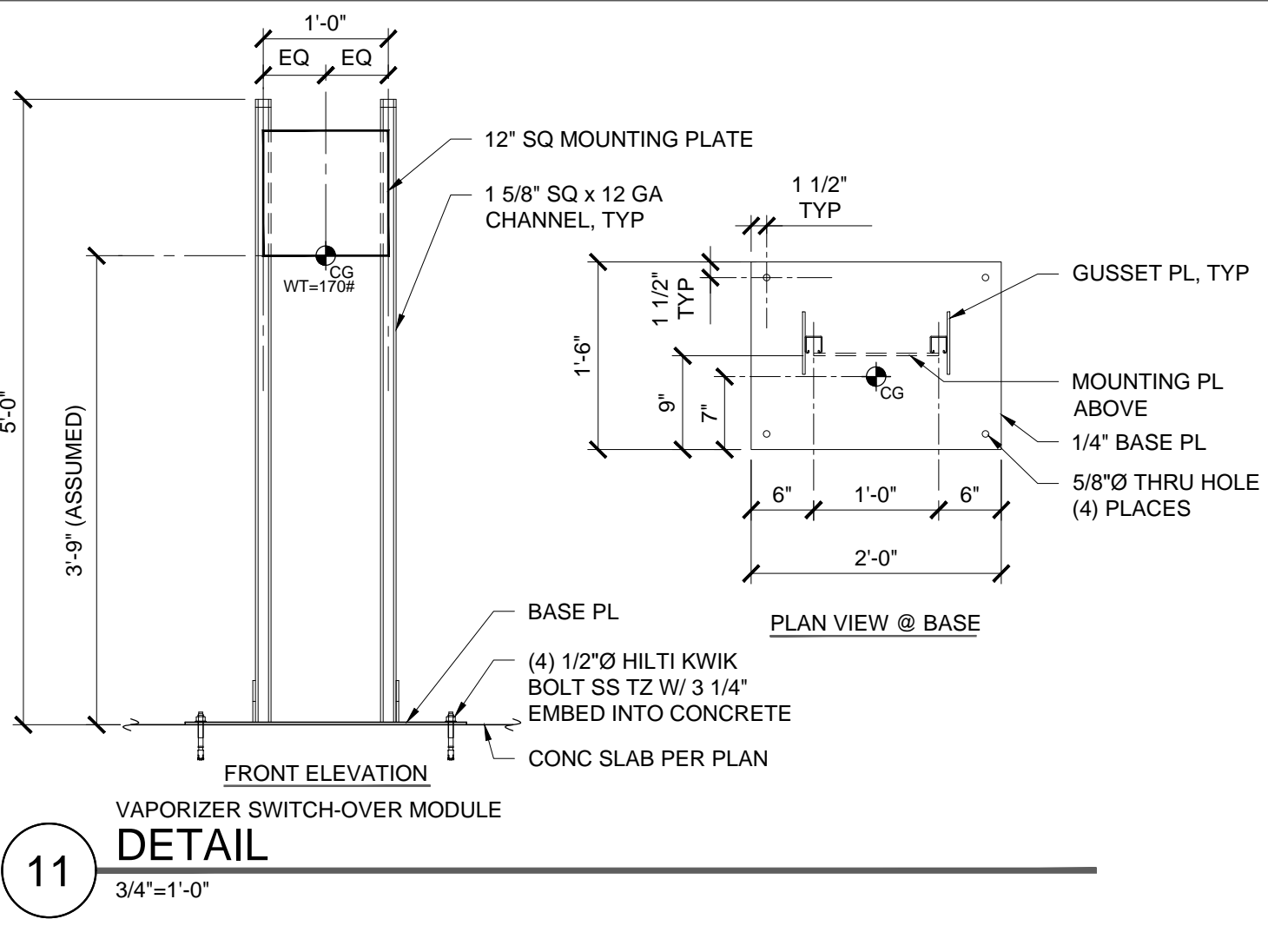
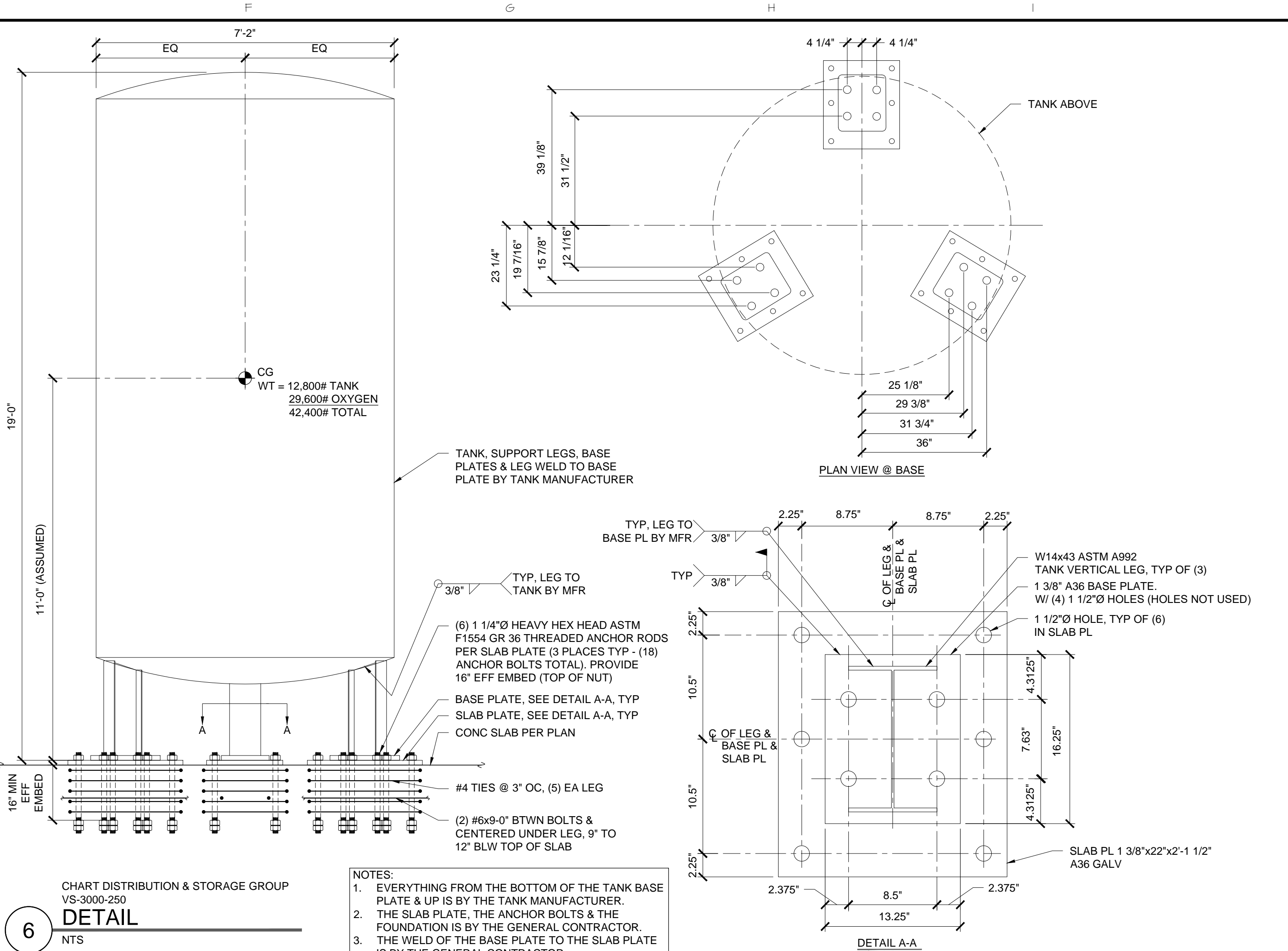
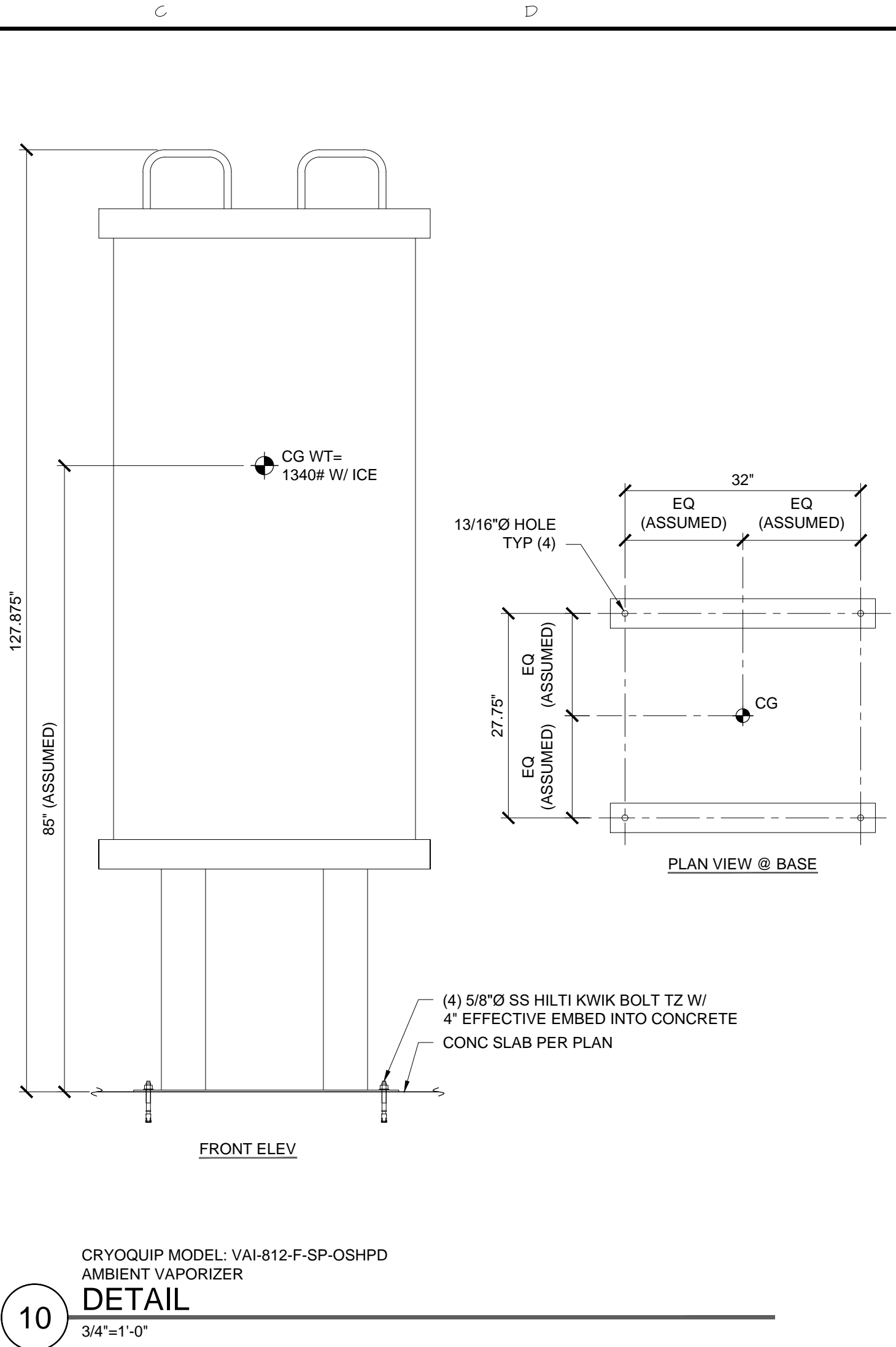
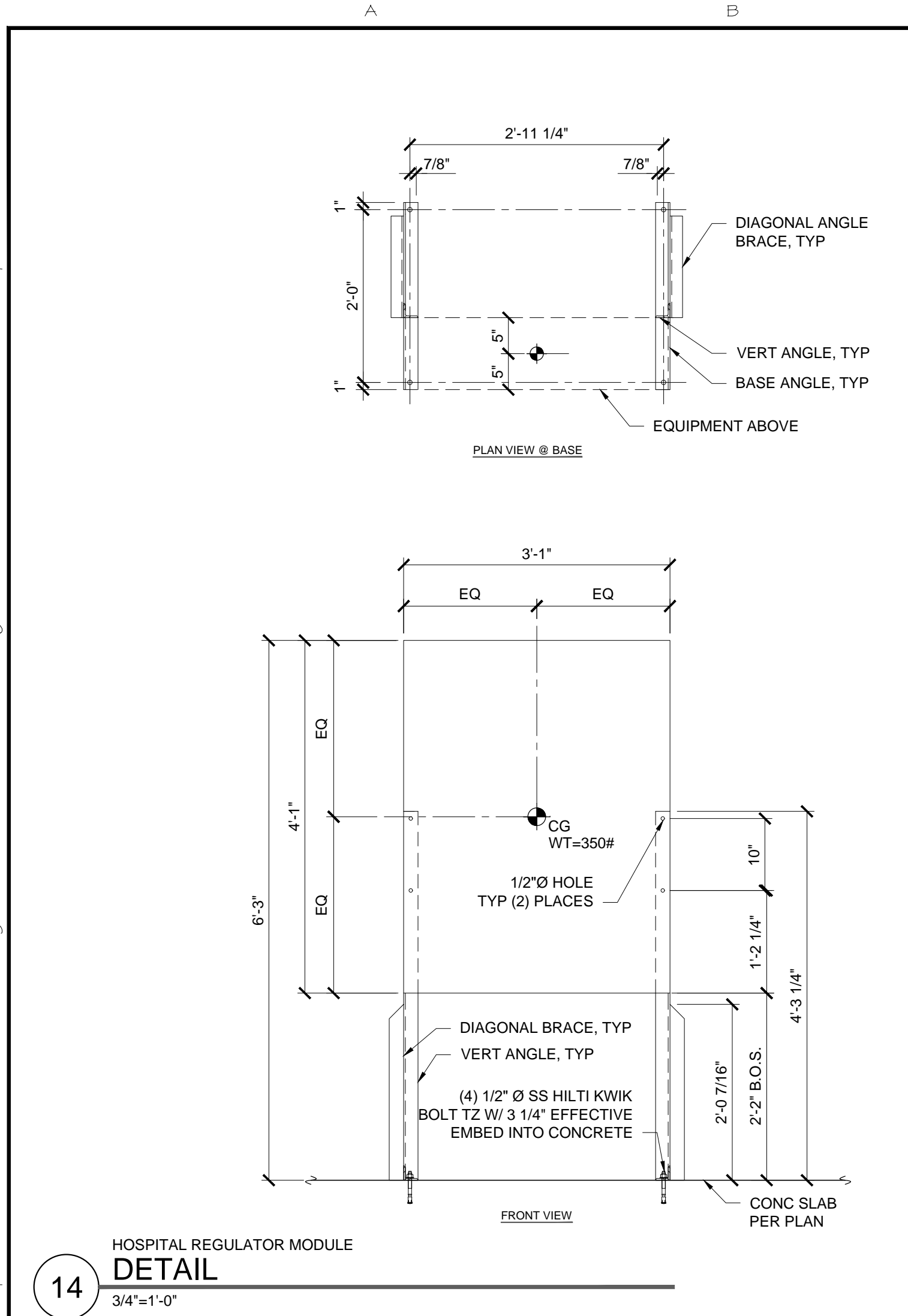



BCK #1

01/22/21


A-201

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ARCHITECTS, INC.
Architecture • Planning
Feasibility Studies
494 North Main Street
P.O. Box 370
Angels Camp, CA 95222
t: 209.736.0882 f: 209.736.9071
www.aspenstreetarchitects.com



MERIDIAN
STRUCTURAL ENGINEERS, INC.
916.365.4740 MSE J08# 20-027
1843 IRON POINT ROAD, SUITE 100
FOLSOM, CA 95630



REGISTERED PROFESSIONAL ENGINEER
MICHAEL BOULAS
No. 54721
10-12-2020
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SONOMA
SPECIALTY HOSPITAL

BULK LIQUID OXYGEN SYSTEM
501 PETALUMA AVE
SACRAMENTO, CA

AGENCY APPROVAL STAMP

AGENCY NO.

219052.10

ASAI PROJECT NO.

STRUCTURAL DETAILS

DRAWING TITLE

S-301

From: nmorgan <nmorgan@asai.us>
Sent: Wednesday, January 13, 2021 11:43 AM
To: Alan Montes
Cc: James Loera; tlee; Paul Schafer
Subject: RE: Signed plan review application for Sonoma Specialty Hospital
Attachments: A-201 - Elevations.pdf

Hi Alan – here are the elevations – sheet A-201 attached. Please note that the previous oxygen tank for the facility was at the SE corner at bottom of hill on access road around back. In 2015 they replaced the tank with large cylinders because the oxygen vendor trucks were not able to access that road. They could only provide the cylinders. They are having shortages with this capacity, especially in light of the COVID pandemic and added need for ventilators. The location selected for this project is the further “back” we could put this tank, and still have it accessed by the vendor’s supply trucks.

As far as the number of beds. This facility is licensed for 37 beds. The municipal code requires 1.25 parking stalls per bed for a hospital, or 46.25 (47 stalls). The provided parking after the project combined with hospital parcel is 165.

I just got off the phone with James at the hospital, he said they will be calling in payment right now.

Any questions, please call,
Nate

Nathan A. Morgan, AIA, LEED AP | President/CEO



494 North Main St/PO Box 370
Angels Camp, CA 95222
office: 209-736-0882 cell: 805-284-1771
www.aspenstreetarchitects.com

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From: Alan Montes <Amontes@cityofsebastopol.org>
Sent: Wednesday, January 13, 2021 7:41 AM
To: nmorgan <nmorgan@asai.us>
Cc: James Loera <jloera@sonomaspecialty.org>; tlee <tlee@asai.us>; Paul Schafer <pschafer@americanam.org>
Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Hi Everyone,

Thanks for getting this over to me. I had a chance to review the plans and given the overall height of the structure this will require the Design Review Board's review and approval. I apologize for the confusion, when we first spoke, without viewing plans, I was foreseeing a much smaller structure that could be entirely screened and in a less visible location.

Additionally, I will need the following:

1. Elevations showing the tanks + structures with the fence around it.
2. # of beds in the hospital
3. Fee = \$535 (I can take this in today over the phone, please confirm a time to call in via email)

Upon receiving the fee I can start routing the plans to the other departments for comments, as the items I need should not impact their review. I would hope that we can place this on the DRB Agenda for either 2/17 or 3/3, if we receive the payment/routing today.

Sincerely,

Alan Montes
Associate Planner

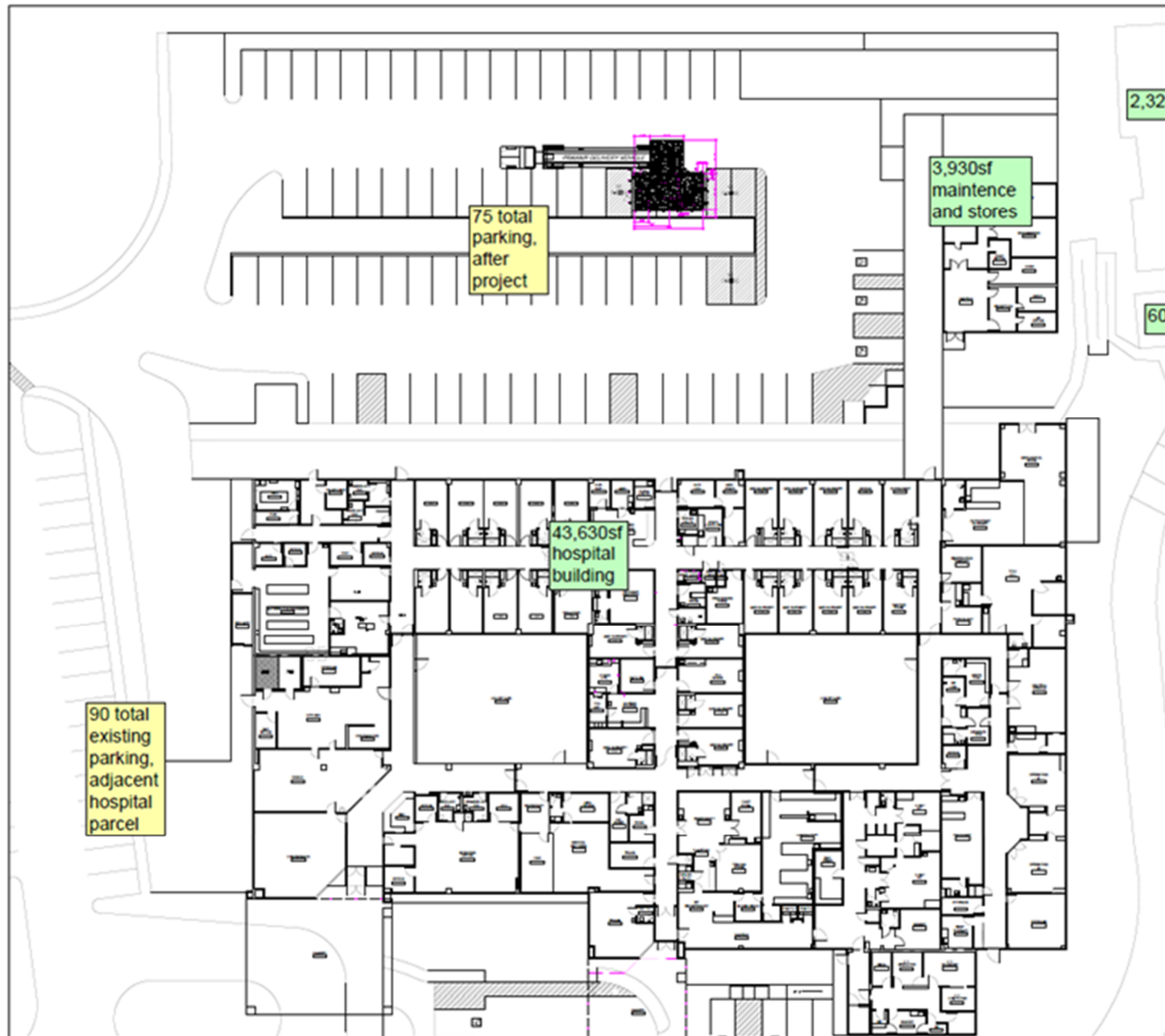
City of Sebastopol | Planning Department
7120 Bodega Avenue | Sebastopol, CA 95472
(707) 823-6167 phone
www.cityofsebastopol.org



City offices are currently closed to the public due to the active shelter in place orders.

From: nmorgan <nmorgan@asai.us>
Sent: Tuesday, January 12, 2021 8:16 AM
To: Alan Montes <Amontes@cityofsebastopol.org>
Cc: James Loera <jloera@sonomaspecialty.org>; tlee <tlee@asai.us>; Paul Schafer <pschafer@americanam.org>
Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Alan – here are the numbers:



From: Alan Montes <Amontes@cityofsebastopol.org>

Sent: Tuesday, January 12, 2021 7:44 AM

To: nmorgan <nmorgan@asai.us>

Cc: James Loera <jloera@sonomaspecialty.org>; tlee <tlee@asai.us>; Paul Schafer <pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Hi,

I'm sorry for the delay. I still need the square footage of the buildings on the sites. I need this information to verify whether the eliminated parking spaces are surplus or required parking, as this could modify the required entitlements.

Sincerely,

Alan Montes
Associate Planner

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City offices are currently closed to the public due to the active shelter in place orders.

From: nmorgan <nmorgan@asai.us>

Sent: Monday, January 11, 2021 1:03 PM

To: Alan Montes <Amontes@cityofsebastopol.org>

Cc: James Loera <jloera@sonomaspecialty.org>; tlee <tlee@asai.us>; Paul Schafer <pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Alan – hi Alan, just left voice mail with you. Hoping to see if you got everything needed for this review, and what your timeline was. We are trying to get the plan review resubmittal back in to OSHPD, but need the local jurisdiction approval to include. So trying to get an idea on timing.

Thanks,

Nate

Nathan A. Morgan, AIA, LEED AP | President/CEO



494 North Main St/PO Box 370

Angels Camp, CA 95222

office: 209-736-0882 cell: 805-284-1771

www.aspenstreetarchitects.com

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From: nmorgan

Sent: Wednesday, January 6, 2021 11:33 AM

To: Alan Montes <Amontes@cityofsebastopol.org>

Cc: James Loera <jloera@sonomaspecialty.org>; tlee <tlee@asai.us>; Paul Schafer <pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Alan – just left voice mail with you. I see James sent you the application.

Here are the plans (attached). I just attached the cover sheet, site plan and the tank elevations. The new oxygen equipment yard is going in the parking area. You mentioned “building square footage”, do you mean square footage of the pad? It is a 362 square foot pad with a chainlink fence around it with bollards and a gate. The largest tank is the main 3,000 gallon tank that is 19’ high.

As far as parking – this is going on the lot adjacent to the hospital lot. It is APN: 004-550-019 Below are the parking numbers on this lot, but I also note the hospital parcel numbers as well.

Parcel 004-550-019

Existing Parking: 83

Oxygen project reduction: 8

Final Total Parking: 75

Note: there is an additional 90 spaces on the hospital parcel – for a total of 165 parking stalls for the hospital upon completion of the Oxygen project.

Please let me know if any questions. I see you need the owner to sign the cover of the application as well.

Nate

Nathan A. Morgan, AIA, LEED AP | President/CEO



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From: Nathan Morgan <natemorgan@gmail.com>

Sent: Wednesday, January 06, 2021 11:15 AM

Example of Tanks

