City Council
Mayor Una Glass
Vice Mayor Sarah Gurney
Patrick Slayter
Neysa Hinton
Diana Rich



Planning Director
Kari Svanstrom
Associate Planner
Alan Montes
Senior Administrative Assistant
Rebecca Mansour

## City of Sebastopol Design Review Board Staff Report

Meeting Date: March 3, 2021

Agenda Item: 8A

To: Design Review Board

From: Alan Montes, Associate Planner

Subject: Design Review for Oxygen Storage Tanks

Recommendation: Conditional Approval

Applicant/Owner: James Loera/Gurpreet Singh

File Number: 2021-001

Address: 6789 Walker Ave.

<u>CEQA Status</u>: Categorical Exemption: Section 15303: Class 3

<u>General Plan</u>: Commercial Office (CO) <u>Zoning</u>: Commercial Office (CO)

#### Introduction:

This is a design review application for the installation of oxygen storage tanks and screening in the parking lot located 6789 Walker Ave. to serve Sebastopol Specialty Hospital.

#### **Project Description:**

The project proposes to install a new bulk oxygen system, composed of two white oxygens storage tanks (one primary and one secondary), an ambient vaporizer, and associated equipment within the existing hospital parking lot. The system is proposed to connect to the existing oxygen supply line. The project will install a seven-foot chain link fence with slats, in an earth tone color around the oxygen system.

The project will eliminate eight surplus parking spaces.

#### **Environmental Review**:

The project is categorically exempt from the requirements of CEQA pursuant to Section 15303, Class 3, which includes construction of accessory structures such as garages, mechanical equipment, and fences. The bulk oxygen system would be considered an accessory structure and will not create any new environmental impacts as it will be in an already developed area.

#### **General Plan Consistency:**

The General Plan Land Use Designation for the site is Commercial/Office. The General Plan states the following: "This designation provides areas for commercial and office uses with off-street parking and/or clusters of street-front stores. This designation allows primarily local-serving retail establishments, specialty shops, banks, professional offices, motels, professional, administrative, medical, dental, and business offices, bed and breakfast users, and business and personal services, along with ancillary commercial and service uses". The project is

proposing to install a bulk oxygen system in an existing hospital's parking lot to better serve the needs of the hospital. The bulk oxygens system is consistent with the intent of the Commercial/Office district in that it is an accessory structure to a medical facility.

#### **Zoning Ordinance Consistency:**

The site is located in the CO: Commercial Office District. The Zoning Ordinance states the following: "The CO District is intended to create, preserve, and enhance areas containing a mixture of professional, medical, administrative, and general offices, residential, and small-scale retail uses and to encourage mixed-use developments of commercial and residential uses. This district is typically appropriate along major thoroughfares and adjacent to residential neighborhoods." A hospital and the accessory structures, such as oxygen tanks would be consistent with the CO District.

#### Height

The project proposes that the primary oxygen tank be 19 feet tall, which exceeds the accessory structure height limit of 17 feet. However, Section 17.100.00 (B)(1) in the Zoning Ordinance allows gas storage holders, mechanical equipment, and screening for such features may be permitted up to five feet in excess of applicable height limits, provided the area of such elements does not exceed 15 percent of roof area, and is located in a nonresidential district. The proposed equipment will be located at grade in the existing parking lot and will be partially screened by a proposed 7-foot fence and existing landscaping. Additionally, the parking lot is uphill from the right of way and the equipment will have a minimal visual impact.

#### **Parking**

The site has a total of 173 parking spaces, whereas the code requires 46 parking spaces (1.25 parking spaces per bed, and the facility is licensed for 37 beds). The project as proposed would eliminate eight parking spaces leaving the facility with 165 spaces, which would still provide a surplus of 119 parking spaces.

#### **Public Comment:**

The Planning Department has not received any comments on the application from the public as of writing this report.

#### **City Departmental Comment:**

The following City departments reviewed the application: Building and Safety, Fire, Public Works, and City Manager. The only comment received was from the Fire Department stating, "HazMat Inspection and Fire Inspection will be required".

#### **Required Findings:**

Design Review: Section 17.450.030(B) of the Zoning Ordinance states the following: "In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

- 1) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
- 2) The design provides appropriate transitions and relationships to adjacent properties and the public right of way;
- 3) It would not impair the desirability of investment or occupation in the neighborhood;
- 4) The design is internally consistent and harmonious; and
- 5) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter."

#### Analysis:

The proposed bulk oxygen system is consistent with the hospital and its needs. The project would result in the elimination of eight surplus parking spaces; however, the hospital has a significant surplus of parking to absorb the lost spaces.

There is concern regarding the height of the structure and the screening material (chain link fence with slats). The storage tank does exceed the accessory structure height limit, but there is an exception to exceed the height limit by up to five feet for gas storage tanks. The project proposes a seven-foot chain link fence with slats around the equipment. The fencing will provide a partial screen along with the existing landscaping. Given that the equipment is located uphill from the right of way, staff anticipates minimal visual impacts from the street.

Staff is seeking the Board's input on whether a higher quality fence and/or a landscape island with root barriers should be added to the west of the equipment to better screen the equipment. The applicant has stated that oxygen yards typically utilize chain link fencing or CMU block walls for screening as they are non-combustible materials. Alternatively, if the Board is supportive of a chain link fence with slats, does the Board have a preferred color for the slats.

#### **Recommendation:**

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report and Exhibits A and B, which any modifications the Board feels are appropriate, and if there is a consensus that the design of the project appropriate.

Alternatively, the Board may find that revisions are necessary, and a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

#### **Exhibits:**

A. Recommended Findings of Approval B. Recommended Conditions of Approval

#### **Attachments:**

- Master Planning Application
- Submitted Plans

## Exhibit A DESIGN REVIEW: 2021-001 Sebastopol Specialty Hospital – Bulk Oxygen System 6789 Walker Ave.; APN: 004-550-019

#### **Recommended Findings of Approval:**

- 1. That the proposed use is categorically exempt from the requirements of CEQA, pursuant to Section 15303, Class 3, which includes construction of accessory structures such as garages, mechanical equipment, and fences. The bulk oxygen system would be considered an accessory structure and will not create any new environmental impacts as it will be in an already developed area.
- 2. That the design provides appropriate transitions and relationships to adjacent properties and the public right of way as the project will be: 1) setback towards the rear of the property with minimal visual impact from the right of way; 2) being placed behind existing trees; and 3) involves the installation of seven-foot-tall fence around the equipment to provide additional screening from grade.
- 3. That the project will not impair the desirability of investment or occupation in the neighborhood in that the project is placed in the back of the property with minimal visual impact and the project is providing a critical service to the Hospital.
- **4.** That the project design is in conformity with the guidelines and standards adopted in the Zoning Ordinance, in that the project is consistent with the height limit in that the code allows for a height exception of five feet for gas storage tanks, the equipment will be screened from the right of way given the natural incline of the property, the landscaping tree and the installation of a seven-foot-tall fence around the structure.

## Exhibit B DESIGN REVIEW: 2021-001 Sebastopol Specialty Hospital – Bulk Oxygen System 6789 Walker Ave.; APN: 004-550-019

#### **Recommended Conditions of Approval:**

- 1. Approval is granted for the bulk oxygen system (and associated equipment) and fencing described in the application materials initially date-stamped January 13, 2021 except as modified by the conditions of approval.
- **2.** A HazMat Inspection and Fire Inspection is required.
- 3. The approval is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this Design Review Permit from the Planning Director, pursuant to Zoning Ordinance §17.400.100.
- 4. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
- **5.** The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.



City of Sebastopol Planning Department 7120 Bodega Avenue Sebastopol, CA 95472 (707) 823-6167

#### MASTER PLANNING APPLICATION FORM

#### APPLICATION TYPE

Administrative Perm  Alcohol Use Permit/  Conditional Use Permit/  Conditional Use Permit/  Design Review  This application include  REVIEW/HEARING BO  Staff/Admin  APPLICATION FOR	ABC Transfer  init   init  init   i	Lot Line Adjustment/Merger Preapplication Conference Preliminary Review Sign Permit poplement form(s) for the type of  Board Planning Commiss			
Street Address: 8789 V	Valker Ave	Assessor's Parce	No(s): 004-550-01	9	
Present Use of Propert		THE RESIDENCE OF THE PROPERTY OF THE PARTY O	Plan Designation: 00 (0		
APPLICANT INFORMAT			and the same and t		
Property Owner Name	- 1-1		40-140	(ZU4) 485-	, <
Mailing Address:	4/20 PA	LE RO PHOSETE	A 9535		Ø 13
City/State/ZiP:	1) 1 m	MODESTON, C	1-11		
Signature;		Date: 1/	1502/6		
Authorized Agent/App	dicant Name:	James Los	Sec	/ 8 8	
Mailing Address:	1 Petalu	ma Ave Phone: 70	2.355.4		
City/State/ZiP.	What CI	4 95472 Email: 14	sere o sou	oma socialty	. 0
Signature:	_m.g_	Date:	. 2.51		
Contact Name (If diffe	rent from obove):	Phone/Email:			
PROJECT DESCRIPTION	N AND PERMITS RE	QUESTED (ATTACH ADOMONAL PA	GES IF NECESSARY)		
nospital main oxygo vaporizer, etc.	ystem within midden supply line. N	dle of existing hospital pa lew concrete pad and fer	rking lot, connect cing around oxyg	ed to the exitsing en tanks,	
nospital main oxygo vaporizer, etc.	ystem within midd en supply line. N	ew concrete pad and fer	rking lot, connect cing around oxyg	en tanks,	
nospital main oxygo vaporizer, etc.  City Use Only  Fill out upon receipt	ystem within mide en supply line. N	ew concrete pad and fer	rking lot, connect cing around oxyg	Action Date:	
nospital main oxygo vaporizer, etc.	1/13/2021 2021-001	ew concrete pad and fer	rking lot, connect cing around oxyg	en tanks,	
rospital main oxygo raporizer, etc.  City Use Only  Fill out upon receipt: Application Date:	1/13/2021	ew concrete pad and fer  Action: Staff/Admin:	rking lot, connect cing around oxyg	Action Date:	

#### SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

SITE DATA TABLE	REQUIRED / ZONING STANDARD	Existing	PROPOSED	
Zoning	N/A	СО	same	
Use	N/A	parking/hospital support	same	
Lot Size		59,996 sf	same	
Square Feet of Building/Structures (if multiple structures include all separately)		existing hospital support buildings	362 sf concrete pad with fencing	
Floor Area Ratio (F.A.R)	FAR	FAR	FAR	
Lot Coverage	% of lot		<del>                                     </del>	
Parking			-,	
Building Height			n/a	
Number of Stories			n/a	
Building Setbacks - Primary	J		1	
Front		1	T	
Secondary Front Yard (corner lots)				
Side - Interior				
Rear				
Building Setbacks – Accessory	1		· L	
Front		1		
Secondary Front Yard (corner lots)				
Side – Interior			<del> </del>	
Rear			<del> </del>	
Special Setbacks (if applicable)		1		
Other ()				
Number of Residential Units	Dwelling Unit(s)	Dwelling Unit(s)	Dwelling Unit(s)	
Residential Density	1 unit per sq. ft.	1 unit per sq. ft.	1 unit per sq. ft.	
Useable Open Space	sq. ft.	sq. ft.	sq. ft.	
Grading	Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees.	N/A	Total: cu. yds Cut: cu. yds. Fill: cu. yds. Off-Haul: cu. yds	
Impervious Surface Area	N/A	% of lot		
Danieus Cunfers 8		sq. ft.	sq. ft. % of lot	
Pervious Surface Area	N/A	sq. ft.	sq. ft.	

#### CONDITIONS OF APPLICATION

- All Materials submitted in conjunction with this form shall be considered a part of this application.
- This application will not be considered filed and processing may not be initiated until the Planning Department determines
  that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant
  of all application deficiencies no later than 30 days following application submittal.
- The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning
  Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the
  owner's behalf.
- 4. The Owner shall inform the Planning Department in writing of any changes.
- 5. INDEMNIFICATION AGREEMENT: As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.
  - If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.
  - NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.
- 6. REPRODUCTION AND CIRCULATION OF PLANS: 1 hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. 1 understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
- NOTICE OF MAILING: Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
- 8. <u>DEPOSIT ACCOUNT INFORMATION</u>: Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
- NOTICE OF ORDINANCE/PLAN MODIFICATIONS: Pursuant to Government Code Section 65945(a), please indicate, by
  checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the
  following plans or ordinances if the City determines that the proposal is reasonably related to your request for a
  development permit:

developmen	it permit:	any related to your request to a
	A general plan	A specific plan
	An ordinance affecting building permits or grading permits	A zoning ordinance
Certification		
above and certify knowledge and it Review Board on Property Owner I, the undersigne the information,	ed applicant, have read this application for a development permit an drawings and specifications herewith submitted are true and correc- nder penalty of perjury	ned are true and correct to the best of my imbers of the Planning Commission, Design cessing of the project application.    5   20 2

NOTE: it is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

SPECIALTY HOSPITAL CONTRACTOR INSTALLED

# BULK LIQUID OXYGEN SYSTEM INSTALLATION



Architecture • Planning 494 North Main Street P.O. Box 370

Angels Camp, CA 95222 t: 209.736.0882 f: 209.736.9071 www.aspenstreetarchitects.com

## 501 PETALUMA AVE

## SEBASTOPOL, CA 95472

THESE DRAWINGS ARE THE PROPERTY OF "ASPEN STREET ARCHITECTS", THEY SHALL NOT BE USED ON ANY JOB OTHER THAN THAT FOR WHICH THEY WERE INTENDED WITHOUT THE EXPRESS WRITTEN AGREEMENT OF ASPEN STREET ARCHITECTS.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE QUALITY OF WORK AND MATERIALS, METHODS OF CONSTRUCTION, OR TIMELINESS IN PERFORMANCE OF WORK AT THE JOB SITE.

THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED DUE TO NEGLIGENCE OF THE CONTRACTOR.

PRIOR TO PROVIDING A BID AND BEGINNING ANY WORK, THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE FEATURES OF THE SITE, EXISTING CONDITIONS, AND THESE DRAWINGS.

THE OWNER AND CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DOCUMENTS. ANY ERROR, OMISSIONS, OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE AND PRIOR TO COMMENCING CONSTRUCTION WITHIN THE AFFECTED AREA. MODIFICATIONS TO THE CONTRACT, IF NECESSARY, SHALL BE MADE IN ACCORDANCE WITH THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED BY THE CONTRACTOR ON THE JOB SITE. ALL DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, CONCRETE, OR MASONRY U.O.N.. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR

ALL MATERIALS AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL READ AND FOLLOW ALL REFERENCED ICC-ES REPORTS FOR INSTALLATION OF ITEMS AS INDICATED. ALTERNATE METHODS OF CONSTRUCTION MAY BE SUBMITTED FOR APPROVAL TO THE ARCHITECT WITH APPLICABLE ICC-ES

ALL WORK SHALL BE FIRST QUALITY, PERFORMED BY SKILLED WORKMEN KNOWLEDGEABLE AND COMPETENT IN THEIR TRADE, AND IN KEEPING WITH ACCEPTED BUILDING PRACTICES.

ALL WORK AND MATERIALS SHALL COMPLY WITH THE FOLLOWING CODES, ALL REFERENCED STANDARDS AND ALL LOCAL ORDINANCES AS THEY APPLY TO THIS

### APPLICABLE CODES:

2019 CALIFORNIA ADMINISTRATIVE CODE (CAC) PART I, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR) 2019 CALIFORNIA BUILDING CODE (CBC)

PART 2, TITLE 24, CCR BASED ON THE 2018 UNIFORM BUILDING CODE (IBC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24, CCR BASED ON THE 2018 NATIONAL ELECTRICAL CODE (NEC)

2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4. TITLE 24, CCR BASED ON THE 2018 UNIFORM MECHANICAL CODE (UMC)

2019 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24, CCR BASED ON THE 2018 UNIFORM PLUMBING CODE (UPC)

2019 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24, CCR BASED ON THE 2018 INTERNATIONAL FIRE CODE (IFC) 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 CCR

CONFLICTS BETWEEN WORK DESCRIBED IN THESE DOCUMENTS AND THE ABOVE REFERENCED MATERIALS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE AND SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH ALL CODE PROVISIONS. COMPLIANCE WITH MINIMUM CODE REQUIREMENTS LIKEWISE DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE WORK IN CONFORMANCE WITH THE INTENT OF THESE DRAWINGS.

BROUGHT TO THE ARCHITECT'S ATTENTION AS SOON AS POSSIBLE. THE CONTRACTOR SHALL PROCEED WITH WORK IN THE AFFECTED AREA ONLY AFTER OBTAINING PROPERLY APPROVED INFORMATION FROM THE ARCHITECT. IF NECESSARY, MODIFICATIONS TO THE CONTRACT SHALL BE MADE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT

THE CONTRACTOR SHALL VERIFY TO HIS OWN SATISFACTION THE DIMENSIONS AND VARIOUS SERVICE REQUIREMENTS OF ALL APPLIANCES, FIXTURES, EQUIPMENT, AND SPECIALTY ITEMS TO BE INSTALLED AND SHALL NOT RELY UPON THE SCHEDULES

\* IF CONFLICT IS FOUND BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS OR EQUIPMENT, NO CHANGE SHALL BE MADE TO THESE PLANS UNLESS APPROVED BY THE ARCHITECT AND THE COUNTY OF TUOLUMNE.

THE CONTRACTOR SHALL APPLY ALL DETAILS IDENTIFIED AS TYPICAL TO EVERY LIKE OR SIMILAR CONDITION REGARDLESS OF WHETHER OR NOT THE REFERENCE IS REPEATED, CONDITIONS NOT DETAILED SHALL BE CONSTRUCTED IN A MANNER COMPATIBLE WITH AND SIMILAR TO OTHER DETAILS SHOWN. THE CONTRACTOR SHALL OBTAIN OWNER AND ARCHITECT APPROVAL FOR ANY FINISH DETAILS NOT CLEARLY DEFINED BY THESE DRAWINGS PRIOR TO THE COMMENCEMENT OF

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION AND DISTRIBUTION OF ALL WORK, INCLUDING ALL WORK TO BE PERFORMED BY SUBCONTRACTORS. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO LIMIT THE WORK OF ANY SUBCONTRACTOR TO THAT WORK DELINEATED ON ANY INDIVIDUAL

THE OWNER WILL PROVIDE AND PAY FOR THE FOLLOWING: WATER FROM EXISTING SOURCES ON SITE AND TEMPORARY ELECTRICAL POWER FROM EXISTING OUTLETS. TEMPORARY SANITARY FACILITIES ON SITE MUST BE PROVIDED BY THE CONTRACTOR

15. THE CONTRACTOR WILL PROVIDE AND PAY FOR THE FOLLOWING: A CELLULAR PHONE, PAGER, AND FACSIMILE MACHINE USING TELEPHONE SERVICE PROVIDED BY CONTRACTOR; A TEMPORARY FIELD OFFICE; TEMPORARY FENCING ENCLOSURES,

AGAINST PERSONAL INJURY AND PROPERTY DAMAGE. STORAGE OF CONSTRUCTION MATERIAL AND EFFECT OF WORK ON EXISTING OCCUPIED AREAS SHALL BE AS DIRECTED BY THE OWNER.

WEATHER-PROOF COVERS, LIGHTS AND BARRICADES NECESSARY TO GUARD

17. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO RECONSTRUCT IHE HOSPITAL BUILDING IN ACCORDANCE WITH THE 2019 CBSC. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED CONSTRUCTION DOCUMENTS, WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH THE 2019 CBSC, AMENDED CONSTRUCTION DOCUMENTS (ACDs) DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY OSHPD BEFORE PROCEEDING WITH THE WORK.

18. THE CONTRACTOR IS RESPONSIBLE TO INSTALL DUST CONTROL DEVICE TO PREVENT DUST TRAVELING FROM THE CONSTRUCTION AREA TO OTHER AREAS. SUCH DUST CONTROL SHALL BE OF NON-COMBUSTABLE MATERIAL

### **FACILITY INFORMATION:**

AMERICAN ADVANCED MANAGEMENT, INC. PAUL SCHAFER 700 ITTH STREET, MODESTO, CA 95354

PHONE: (209) 248.7700 EMAIL: AP@SONOMASPECIALTY.ORG

### **DESIGN TEAM:**

**ARCHITECT:** 

ASPEN STREET ARCHITECTS, INC. NATHAN MORGAN, LIC# C31423 494 N. MAIN ST., P.O. BOX 370 ANGELS CAMP, CA 95222 PHONE: (209) 736.0882 FAX: (209) 736.9071 EMAIL: NMORGAN@ASAI.US

STRUCTURAL ENGINEER: MERIDIAN STRUCTURAL ENGINEERS, INC. PEZZONI ENGINEERING, INC. MICHAEL D. BAKER, LIC# S4721 1843 IRON POINT RD., SUITE 100 FOLSOM, CA 95630

PHONE: (916) 365.4740 EMAIL: MIKEB@MERIDIANSE.COM

#### KEVIN L. PEZZONI, LIC# EI6269 1150 9TH STREET, SUITE 1415 MODESTO, CA 95354 PHONE: (209) 554.4602

**ELECTRICAL ENGINEER:** 

MECHANICAL ENGINEER:

MODESTO, CA 95351

EMAIL:

PHONE: (209) 572.7399

FAX: (209) 236.1579

NEXUS ENGINEERING, INC.

ALLEN LAYMAN, LIC# M30029

1400 LONE PALM AVE., SUITE A

ALAYMAN@NEXUSENGINEERING.NE

EMAIL: KPEZZONI@PEZENGR.COM

## PROJECT DIRECTORY

### PROJECT SCOPE:

THE PROJECT SCOPE INCLUDES THE INSTALLATION OF NEW BULK OXYGEN SYSTEM AS SPECIFIED AND SHOWN ON THESE CONSTRUCTION DOCUMENTS, CONNECT TO THE EXISTING HOSPITAL MAIN OXYGEN SUPPLY LINE AND CAP OFF THE EXISTING OXYGEN SUPPLY LINE FROM THE EXISTING MEDICAL GAS YARD. THE REQUIRED WORK INCLUDES NEW CONCRETE PADS/FENCING/TRENCHING AND INSTALLATION OF SPECIFIED EQUIPMENT/PIPING.

### **EXISTING HOSPITAL**

BUILDING CONSTRUCTION: TYPE IIA, FIRE RESISTIVE

OCCUPANCY GROUP:

FIRE SPRINKLER: FULLY SPRINKLERED OSHPD BLDG#:

BLD-01523, HOSPITAL BUILDING

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## **BUILDING DATA**

**ARCHITECTURAL** 

OVERALL FACILITY / ENLARGED SITE PLANS, NOTES \$

### STRUCTURAL

STRUCTURAL NOTES STRUCTURAL NOTES TYPICAL DETAILS FOUNDATION PLAN S-301 DETAILS

## **PLUMBING**

PLUMBING LEGEND & NOTES MEDICAL GAS PLAN P-2 PLUMBING 02 SYSTEM DIAGRAM

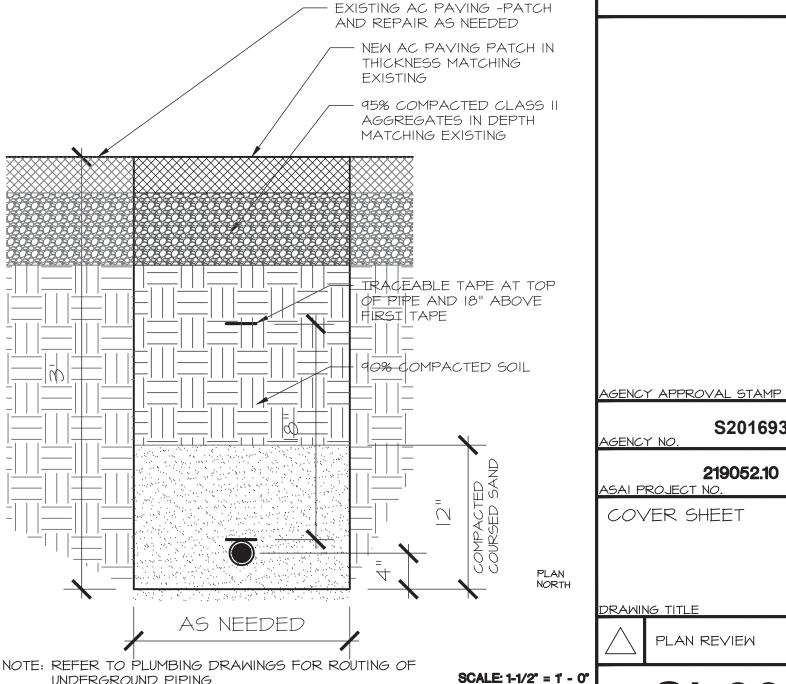
### **ELECTRICAL**

GENERAL ELECTRICAL NOTES & ABBREVIATIONS OVERALL SITE PLAN - ELECTRICAL

ELECTRICAL DETAILS ELECTRICAL SPECIFICATIONS ELECTRICAL SPECIFICATIONS

## DRAWING INDEX

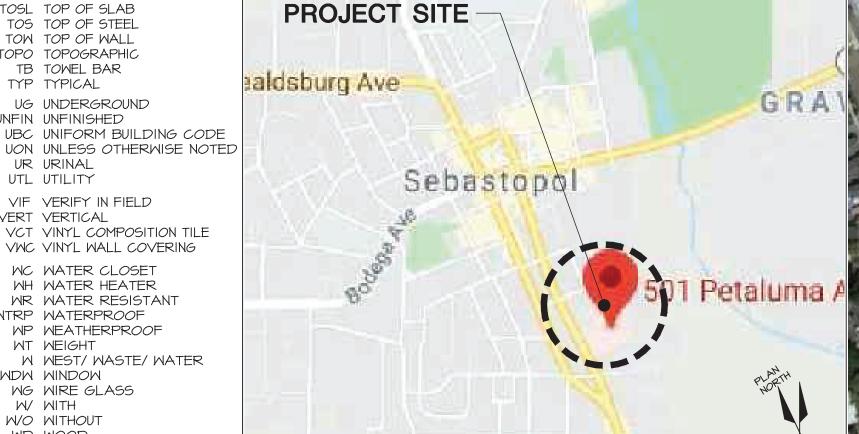
TRENCH DETAIL



## PROJECT NOTES

**VICINITY MAP** 

2019 CALIFORNIA GREEN BUILDING STANDARDS.



PROJECT LOCATION

PROJECT SCOPE **4** = = + = *P* 

COVER SHEET

PLAN REVIEW

**GI-001** 

8/31/2020 Z:\219052 AAMG\219052.10 - SONOMA SPECIALTY HOSPITAL - BULK OXYGEN YARD\03. DRAWINGS\500 CONSTRUCTION DOCUMENTS\219052.10 PROJECT DRAWINGS.DWG

INCAND INCANDESCENT IN INCH INCL INCLUDE INSUL INSULATION INT INTERIOR

L ANGLE

# POUND

4 CENTERLINE

AFF ABOVE FINISH FLOOR

A/C AIR CONDITIONING ALT ALTERNATE

Φ DIAMETER

ACC ACCESSIBLE

ADDL ADDITIONAL

ADJ ADJACENT

ALUM ALUMINUM

APPROX APPROXIMATE

BTW BETWEEN

BLKG BLOCKING

BD BOARD

BOT BOTTOM

BLDG BUILDING

CLG CEILING

CEM CEMENT

CTR CENTER

CLR CLEAR

CONC CONCRETE

CER CERAMIC

CO CLEAN OUT

COMP COMPOSITION

CONST CONSTRUCTION

CONT CONTINUOUS

CONTR CONTRACTOR

COORD COORDINATE

DEMO DEMOLITION

DEPT DEPARTMENT

DET DETAIL

DIAG DIAGONAL

DIM DIMENSION

DISP DISPENSER

DBL DOUBLE

DWR DRAWER

DWG(S) DRAWING(S)

DF-L DOUGLAS FIR

DS DOWNSPOUT

EF EACH FACE

ES EACH SIDE

EM EACH WAY

ELEC ELECTRICAL

EL ELEVATION

ELEV ELEVATOR

ENGR ENGINEER

EQUIP EQUIPMENT

ETC ETCETERA

(E) EXISTING

EXP EXPANSION

EXT EXTERIOR

EL EXPANSION JOINT

FOB FACE OF BLOCK

FOF FACE OF FINISH

FOS FACE OF STUD

FF FINISH FLOOR

FPRF FIREPROOFING

FR FIRE RATING

FD FLOOR DRAIN

FT FOOT OR FEET

FS FLOOR SINK

FE FIRE EXTINGUISHER

FS FAR SIDE

PANEL

FIN FINISH

FLR FLOOR

FTG FOOTING

FUT FUTURE

GA GAUGE

GL GLASS

GR GRADE

GND GROUND

HD HEAD

HDR HEADER

HT HEIGHT

HORIZ HORIZONTAL

HC HOLLOW CORE

HM HOLLOW METAL

HS HIGH SCHOOL

GYP GYPSUM

HDWD HARDWOOD

FDN FOUNDATION

GALV GALVANIZED

GB GRAB BAR

GI GALVANIZED IRON

HVAC HEATING/ VENTILATING/

AIR CONDITIONING

GLB GLUED LAMINATED BEAM

FOC FACE OF CONCRETE

FOM FACE OF MASONRY

FRP FIBERGLASS REINFORCED

FEC FIRE EXTINGUISHER CABINET

FHMS FLAT HEAD MACHINE SCREW

FHWS FLAT HEAD WOOD SCREW

EQ EQUAL

E EAST

CJ CONTROL JOINT

CG CORNER GUARD

DSA DIV. OF STATE ARCH

DF DRINKING FOUNTAIN

EP EDGE OF PAVEMENT

AB ANCHOR BOLT

ARCH ARCHITECT(URAL)

BUR BUILD UP ROOFING

CBC CALIFORNIA BUILDING CODE

CMU CONCRETE MASONRY UNIT

AC ASPHALTIC CONCRETE

@ AT

MIN MINIMUM

MR MIRROR

(N) NEW

NOM NOMINAL

N NORTH

NO NUMBER

O.C. ON CENTER

OPNG OPENING

OPP OPPOSITE

ORIG ORIGINAL

O/ OVER

PR PAIR

PART PARTIAL

PRTN PARTITION

PLAS PLASTER

PL PLATE

PLBG PLUMBING

PLYMD PLYMOOD

PERF PERFORATED

PA PLANTED AREA

POC POINT OF CONNECTION

PVC POLYVINYL CHLORIDE

PT PRESSURE TREATED

PSF POUNDS PER SQUARE FOOT

PSI POUNDS PER SQUARE INCH

PLASLAM PLASTIC LAMINATE

PREFAB PREFABRICATED

PREFIN PREFINISHED

R RADIUS

RDWD REDWOOD

REQ'D REQUIRED

RTN RETURN

RM ROOM

SECT SECTION

SPTD/WR SERIES PAPER

SHTG SHEATHING

SIM SIMILAR

S SOUTH

SQ SQUARE

STD STANDARD

STL STEEL

STOR STORAGE

ST STREET

STR STRUCTURAL

SUSP SUSPENDED

TEL TELEPHONE

THK THICK(NESS)

TPH TOILET PAPER HOLDER

TO TOP OF CONCRETE/ CURB

T&G TONGUE AND GROVE

T&B TOP AND BOTTOM

TOD TOP OF DECK

TOJ TOP OF JOIST

TOSL TOP OF SLAB

TOS TOP OF STEEL

TOW TOP OF WALL

TOPO TOPOGRAPHIC

TB TOWEL BAR

UG UNDERGROUND UNFIN UNFINISHED

VIF VERIFY IN FIELD

TYP TYPICAL

UR URINAL

UTL UTILITY

VERT VERTICAL

TOF TOP OF FOOTING

TOP TOP OF PARAPET

TOS TOP OF SHEATHING

TEMP TEMPERED

THRES THRESHOLD

SYM SYMMETRICAL

SM SHEET METAL

SOG SLAB ON GRADE

SC SOLID CORE

SPEC(S) SPECIFICATION(S)

SY SQUARE YARD

SS STAINLESS STEEL

SD SOAP DISPENSER

SF SQUARE FOOT/ FEET

OR SANITARY SEWER

S.S.D. SEE STRUCTURAL DRAWINGS

SHI SHEET

REV REVISION

ROW RIGHT OF WAY

RD ROOF DRAIN

RO ROUGH OPENING

RET RETAINING

REC RECESSED

PROJ PROJECTION

PL PROPERTY LINE

REF REFERENCE/ REFER

REINF REINFORCED (ING) (MENT)

RHWS ROUND HEAD WOOD SCREW

SND SANITARY NAPKIN DISPENSER

SNR SANITARY NAPKIN RECEPTOR

TOWEL DISPENSER/

WASTE RECEPTACLE

TOILET TISSUE DISPENSER

SSMH SANITARY SEWER MANHOLE

SCD SEAT COVER DISPENSER

STSC/TTD SERIES TOILET SEAT COVER/

SMS SHEET METAL SCREW

RTSB RUBBER TOP SET BASE

RFG REFRIGERATOR

QT QUARRY TILE

O/O OVER AND OUT OF/CI OWNER FURNISHED.

OF/OI OWNER FURNISHED,

OWNER INSTALLED

PTD PAPER TOWEL DISPENSER

PTR PAPER TOWEL RECEPTACLE

MISC MISCELLANEOUS

NIC NOT IN CONTRACT

OD OUTSIDE DIMENSION/

DIAMETER

NTS NOT TO SCALE

NS NEAR SIDE

ICBO INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS

JAN JANITOR TMIOL TL JST JOIST LAB LABORATORY LAM LAMINATED

LAV LAVATORY MB MACHINE BOLT MH MANHOLE

MFTR MANUFACTURER

MATL MATERIAL MAX MAXIMUM MECH MECHANICAL

**ABBREVIATIONS** 

WR WATER RESISTANT WTRP WATERPROOF WP WEATHERPROOF MT WEIGHT M WEST/ WASTE/ WATER

MDM MINDOM MG WIRE GLASS M/ MITH W/O WITHOUT

MD WOOD

YD YARD DRAIN

VCT VINYL COMPOSITION TILE VMC VINYL WALL COVERING MC WATER CLOSET WH WATER HEATER

MS MOOD SCREW

Vane's

**VICINITY MAP** 

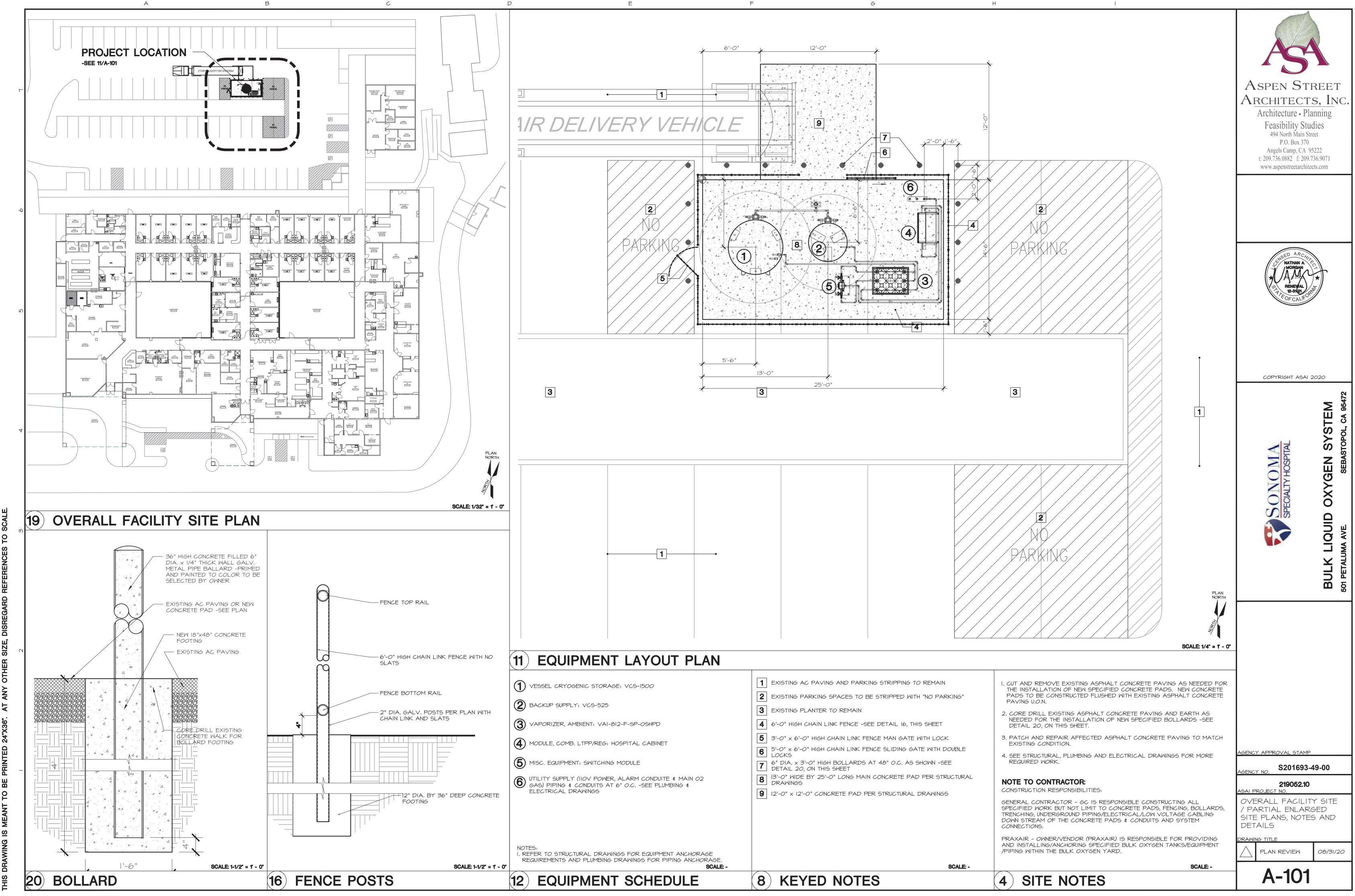
PROJECT LOCATION

El.*O* E2.*O* 

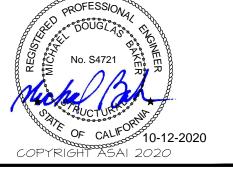
08/31/20

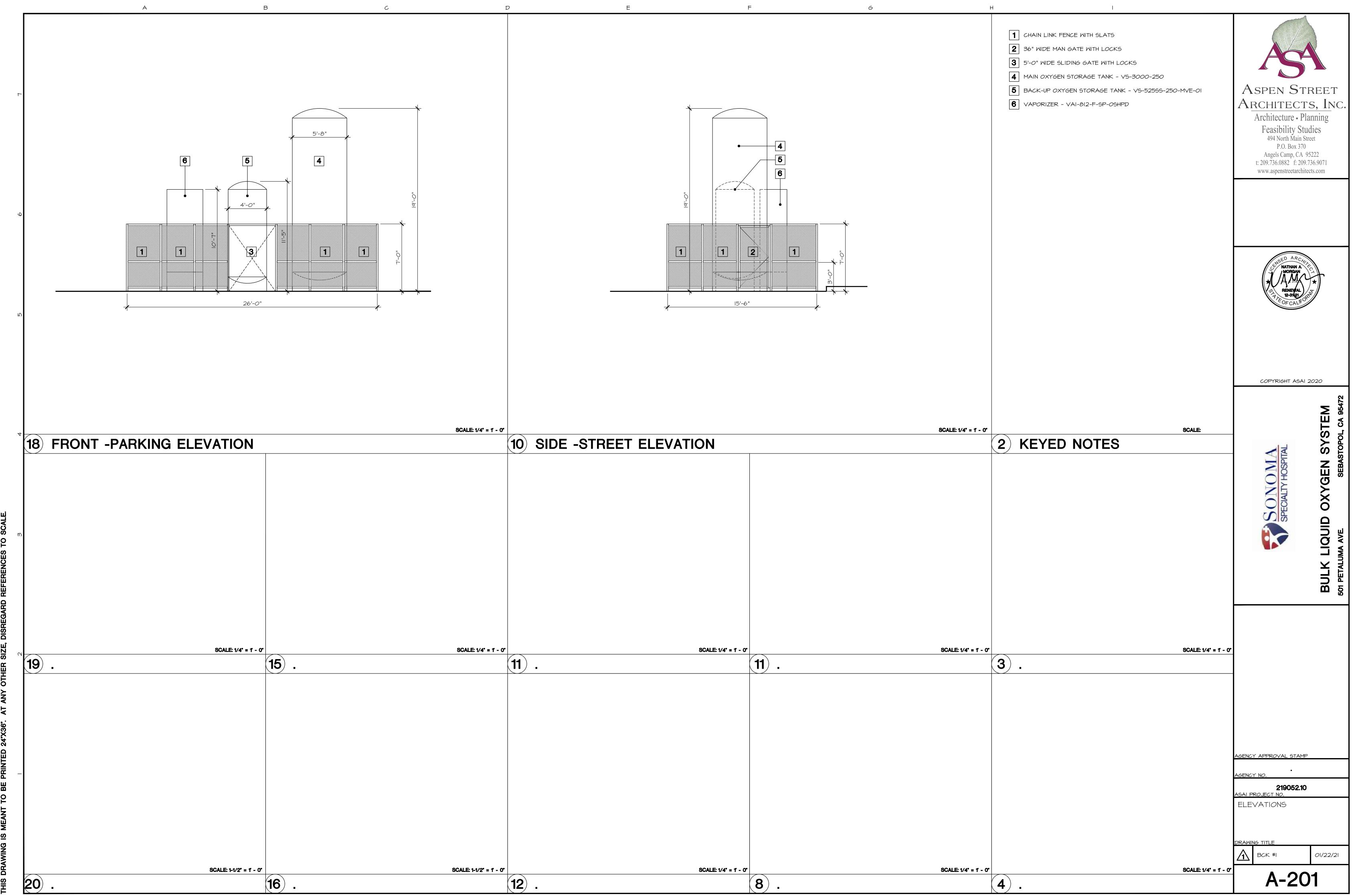
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219052.10



8/31/2020 Z:\219052 AAMG\219052.10 - SONOMA SPECIALTY HOSPITAL - BULK OXYGEN YARD\03. DRAWINGS\500 CONSTRUCTION DOCUMENTS\219052.10 PROJECT DRAWINGS.DWG





10/12/2020 C:\USERS\MSEI4\LNI CLOUD SHARE\PRODUCTION\MSEI PROJECTS\2020\20-027 AAMG SONOMA SPECIALTY HOSP BULK OXYGEN YARD\CAD\STRUCT\20-027 S30I DETAILS.DWG

**From:** nmorgan <nmorgan@asai.us>

Sent: Wednesday, January 13, 2021 11:43 AM

To: Alan Montes

**Cc:** James Loera; tlee; Paul Schafer

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

**Attachments:** A-201 - Elevations.pdf

Hi Alan – here are the elevations – sheet A-201 attached. Please note that the previous oxygen tank for the facility was at the SE corner at bottom of hill on access road around back. In 2015 they replaced the tank with large cylinders because the oxygen vendor trucks were not able to access that road. They could only provide the cylinders. They are having shortages with this capacity, especially in light of the COVID pandemic and added need for ventilators. The location selected for this project is the further "back" we could put this tank, and still have it accessed by the vendor's supply trucks.

As far as the number of beds. This facility is licensed for 37 beds. The municipal code requires 1.25 parking stalls per bed for a hospital, or 46.25 (47 stalls). The provided parking after the project combined with hospital parcel is 165.

I just got off the phone with James at the hospital, he said they will be calling in payment right now.

Any questions, please call, Nate

Nathan A. Morgan, AIA, LEED AP | President/CEO



494 North Main St/PO Box 370 Angels Camp, CA 95222

office: 209-736-0882 cell: 805-284-1771 www.aspenstreetarchitects.com

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From: Alan Montes <a href="mailto:Amontes@cityofsebastopol.org">Amontes@cityofsebastopol.org</a>

Sent: Wednesday, January 13, 2021 7:41 AM

To: nmorgan@asai.us>

**Cc:** James Loera <<u>iloera@sonomaspecialty.org</u>>; tlee <<u>tlee@asai.us</u>>; Paul Schafer

<pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Hi Everyone,

Thanks for getting this over to me. I had a chance to review the plans and given the overall height of the structure this will require the Design Review Board's review and approval. I apologize for the confusion, when we first spoke, without viewing plans, I was foreseeing a much smaller structure that could be entirely screened and in a less visible location.

Additionally, I will need the following:

- 1. Elevations showing the tanks + structures with the fence around it.
- 2. # of beds in the hospital
- 3. Fee = \$535 (I can take this in today over the phone, please confirm a time to call in via email)

Upon receiving the fee I can start routing the plans to the other departments for comments, as the items I need should not impact their review. I would hope that we can place this on the DRB Agenda for either 2/17 or 3/3, if we receive the payment/routing today.

Sincerely,

Alan Montes
Associate Planner

City of Sebastopol | Planning Department 7120 Bodega Avenue | Sebastopol, CA 95472 (707) 823-6167 phone www.cityofsebastopol.org



City offices are currently closed to the public due to the active shelter in place orders.

From: nmorgan < nmorgan@asai.us > Sent: Tuesday, January 12, 2021 8:16 AM

To: Alan Montes < Amontes@cityofsebastopol.org >

**Cc:** James Loera <<u>iloera@sonomaspecialty.org</u>>; tlee <<u>tlee@asai.us</u>>; Paul Schafer

<pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Alan – here are the numbers:



From: Alan Montes < Amontes@cityofsebastopol.org >

Sent: Tuesday, January 12, 2021 7:44 AM

To: nmorgan < nmorgan@asai.us >

**Cc:** James Loera <<u>iloera@sonomaspecialty.org</u>>; tlee <<u>tlee@asai.us</u>>; Paul Schafer

<pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Hi,

I'm sorry for the delay. I still need the square footage of the buildings on the sites. I need this information to verify whether the eliminated parking spaces are surplus or required parking, as this could modify the required entitlments.

Sincerely,

Alan Montes Associate Planner

City of Sebastopol | Planning Department 7120 Bodega Avenue | Sebastopol, CA 95472 (707) 823-6167 phone www.cityofsebastopol.org



City offices are currently closed to the public due to the active shelter in place orders.

From: nmorgan < nmorgan@asai.us > Sent: Monday, January 11, 2021 1:03 PM

To: Alan Montes < Amontes@cityofsebastopol.org >

Cc: James Loera <jloera@sonomaspecialty.org>; tlee <tlee@asai.us>; Paul Schafer

<pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Alan – hi Alan, just left voice mail with you. Hoping to see if you got everything needed for this review, and what your timeline was. We are trying to get the plan review resubmittal back in to OSHPD, but need the local jurisdiction approval to include. So trying to get an idea on timing.

Thanks,
Nate
Nathan A. Morgan, AIA, LEED AP | President/CEO



494 North Main St/PO Box 370 Angels Camp, CA 95222

office: 209-736-0882 cell: 805-284-1771 www.aspenstreetarchitects.com

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From: nmorgan

**Sent:** Wednesday, January 6, 2021 11:33 AM **To:** Alan Montes < <u>Amontes@cityofsebastopol.org</u> >

**Cc:** James Loera <<u>iloera@sonomaspecialty.org</u>>; tlee <<u>tlee@asai.us</u>>; Paul Schafer

<pschafer@americanam.org>

Subject: RE: Signed plan review application for Sonoma Specialty Hospital

Alan – just left voice mail with you. I see James sent you the application.

Here are the plans (attached). I just attached the cover sheet, site plan and the tank elevations. The new oxygen equipment yard is going in the parking area. You mentioned "building square footage", do you mean square footage of the pad? It is a 362 square foot pad with a chainlink fence around it with bollards and a gate. The largest tank is the main 3,000 gallon tank that is 19' high.

As far as parking – this is going on the lot adjacent to the hospital lot. It is APN: 004-550-019 Below are the parking numbers on this lot, but I also note the hospital parcel numbers as well.

Parcel 004-550-019 Existing Parking: 83

Oxygen project reduction: 8 Final Total Parking: 75

Note: there is an additional 90 spaces on the hospital parcel – for a total of 165 parking stalls for the hospital upon completion of the Oxygen project.

Please let me know if any questions. I see you need the owner to sign the cover of the application as well.

#### Nate

Nathan A. Morgan, AIA, LEED AP | President/CEO



494 North Main St/PO Box 370 Angels Camp, CA 95222

office: 209-736-0882 cell: 805-284-1771 www.aspenstreetarchitects.com

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From: Nathan Morgan < <a href="mailto:natemorgan@gmail.com">natemorgan@gmail.com</a>>
Sent: Wednesday, January 06, 2021 11:15 AM

#### Example of Tanks

