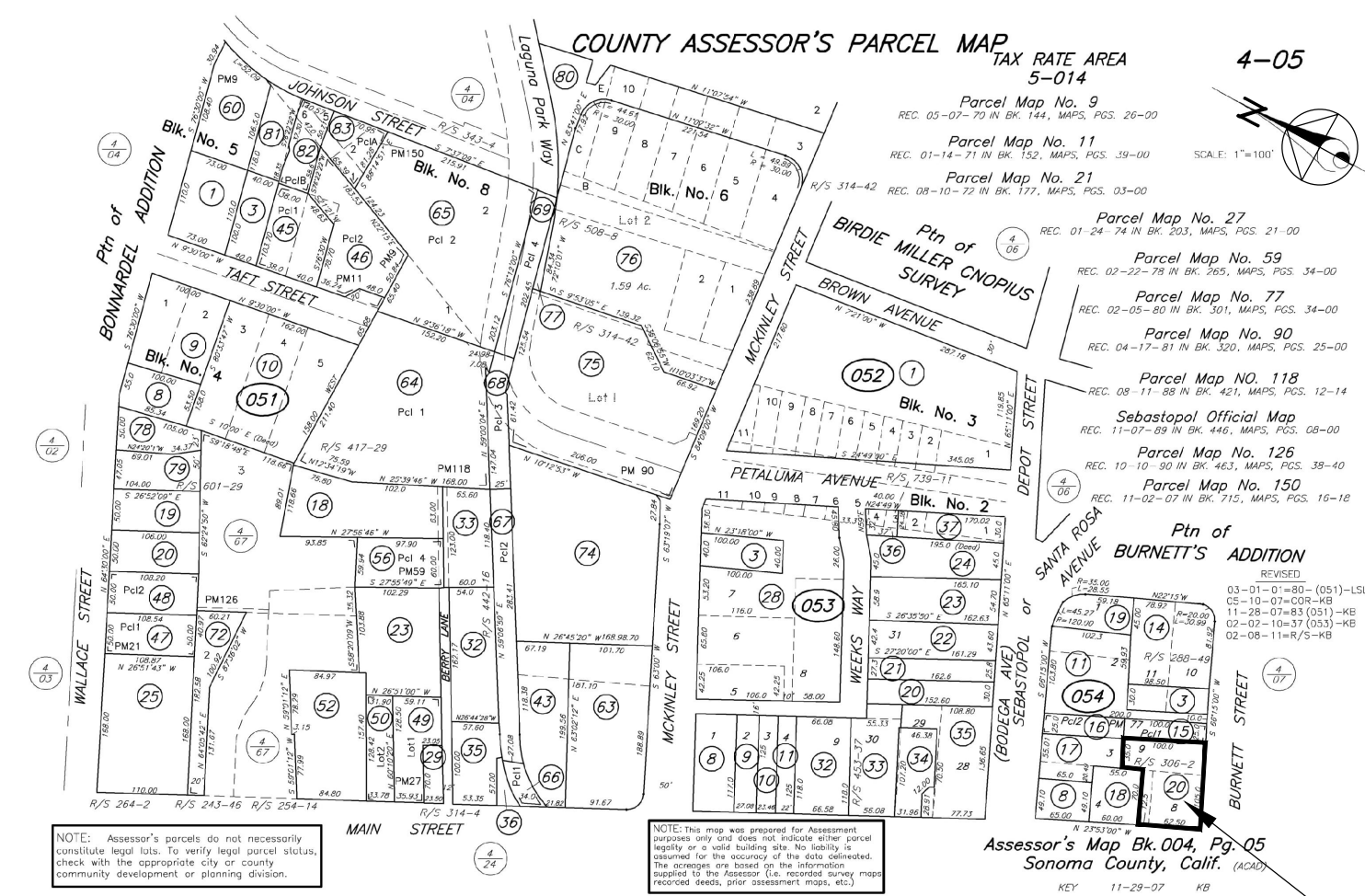
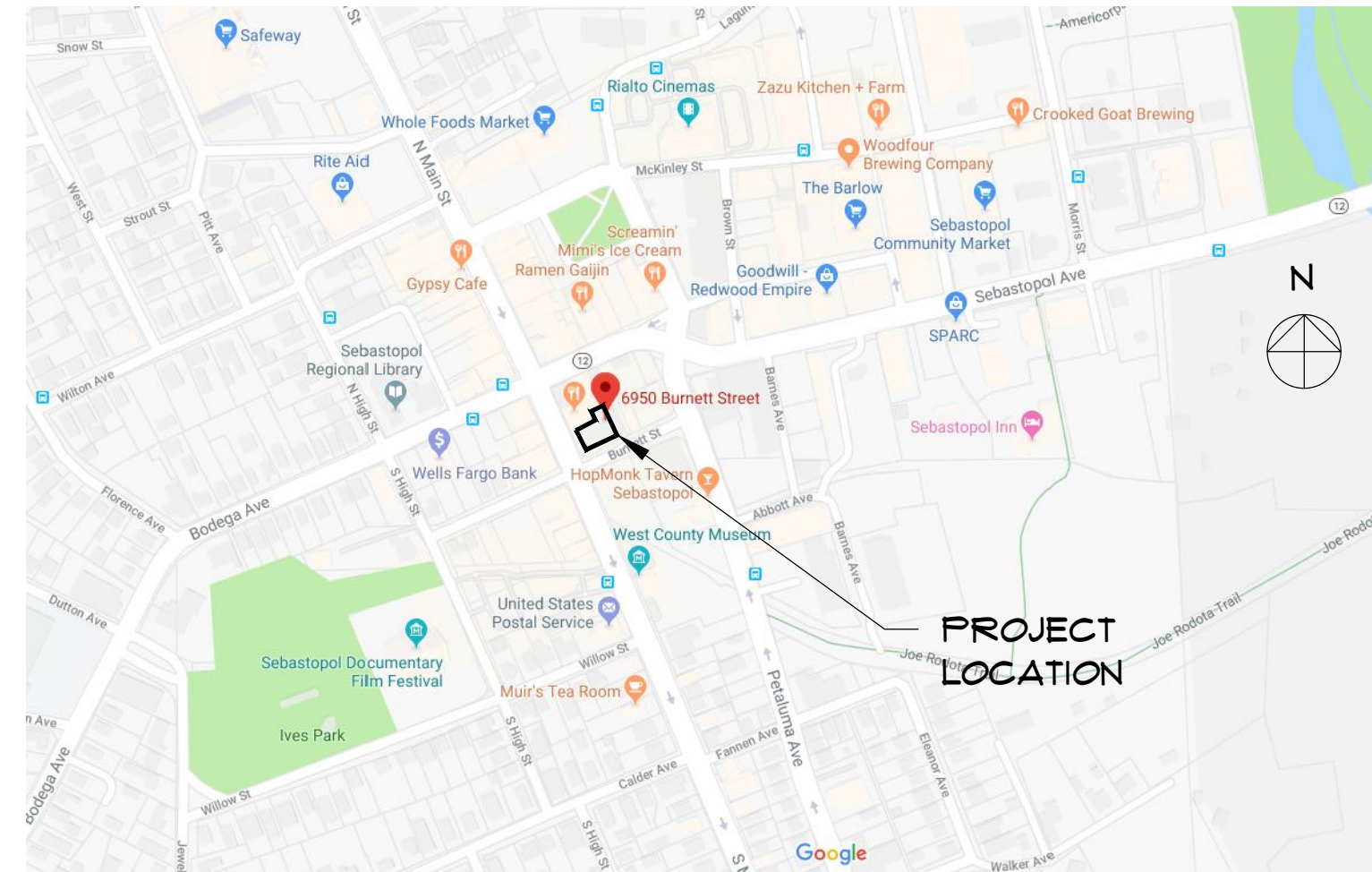


A.P.N. MAP:



VICINITY MAP:



PROJECT LOCATION



BUILDING USES:

HISTORICAL USES:	PROPOSED USES:
1ST LEVEL: RESTAURANT/RETAIL/OFFICE SPACE	SINGLE TENANT FOR ENTIRE BUILDING, WITH MULTIPLE LICENSEES, TO CONSIST OF RESTAURANT RELATED SERVICES AND SPACES.
2ND LEVEL: OFFICE AND STORAGE SPACES, 3 OUTDOOR BALCONIES	1ST LEVEL: MULTIPLE KITCHENS WITH COUNTER SERVICE, STORAGE, RETAIL, INDOOR AND OUTDOOR SEATING
3RD LEVEL: ROOF TOP EQUIPMENT	2ND LEVEL: EAT/WORK SHARED OFFICE SPACES, TASTING ROOM, ALL WITH ACCESS TO FULL MENUS FROM 1ST LEVEL KITCHENS.
	3RD LEVEL: MULTI-PURPOSE OUTDOOR DINING AND EVENT SPACE W/ BEVERAGE SERVICE AND ACCESS TO FULL MENUS FROM 1ST LEVEL KITCHENS.
	3RD LEVEL ROOF: SOLAR PANELS & ROOFTOP EQUIPMENT

DEFERRED SUBMITTALS

- DEFERRED SUBMITTALS FOR DESIGN REVIEW:**
- EXTERIOR LIGHTING
 - SIGNAGE
 - LANDSCAPING
 - TENANT IMPROVEMENTS
- CURRENT ASSUMPTIONS FOR THE DEFERRED SUBMITTALS ARE AS FOLLOWS:**
- EXTERIOR LIGHTING (DEFERRED SUBMITTAL)
 - A. EXTERIOR LIGHTING WILL BE FROM A VARIETY OF SOURCES, NO BRIGHTER OR HIGHER THAN NECESSARY TO PROVIDE ADEQUATE LIGHTING FOR VISIBILITY AND SECURITY.
 - B. THE STYLE, INTENSITY AND ORIENTATION OF LIGHTING WILL BE DESIGNED TO LIMIT GLARE FOR VEHICULAR TRAFFIC, PEDESTRIANS OR NEIGHBORS. IT WILL ALSO MINIMIZE UPWARD GLARE.
 - C. LIGHTING FIXTURES WILL BE SHIELDED OR OTHERWISE DESIGNED TO MINIMIZE UPWARD GLARE.
 - D. ENERGY-EFFICIENT LIGHTING WILL BE PROVIDED. SOLAR-POWERED LIGHT WILL BE UTILIZED WHENEVER POSSIBLE.
 - SIGNAGE (DEFERRED SUBMITTAL)
 - A. THE SIGN PACKAGE, IN THE DEFERRED SUBMITTAL, WILL BE INTEGRATED INTO THE REMODEL OF THE FACADE AND BUILDING.
 - B. SIZE, SHAPE, COLOR, TEXTURE AND LIGHTING OF THE SIGNS WILL BE COMPLEMENTARY TO THE OVERALL DESIGN OF THE BUILDING.
 - C. SIGNS WILL BE VANDAL AND WEATHER RESISTANT.
 - D. SIGNS WILL BE PROFESSIONAL CONSTRUCTED USING HIGH QUALITY NATURAL MATERIAL.
 - E. EXTERIOR LIGHTING THAT IS USED FOR SIGNS SHALL BE MEET ALL GUIDELINES FOR SIGNAGE AND FOR EXTERIOR LIGHTING.
 - LANDSCAPE (DEFERRED SUBMITTAL)
 - A. PRELIMINARY LANDSCAPE PLANS, FINAL LANDSCAPE PLANS AND IRRIGATION PLANS WILL BE PROVIDED PER CITY REQUIREMENTS.
 - B. THE PLANS WILL ADHERE TO THE CITY'S WATER REDUCTION IN LANDSCAPING ORDINANCE.
- SOLAR INFORMATION**
- SOLAR - PHOTOVOLTAIC PANELS:**
- THE NUMBER OF PANELS SHOWN ON THESE DRAWINGS ARE BASED ON THE PRESCRIPTIVE METHOD OF 2 WATTS PER SQUARE FOOT OF CONDITIONED SPACE.
 - PHOTOVOLTAIC PANELS WILL BE INSTALLED ACCORDING TO THE GUIDELINES PROVIDED BY SEBASTOPOL.
 - EXPANSION AREA PROVIDED AT SECOND LEVEL TRELLIS FOR SOLAR PANELS TO MEET 118% OF REQUIRED PANELS BASED ON CALCULATION BELOW.
 - CALCULATIONS BASED ON JINKO EAGLEPERC2-400M-124L-V PANEL 3,066 SF OF CONDITIONED SPACE 2 WATTS PER SF 18,132 WATTS 400 WATTS FOR EACH PANEL 48.33 PANELS REQUIRED SPACE FOR APPROXIMATELY 88 PANELS

PROJECT TEAM:

OWNER:	BEALE GROUP PROPERTY, LLC 555 S. MAIN STREET SUITE 1 SEBASTOPOL, CA 95412 707.821.9616
ARCHITECT:	BUILDERS' STUDIO OF SEBASTOPOL 369 S. MAIN STREET SEBASTOPOL, CA 95412 707.821.9609 GREGORY BEALE, GREGORY@BUILDERSSTUDIOINC.COM GRACE MEEKS, GRACE@BUILDERSSTUDIOINC.COM
STRUCTURAL:	BUILDERS' STUDIO OF SEBASTOPOL 369 S. MAIN STREET SEBASTOPOL, CA 95412 KATE GOEDE, KATE@BUILDERSSTUDIOINC.COM
LANDSCAPE ARCHITECT:	BUILDERS' STUDIO OF SEBASTOPOL 369 S. MAIN STREET SEBASTOPOL, CA 95412 JESSICA NORLING, JESSICA@BUILDERSSTUDIOINC.COM
ELECTRICAL:	BROKAW DESIGN 6060 DAWN DRIVE ROHNERT PARK, CA 94921 707.193-6822 COURTNEY CHUENTYANE, COURTNEY.CHUENTYANE@BROKAWDESIGN.COM
MECHANICAL/PLUMBING:	TEP ENGINEERING 8800 SECOND STREET SANTA ROSA, CA 95404 707.538-0400 ROB MAIN, F.E., ROB@TEP.NET
ENERGY/CALGREEN:	GILLERAN ENERGY MANAGEMENT 1904 DAVIS ST. SANTA ROSA, CA 95401 KEVIN GILLERAN, KEVIN@GILLERANENERGY.COM
KITCHEN/RESTAURANT DESIGN:	BALLINGER RESTAURANT EQUIPMENT, INC. 1000 AFOLLO WAY, SUITE 110 SANTA ROSA, CA 95401 707.544-8924 LARRY BALLINGER, LARRY@BREQUIPMENT.COM
CONTRACTOR:	THRIVE CONSTRUCTION GROUP 555 S. MAIN ST., SUITE 1 SEBASTOPOL, CA 95412 707.821.9600

AREA TABULATION:

EXISTING CONDITIONED SPACE	PROPOSED CONDITIONED SPACE
First Level	First Level
Conditioned Space 6,478 sf	Conditioned Space 5,151 sf
Second Level	Second Level
Conditioned Space 4,317 sf	Conditioned Space 3,915 sf
Total Conditioned Space 10,795 sf	Total Conditioned Space 9,066 SF
Other	Other
UPS Building - Not part of project 849 sf	UPS Building - Not part of project 849 sf
EXISTING EXTERIOR / NON CONDITIONED SPACE	PROPOSED EXTERIOR / NON CONDITIONED SPACE
First Level	First Level
Trash Enclosure 300 sf	Trash Enclosure 300 sf
Outdoor Covered Space 712 sf	Outdoor Covered Space 579 sf
Porch Area - Outdoor seating area 684 sf	Porch Area - Outdoor seating area 684 sf
Exterior Lobby - Burnett Street 798 sf	Exterior Lobby - Burnett Street 798 sf
Subtotal 2,012 sf	Subtotal 2,355 sf
Second Level	Second Level
Deck Area 2,061 sf	Deck Area 2,426 sf
- Southwest 1,596 sf	- Southwest 1,280 sf
- West Above UPS 90 sf	- West Above UPS 356 sf
- North 375 sf	- North 375 sf
Deck above Trash 122 sf	- Above Alley 415 sf
Roof Top 796 sf	Deck above Trash 394 sf
- Above UPS 266 sf	Exterior Lobby - Burnett Street 713 sf
- Above Alley 470 sf	Mechanical Space/Landscape Area 159 sf
Subtotal 2,919 sf	Subtotal 3,293 sf
Third Level (Roof Level)	Third Level
Mechanical Space 5,677 sf	Covered - Multi-Purpose Space 2,430 sf
Subtotal 5,677 sf	Garden Deck - West Side 1,791 sf
Total Exterior / Non Conditioned Space 9,608 sf	Trellis Deck - North Side 1,044 sf
	Exterior Lobby - Burnett Street 713 sf
	Mechanical Space/Landscape Area 159 sf
	Subtotal 6,350 sf
	Third Level Roof
	Mechanical Space/Solar Panels (Above Covered Multi-Purpose Space) 2,213 sf
	Mechanical Space (Above Stair off S. Main Street) 513 sf
	Mechanical Space (Above Storage) 159 sf
	Subtotal 2,919 sf
	Total Exterior / Non Conditioned Space 14,917 sf

SUMMARY SCOPE OF WORK:

THIS DESIGN REVIEW APPLICATION IS FOR THE REMODEL OF THE BUILDING SHELL THAT INCLUDES THE EXTERIOR AND GENERAL LAYOUT OF THE INTERIOR.

THE EXTERIOR OF THE BUILDING IS BEING MODIFIED IN THE FOLLOWING WAY:

- MATERIAL CHANGE
- WINDOW/DOOR OPENINGS ARE BEING MODIFIED
- FIRST FLOOR PORCH AREA WITH GLASS ROLL-UP DOORS
- 3RD LEVEL ADDED W/ GARDEN/LANDSCAPE AREA TO THE WEST & A COVERED AREA ON THE NORTH DECK.
- MECHANICAL PLATFORM ADDED ABOVE STAIRWAY OFF S. MAIN ST. & ON ROOF OF 3RD LEVEL.

THE INTERIOR OF THE BUILDING WILL BE MODIFIED TO ALLOW FOR LICENSEES. THE GENERAL LAYOUT IS SHOWN FOR REFERENCE. THE RESTROOMS, RAMPS, AND OTHER SHARED SPACES WILL BE PART OF THE SHELL BUILDING PERMIT:

- THE FIRST LEVEL LAYOUT SHOWS 5-6 AREAS FOR POTENTIAL LICENSEES.
- THE SECOND LEVEL DIAGRAMMATICALLY SHOWS A CENTER CIRCULATION AREA WITH RESTROOMS. THE REST OF THE SPACE IS TENANT SPACE.
- THE THIRD LEVEL SHOWS THE DEVELOPMENT OF AN OUTDOOR TENANT/PUBLIC SPACE WITH AN ENCLOSED AREA (NON-CONDITIONED) THAT CAN BE SECURED, SEATING AREA UNDER A TRELLIS AND SEATING AREA OPEN TO THE SKY. THIS AREA IS SEPARATE FROM THE UTILITY/MECHANICAL AREA BY A SOLID PARTITION WALL.

PROJECT DATA:

A.P.N. NUMBER:	004-054-010
ZONING:	A - CD - (COUNTOUN CORE) MULTIPLE COMBO/STORES & OFFICE
SITE LOCATION:	6950 BURNETT STREET, 125 S. MAIN STREET, 131 S. MAIN STREET, 133 S. MAIN STREET, 135 S. MAIN STREET, SEBASTOPOL, CA 95412
LOT AREA:	0.21 ACRES
OCCUPANCY:	GROUP A-2, RESTAURANTS, CAFETERIAS, AND SIMILAR DINING FACILITIES (INCLUDING ASSOCIATED COMMERCIAL KITCHENS)
CODE:	2019 CBC, 2019 CRC, 2019 CALGREEN
CONSTRUCTION:	TYPE VA, FULLY SPRINKLERED

FAR

ALLOWABLE FAR: 1.0-2.5

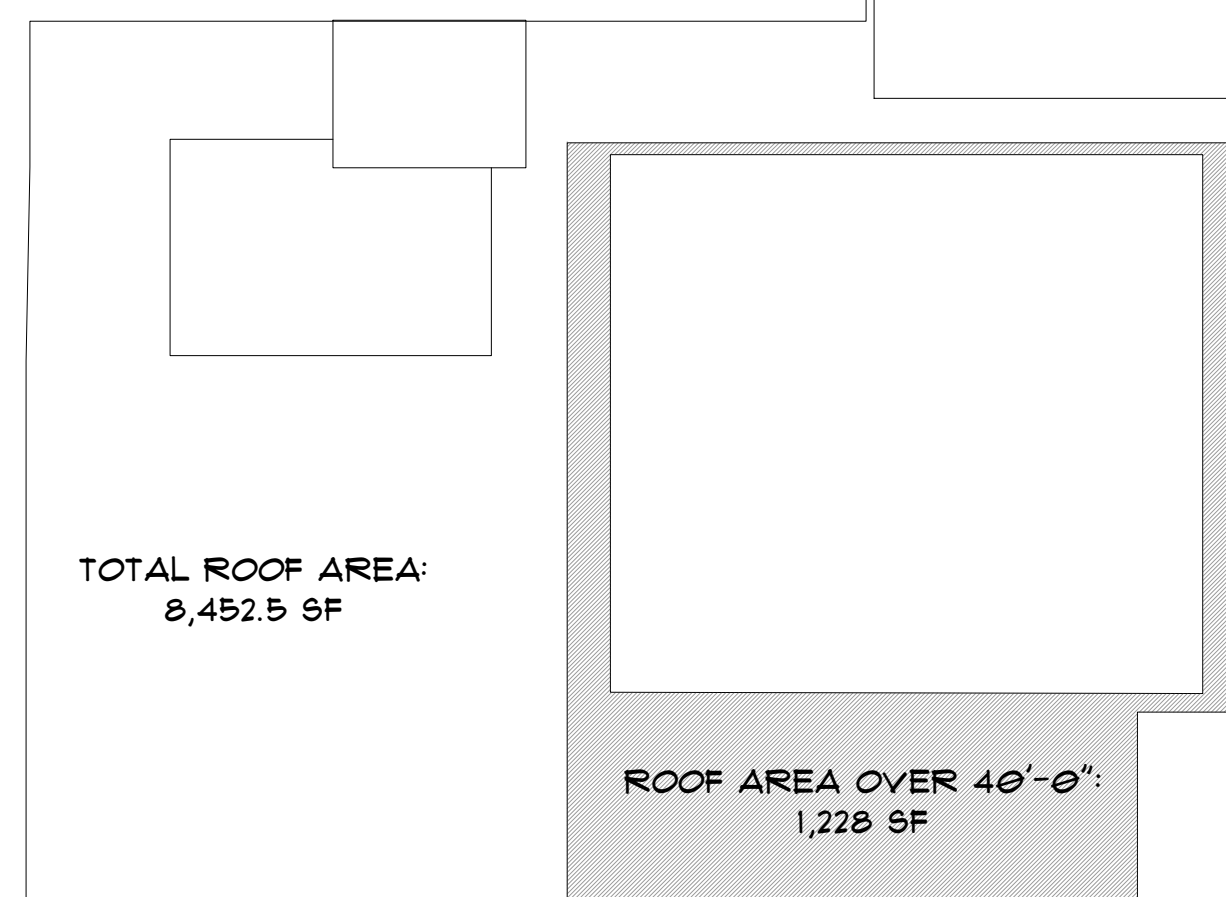
EXISTING GROSS FLOOR AREA - 13,735 SF
SITE AREA - .21 ACRES = 9,141.6 SF
EXISTING FAR: 13,735/9,141.6 = 1.50

PROPOSED GROSS FLOOR AREA - 19,643 SF
SITE AREA: .21 ACRES = 9,141.6 SF
PROPOSED FAR: 19,643/9,141.6 = 2.141

GROSS FLOOR AREA INCLUDES INTERIOR SPACES AND EXTERIOR AREAS THAT ARE COVERED. IT DOES NOT INCLUDE TRELLIS AREA.

ROOF AREA:

TOTAL ROOF AREA:	8,452.5 SF
15% OF TOTAL ROOF AREA:	1,267.8 SF
AREA OF ROOF OVER 40'-0" (NOT PARAPET):	1,228 SF



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09/15/20	10/01/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
10/01/20	12/11/20	RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	GB
		RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GB

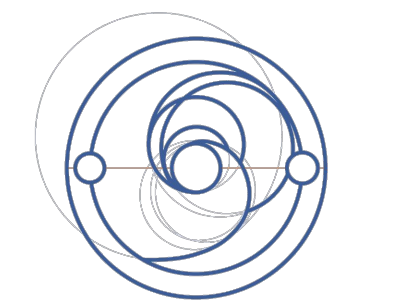
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95412
040-054-010



TITLE SHEET, NOTES, MAPS, SITE PLAN & LIST OF EXT FINISHES

SHEET
A0.0

PDF DATE 11/30/20



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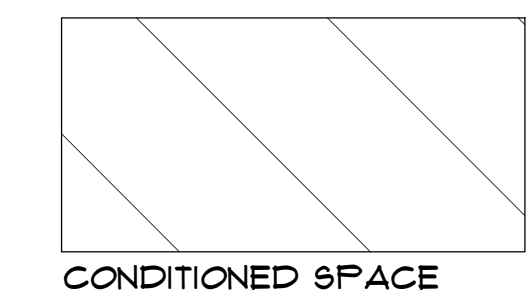
SHEET NOTES:

- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN THE BUILDING PERMIT SET.

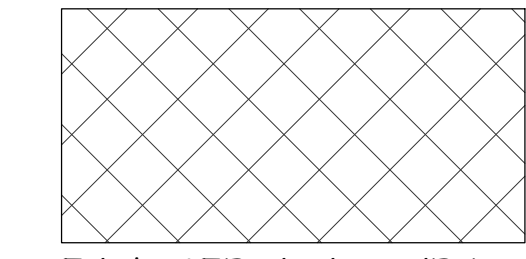
KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

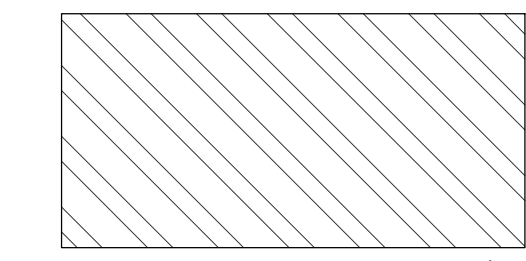
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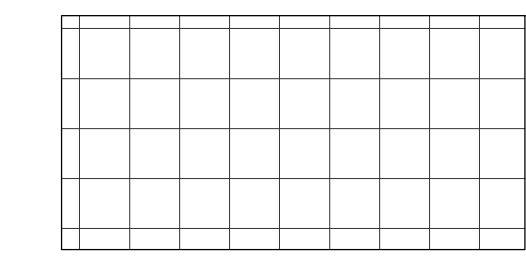
CONDITIONED SPACE



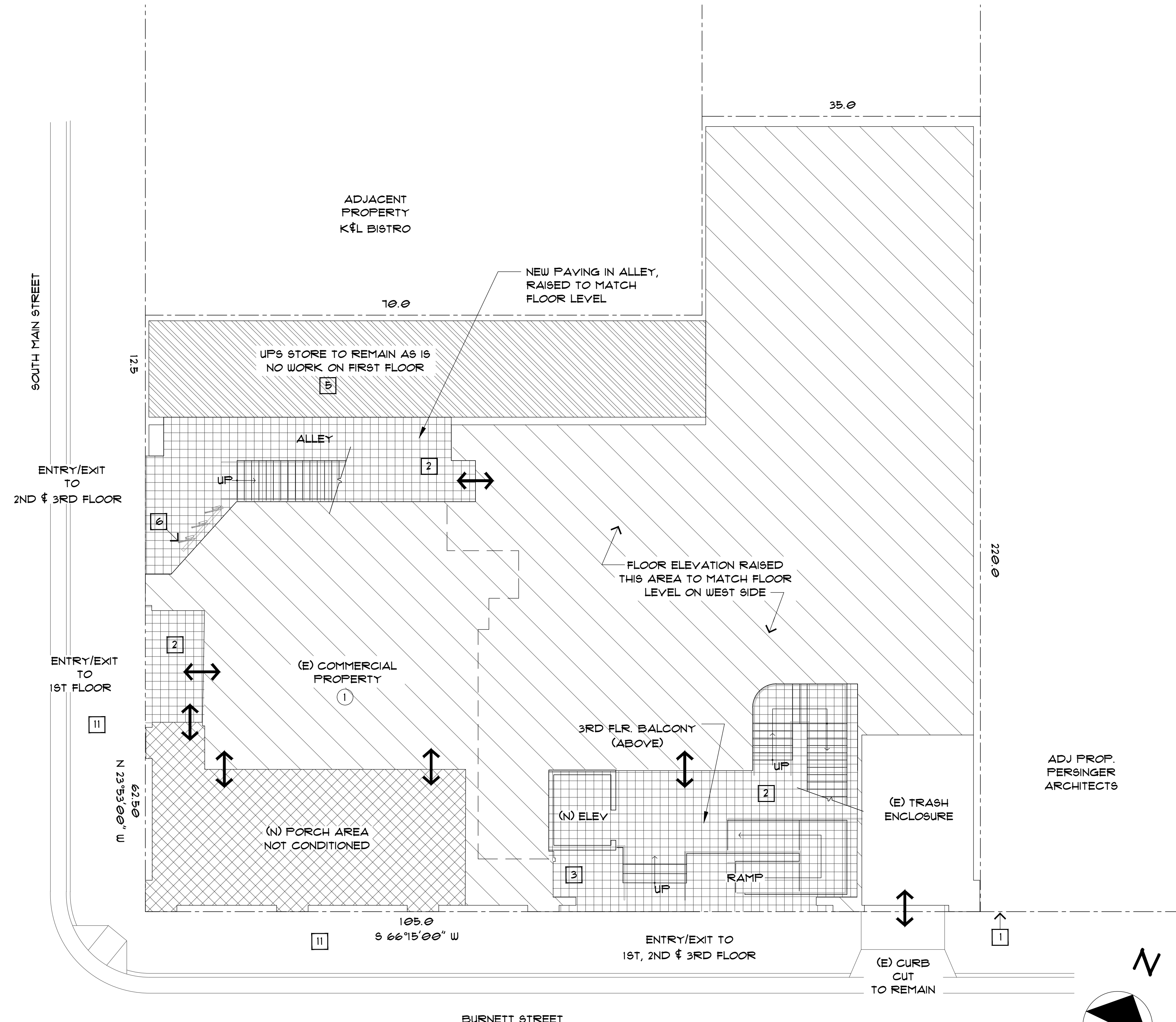
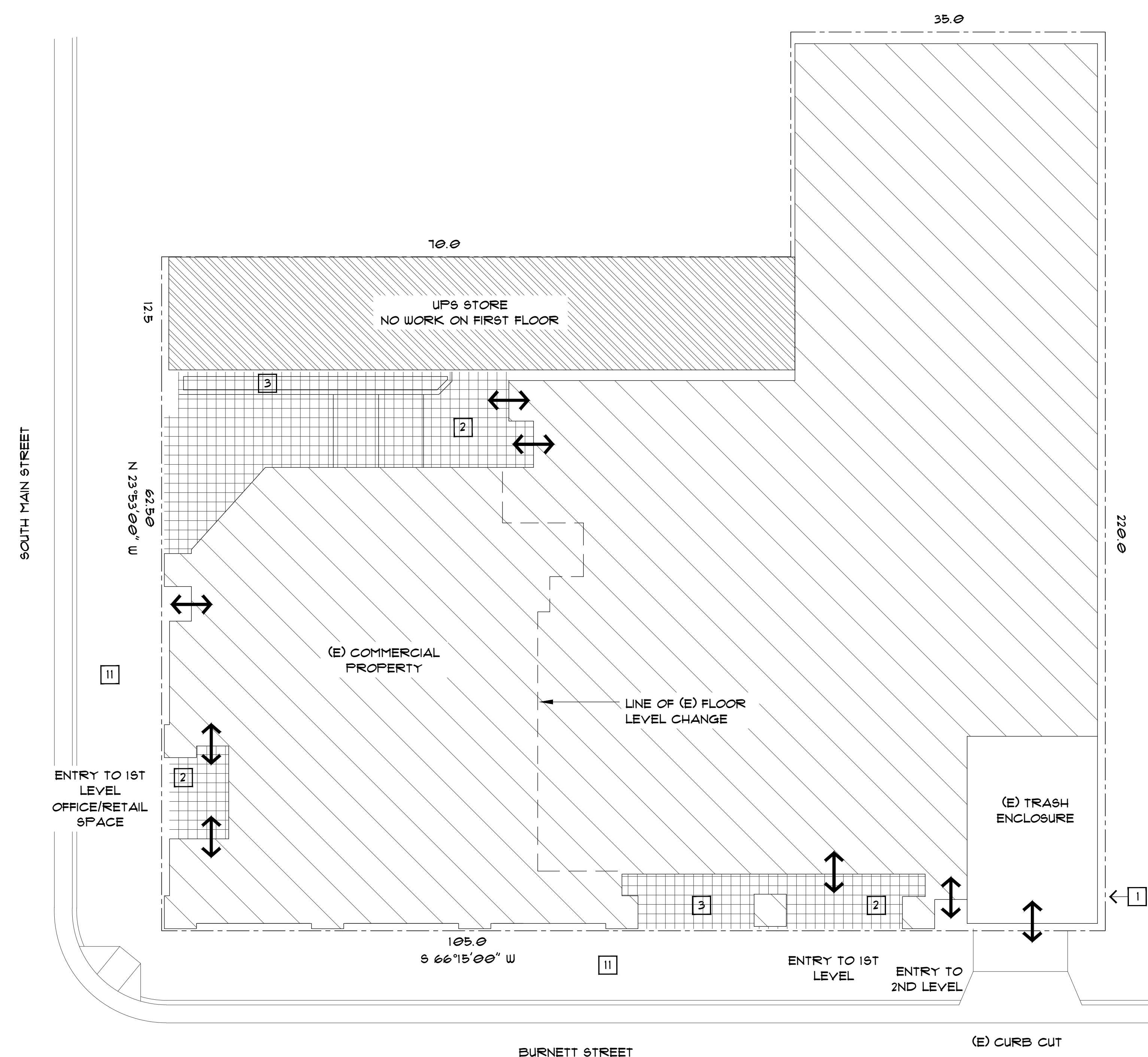
ENCLOSED NON-CONDITIONED SPACE



CONDITIONED SPACE W/ NO WORK

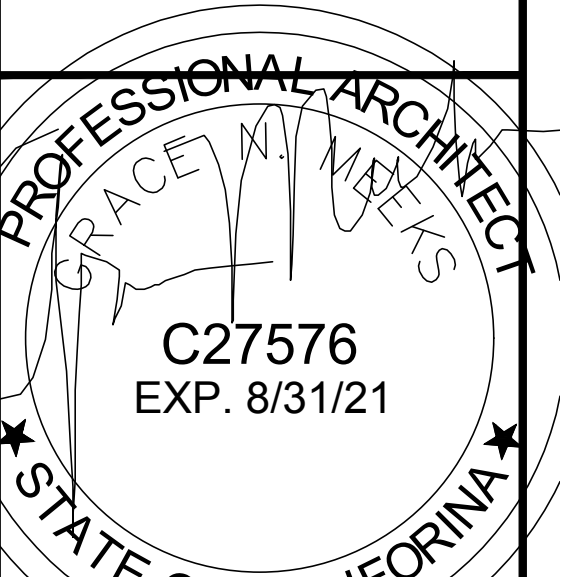


COVERED EXTERIOR AREA



REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	GB
Δ	12/11/20	RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GB

THE BEALE GROUP
THE LIVERY PROJECT



TITLE SHEET, NOTES, MAPS, SITE PLAN & LIST OF EXT FINISHES

SHEET
A0.2

PDF DATE 11/30/20



1 FROM BURNETT STREET LOOKING WEST TOWARD SOUTH MAIN #2



2 ENLARGED VIEW FROM S. MAIN STREET AT CORNER OF BURNETT ST.



3 FROM PROJECT ENTRY LOOKING NORTH WEST ACROSS S. MAIN ST.



4 LOOKING SOUTH DOWN S. MAIN FROM PROJECT



5 FROM BURNETT STREET LOOKING TOWARD EAST PETALUMA AVE.



6 FROM S. MAIN LOOKING NORTH, NORTH OF PROJECT (UPS LIMIT OF SCOPE)



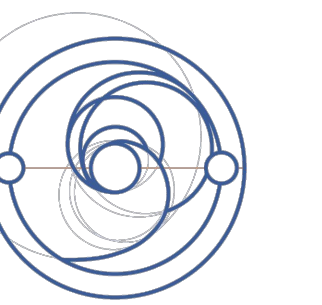
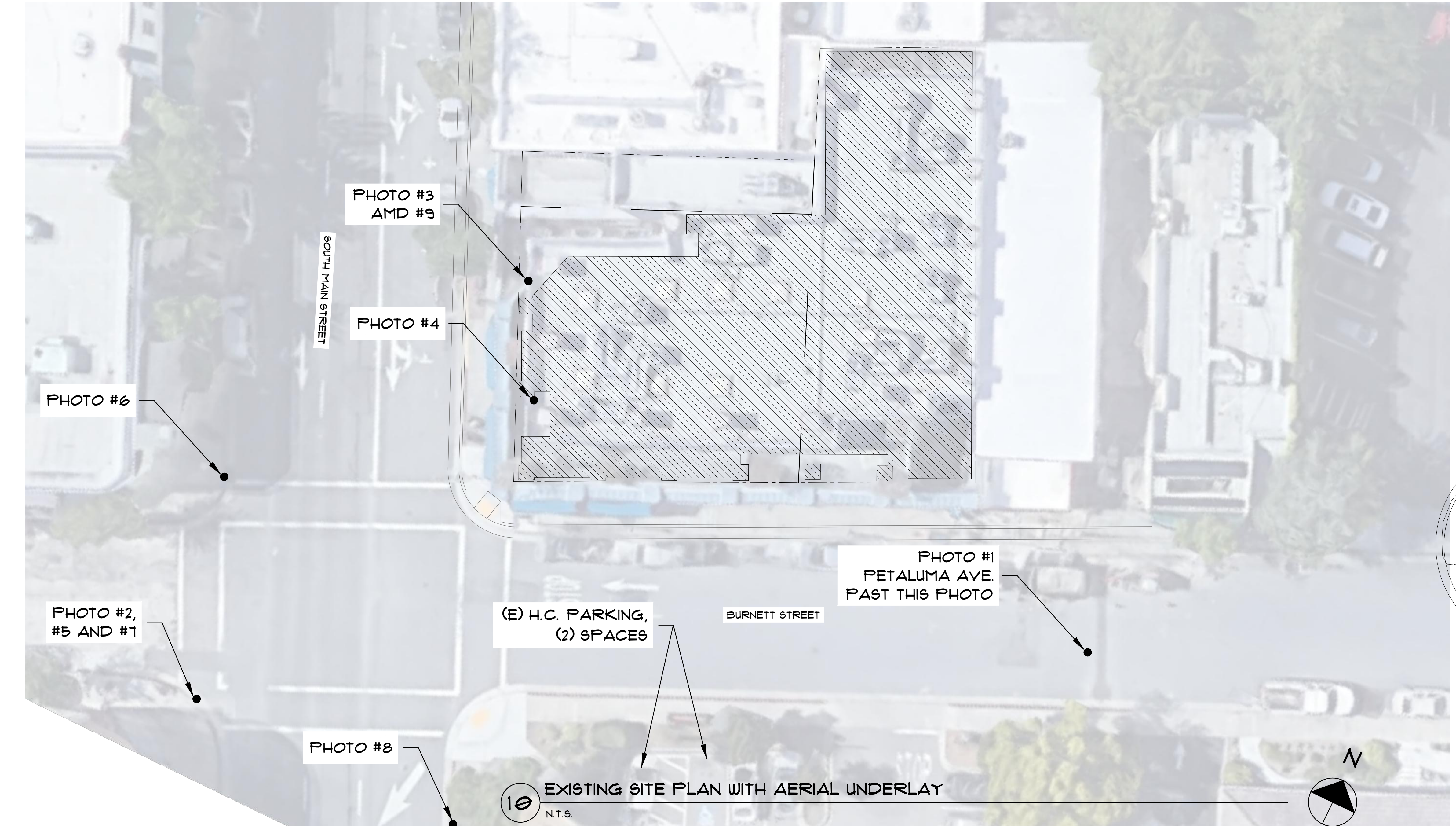
7 PANORAMIC LOOKING NORTH AND EAST



8 FROM BURNETT STREET LOOKING NORTH TOWARD BODEGA AVE./HWY. 12



9 FROM PROJECT ENTRY LOOKING SOUTH WEST ACROSS S. MAIN

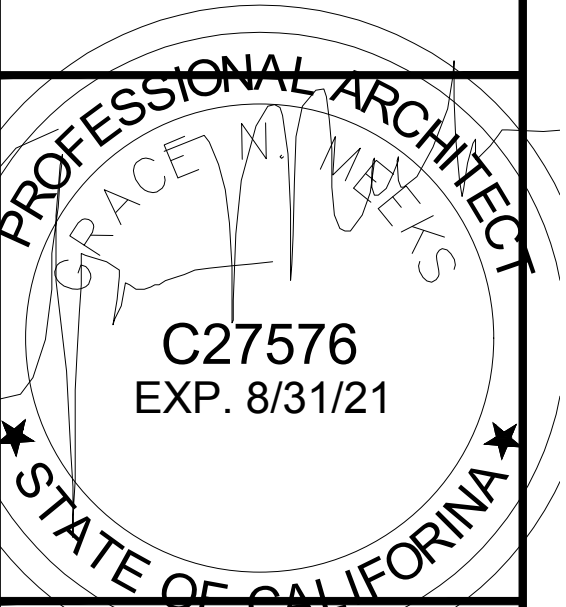


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	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					

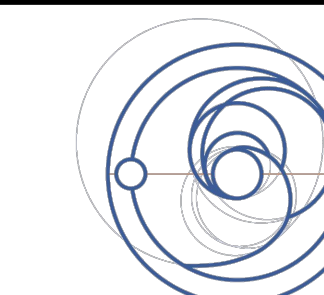
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



SITE PHOTOS

SHEET
A0.3

PDF DATE 11/30/20

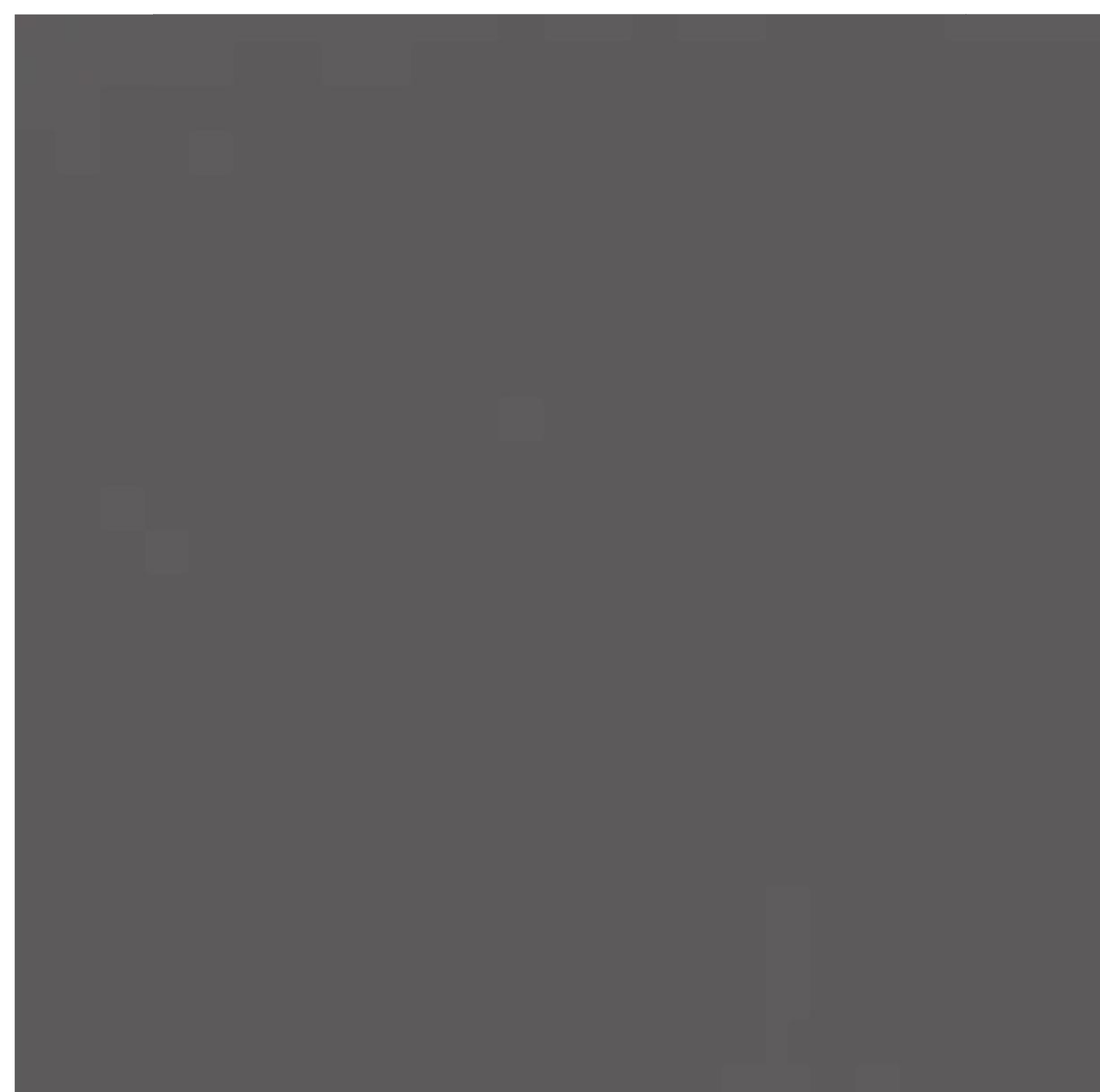


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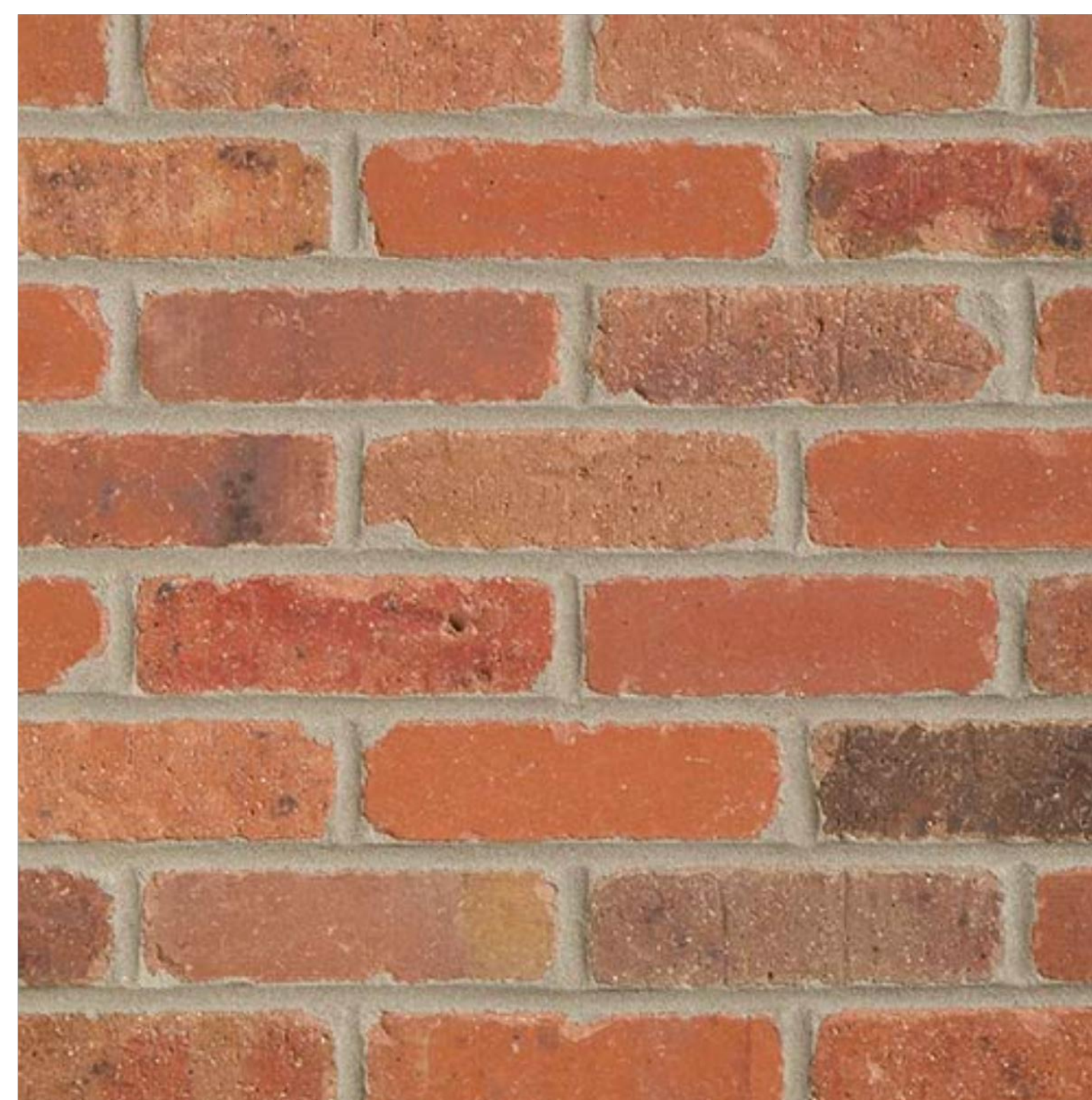
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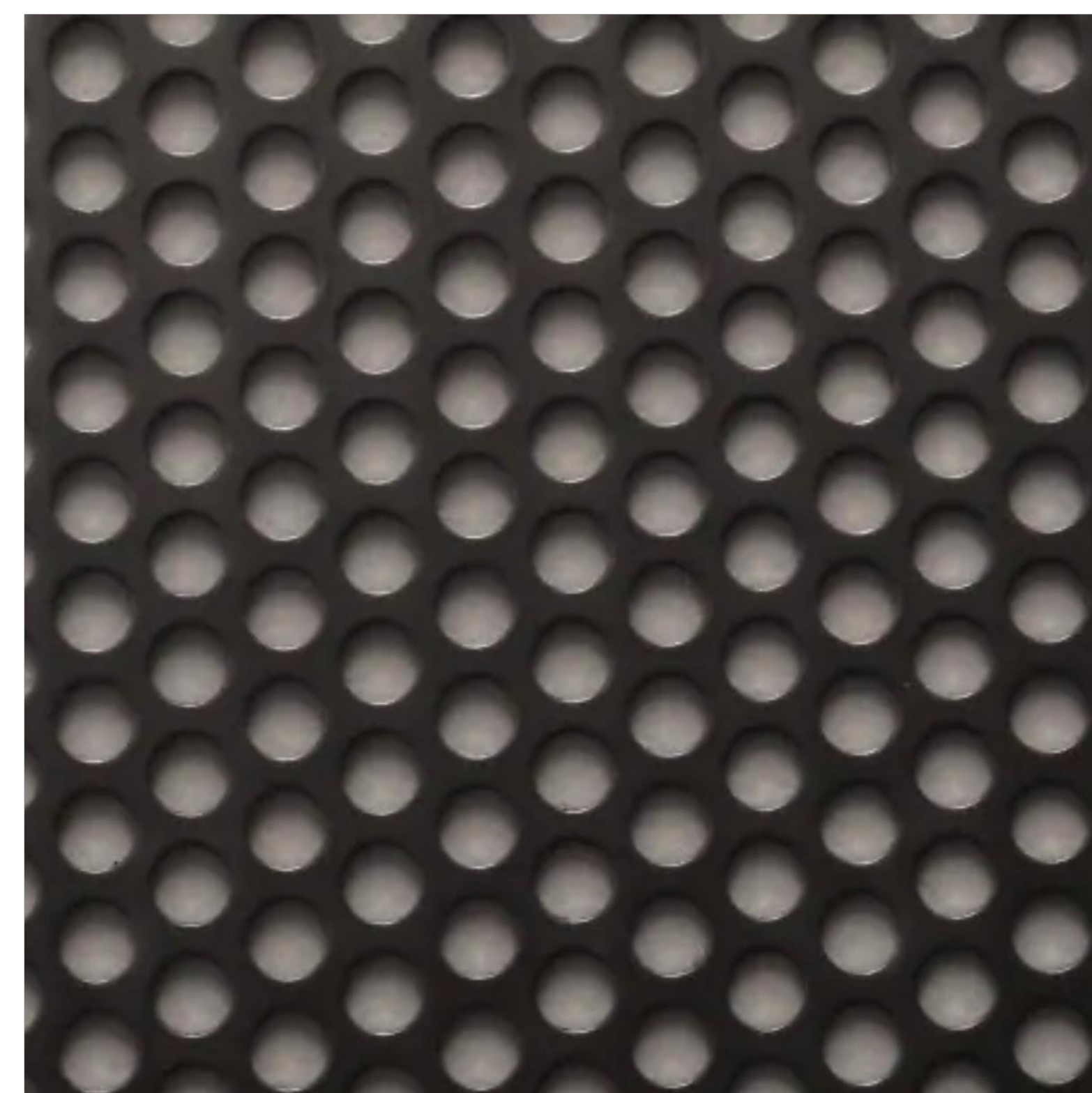
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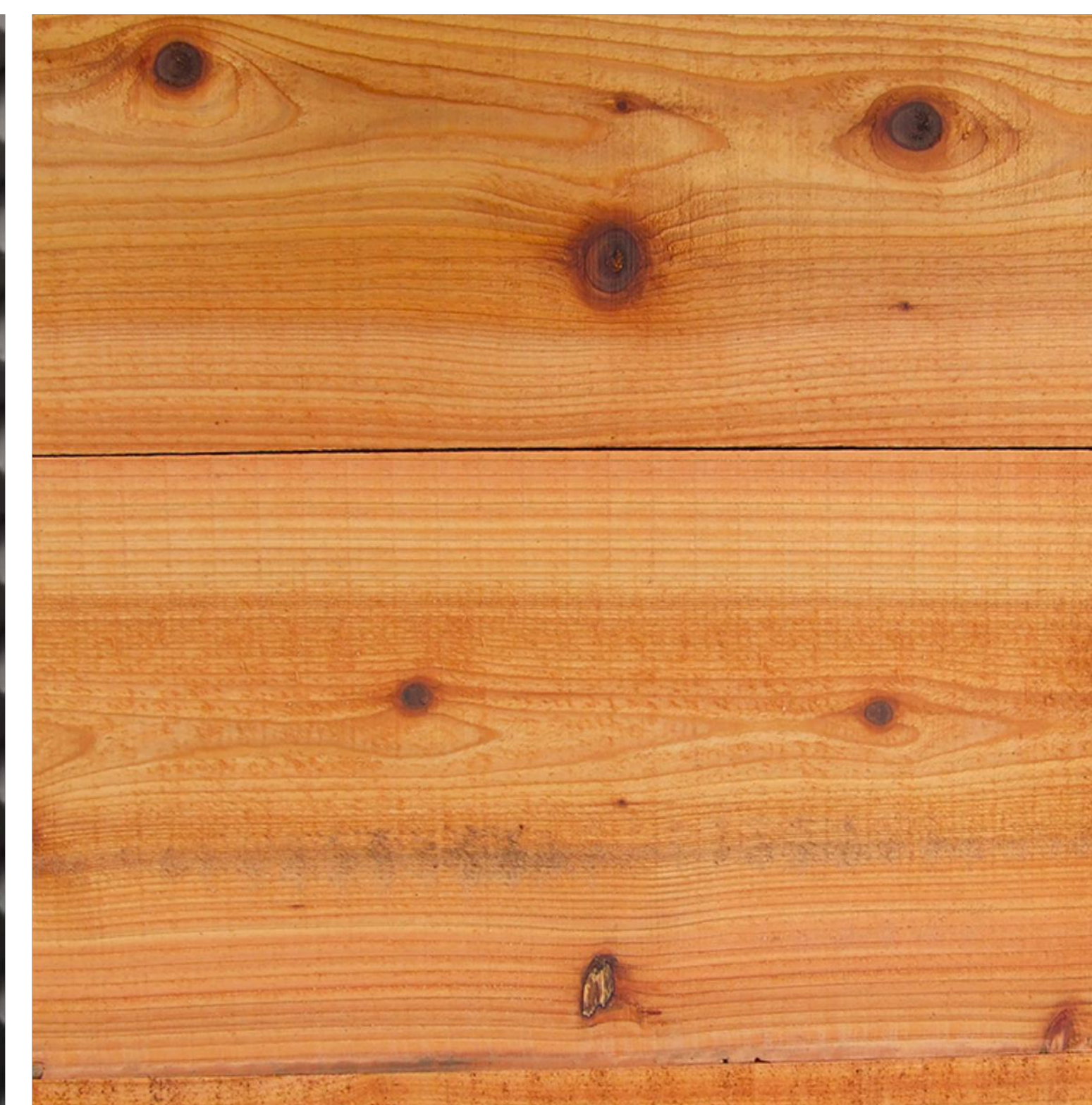
Stucco - Smooth
Color: DE6384 Iron Fixture



Thin Brick Cladding



Perforated Metal @ Railing
Color: DEA187 Black



Cedar Siding
Color: Clear Finish

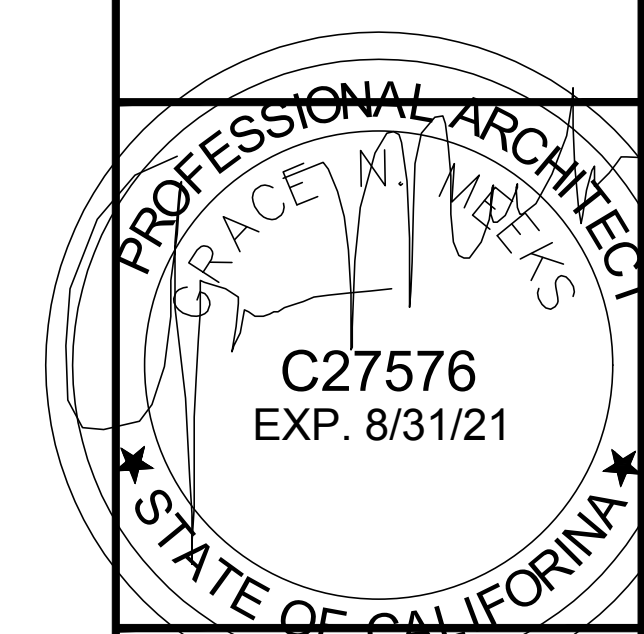
09.10.2020

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MATERIAL BOARD

SHEET

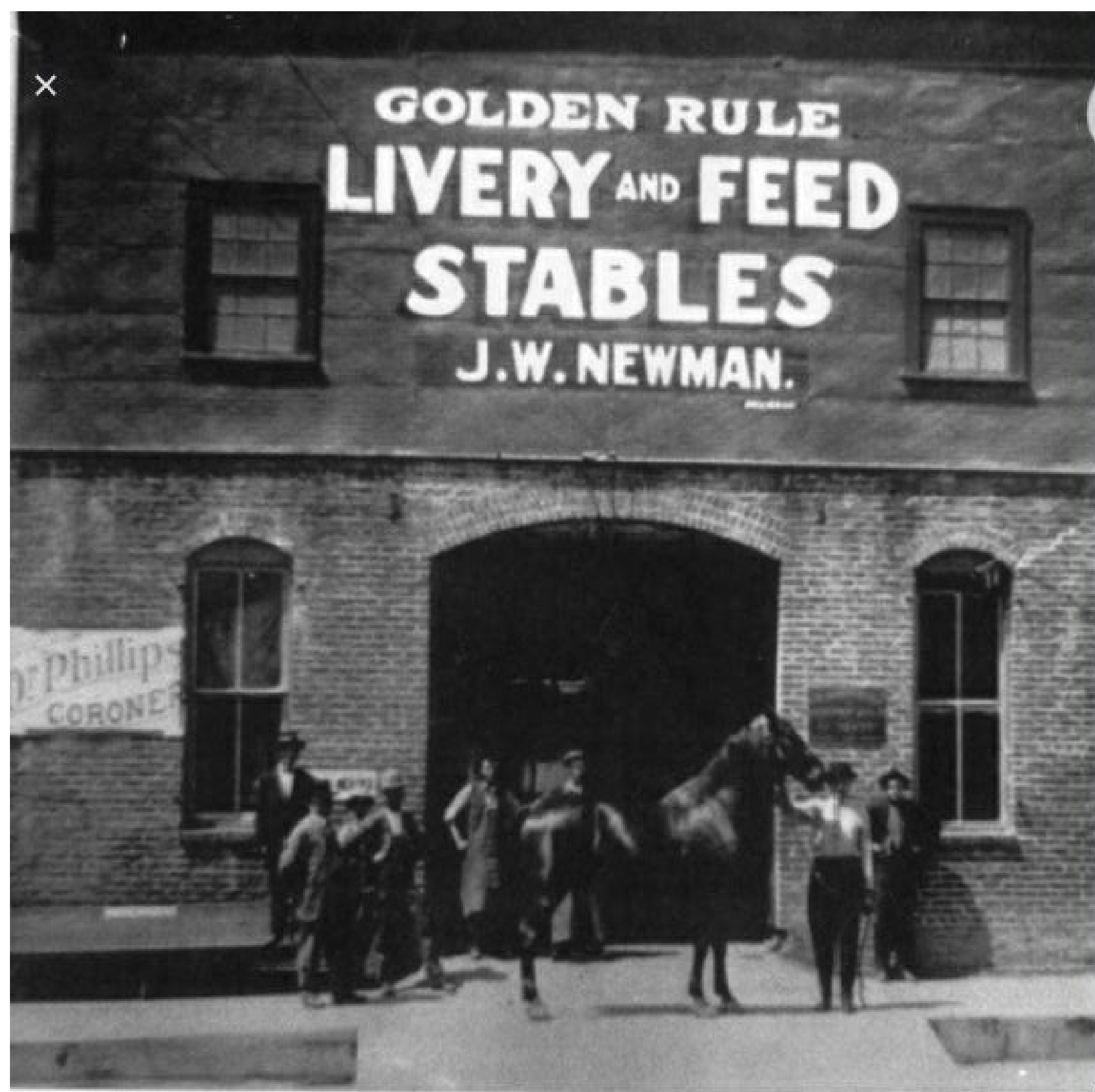
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Δ	12/11/20	RESUBMITTAL - PLATFORM UPDATE			



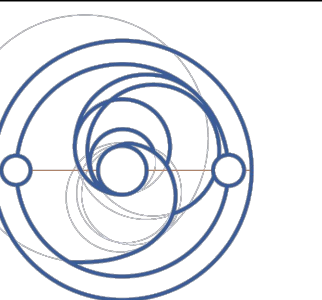
IMAGE IN PROGRESS - NOT FINAL



PRE-EXISTING ON SITE
BURNETT STREET AND S. MAIN STREET
CIRCA 1890



IMAGE IN PROGRESS - NOT FINAL



Builders' Studio

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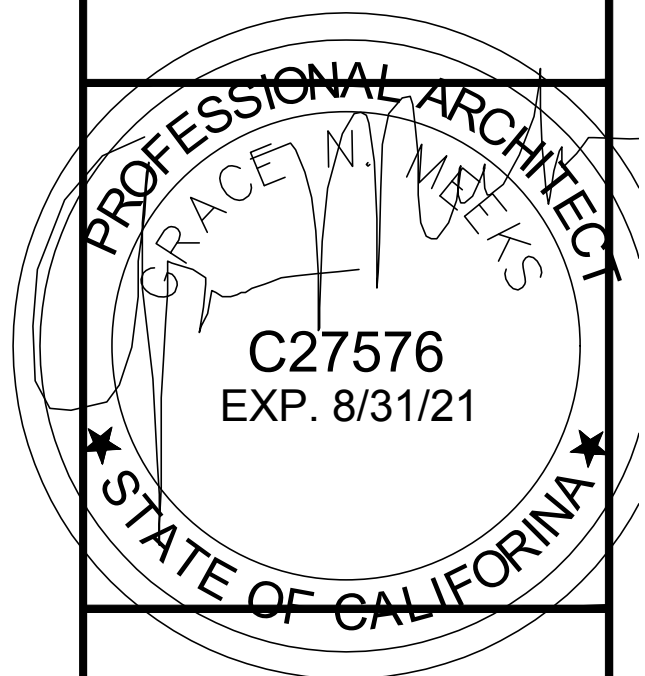
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	12/1/20	RESUBMITTAL - PLATFORM UPDATE			

THE BEALE GROUP
THE LIVERY PROJECT

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040-054-070

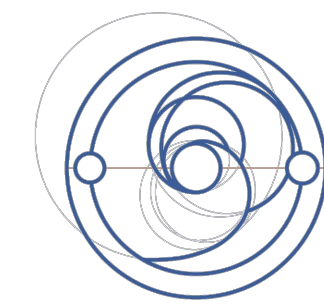


3-D IMAGES

SHEET

A0.5

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SHEET NOTES:

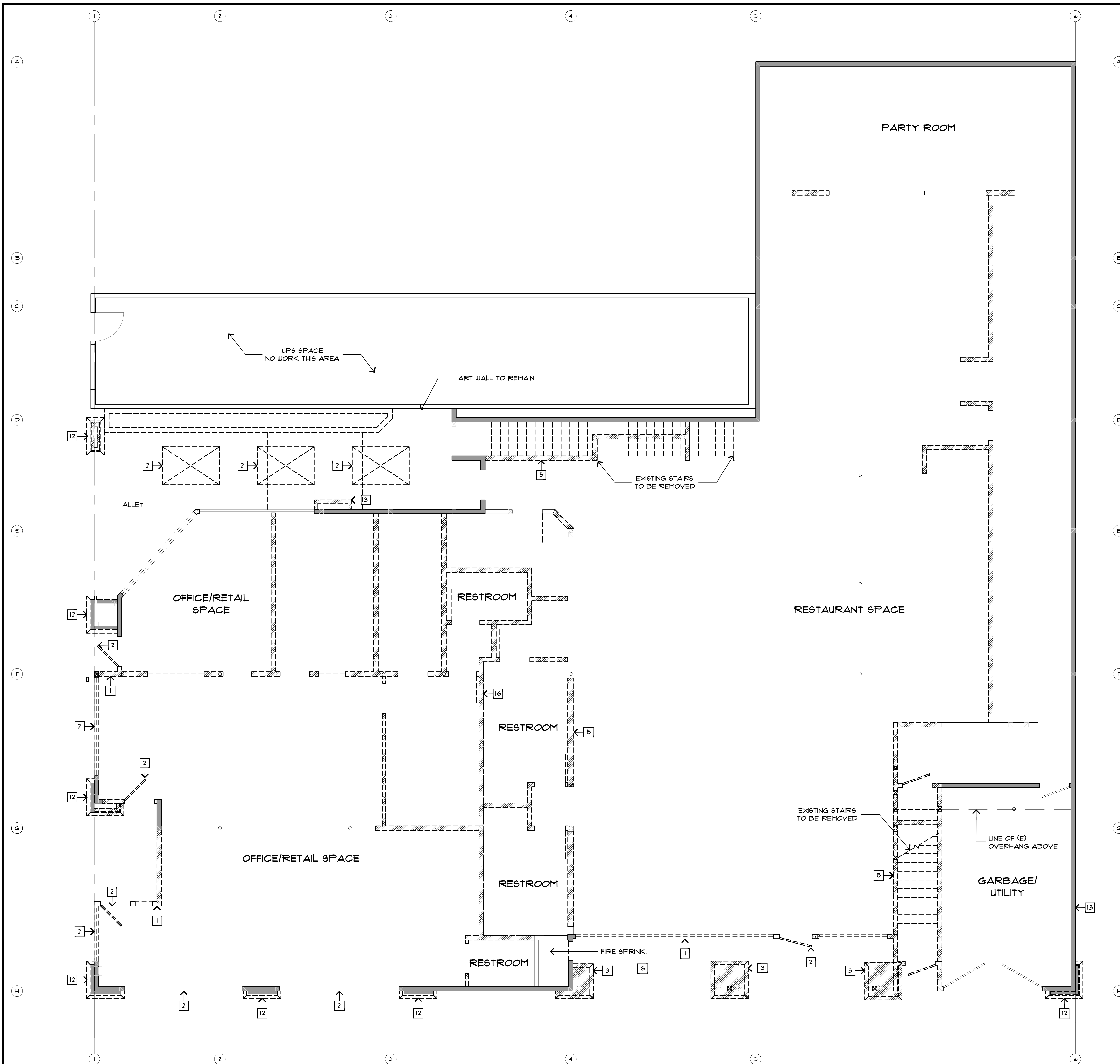
- INTERIOR WALLS LABELED TO BE REMOVED ARE SHOWN FOR CLARITY OF EXISTING USE. SOME WERE NOT IN PLACE AT PURCHASE OF BUILDING OR WERE REMOVED PER DEMO PERMIT.

KEY NOTES:

1	EXT. WALL/PARAPET TO BE REMOVED
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	CONC. BASE TO BE REMOVED
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

LEGEND:

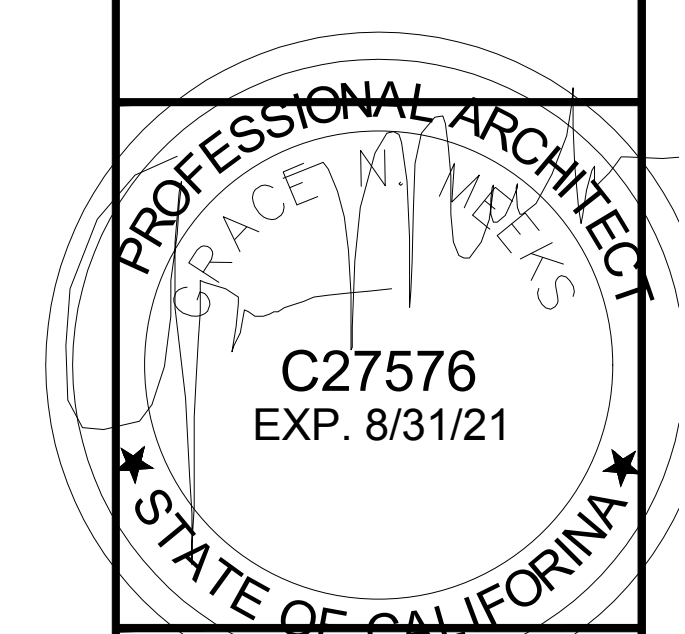
- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- WALLS/COLUMNS/BRICK VENEER TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED



1 EXISTING & DEMOLITION FIRST LEVEL PLAN
SCALE: 1/8" = 1'-0"

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	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

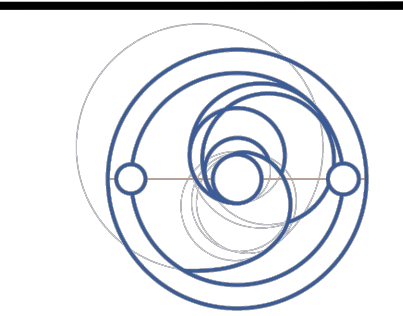
THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



EXISTING AND DEMO
FIRST LEVEL PLAN

SHEET
A1.1

PDF DATE 11/30/20



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SHEET NOTES:

- INTERIOR WALLS LABELED TO BE REMOVED ARE SHOWN FOR CLARITY OF EXISTING USE. SOME WERE NOT IN PLACE AT PURCHASE OF BUILDING OR WERE REMOVED PER DEMO PERMIT.

KEY NOTES:

1	EXT. WALL/PARAPET TO BE REMOVED
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	CONC. BASE TO BE REMOVED
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

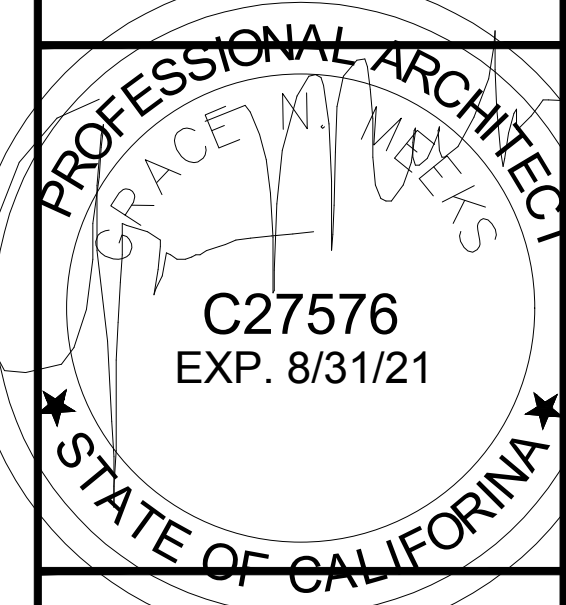
LEGEND:

- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- WALLS/COLUMNS/BRICK VENEER TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED
- FLOOR TO BE REMOVED
- OVERHANG ABOVE TO BE REMOVED

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

THE BEALE GROUP
THE LIVERY PROJECT

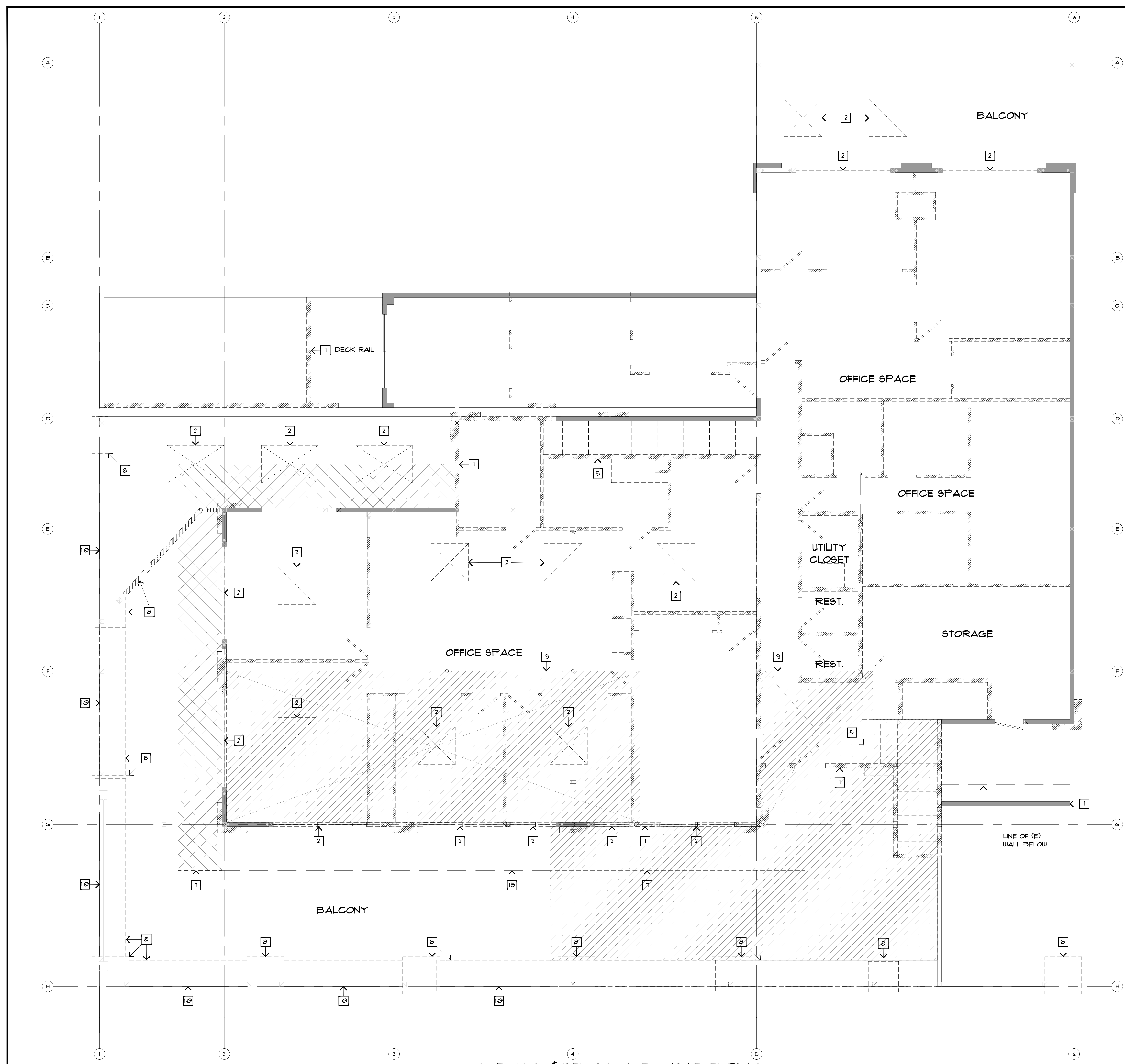
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



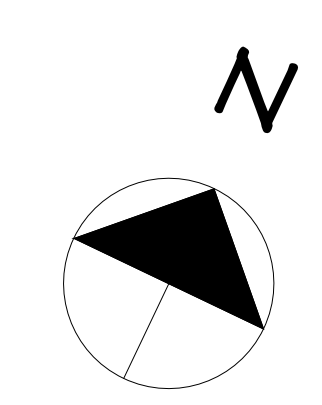
EXISTING AND DEMO
SECOND LEVEL PLAN

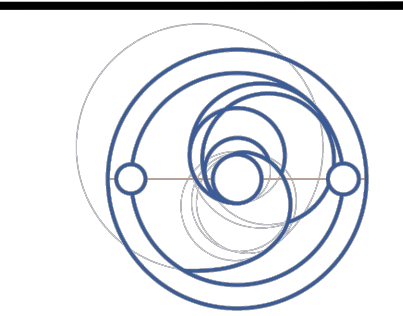
SHEET
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1 EXISTING & DEMOLITION SECOND LEVEL PLAN
SCALE: 1/8" = 1'-0"





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SHEET NOTES:

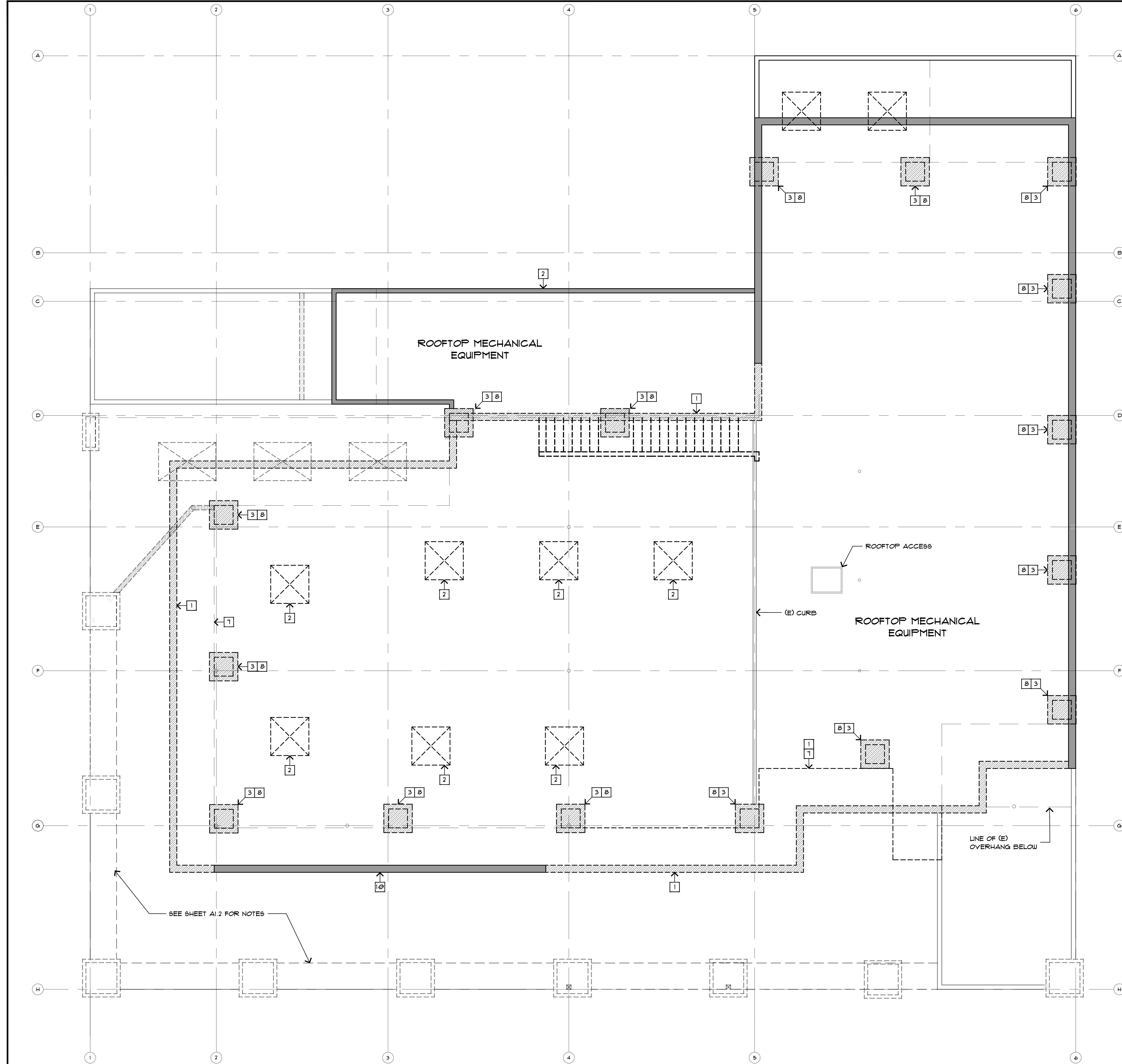
- INTERIOR WALLS LABELED TO BE REMOVED ARE SHOWN FOR CLARITY OF EXISTING USE. SOME WERE NOT IN PLACE AT PURCHASE OF BUILDING OR WERE REMOVED PER DEMO PERMIT.

KEY NOTES:

1	EXT. WALL/PARAPET TO BE REMOVED
2	SKYLIGHT/WINDOW/DOOR TO BE REMOVED
3	COLUMN & CONC. BASE TO BE REMOVED
4	EXT. FINISH TO BE REMOVED
5	INT. WALL/STAIRS/DOOR TO BE REMOVED
6	LANDSCAPE AREA TO BE REMOVED
7	SOFFIT/OVERHANG TO BE REMOVED
8	METAL ROOF/WALL/COLUMN CAP TO BE REMOVED
9	FLOOR TO BE REMOVED
10	EXTERIOR WALL/PARAPET TO REMAIN
11	SKYLIGHT/WINDOW/DOOR TO REMAIN
12	CONC. BASE TO BE REMOVED
13	EXT. FINISH TO REMAIN
14	LANDSCAPE AREA/PLANTER TO REMAIN
15	SOFFIT/OVERHANG TO REMAIN
16	LINE OF (E) FLOOR LEVEL CHANGE

LEGEND:

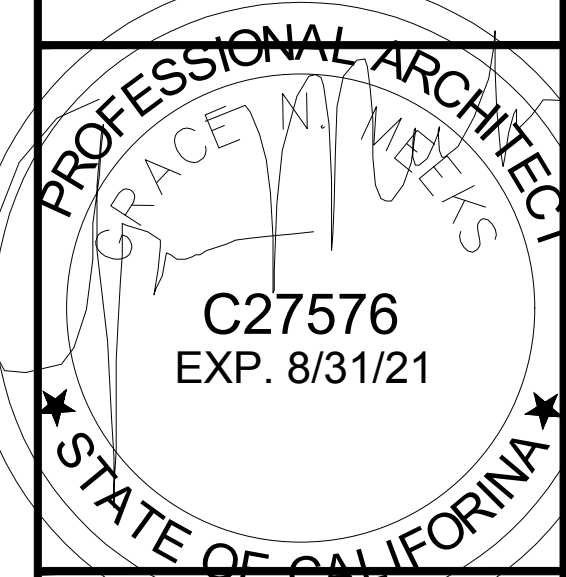
- PARAPET WALL TO REMAIN
- INT. WALL TO REMAIN
- PARAPET WALLS TO BE REMOVED
- WINDOWS/DOORS/SKYLIGHTS/STAIRS TO BE REMOVED



1 EXISTING & DEMOLITION THIRD LEVEL PLAN
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
09/15/20		DESIGN REVIEW SUBMITTAL			
10/21/20		RESUBMITTAL - ROOF UPDATE			
12/11/20		RESUBMITTAL - PLATFORM UPDATE			

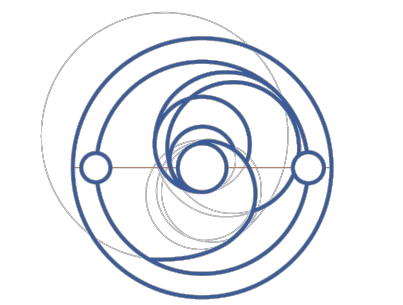
THE BEALE GROUP
THE LIVERY PROJECT
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EXISTING AND DEMO
THIRD LEVEL PLAN

SHEET
A1.3

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SHEET NOTES:

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- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES

KEY NOTES:

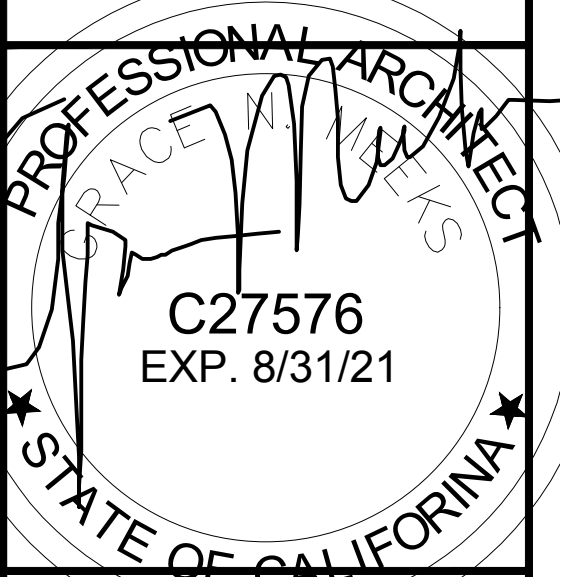
1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

LEGEND:

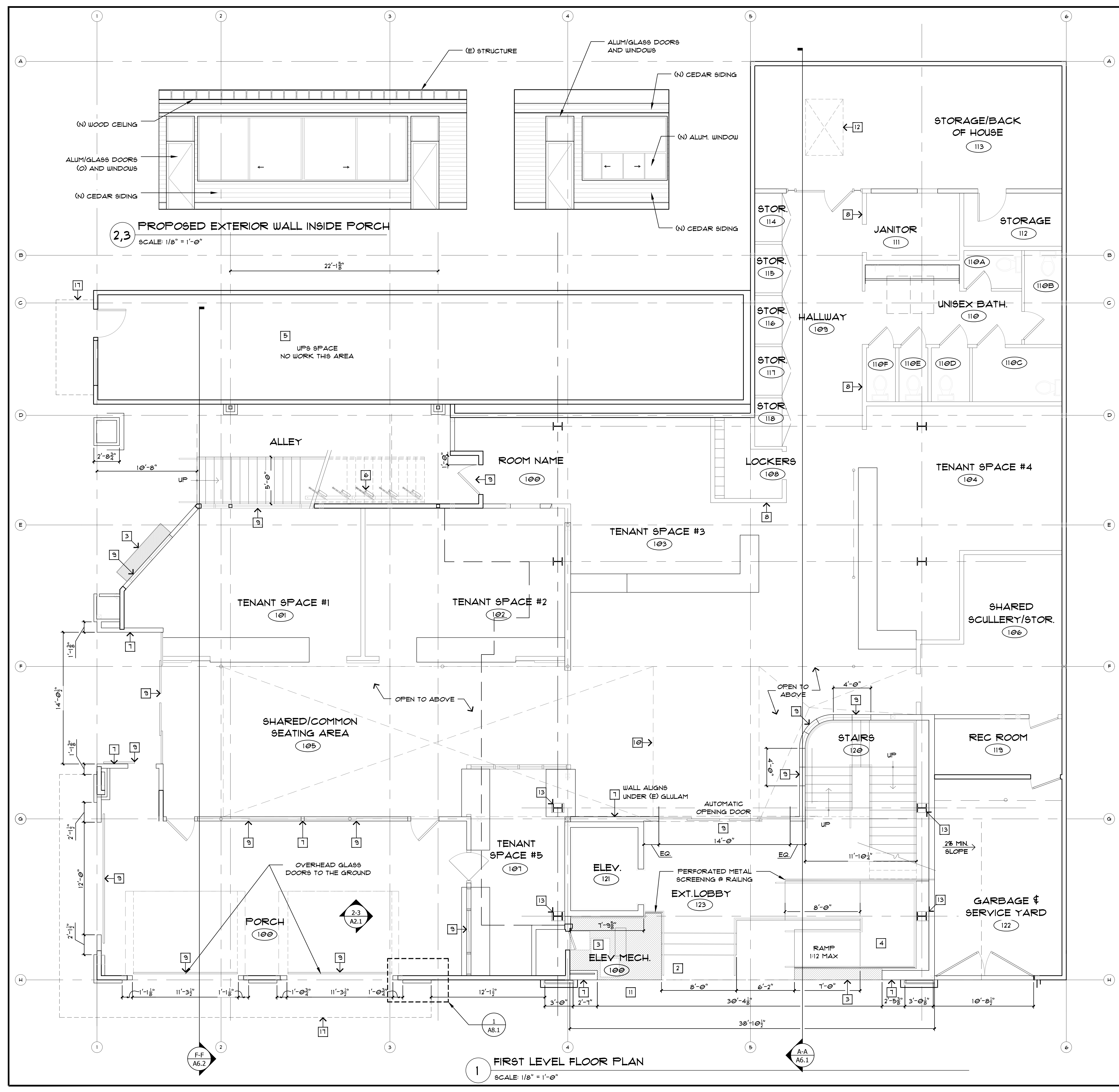
- EXT. WALL TO REMAIN
- INT. WALL TO REMAIN
- NEW WALLS

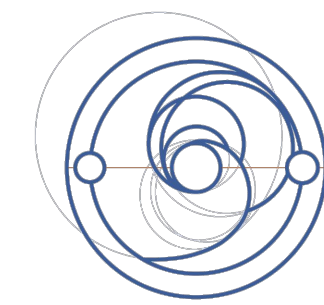
**THE BEALE GROUP
THE LIVERY PROJECT**

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949-054-020



FIRST LEVEL FLOOR PLAN
SHEET
A2.1
PDF DATE 11/30/20





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SHEET NOTES:

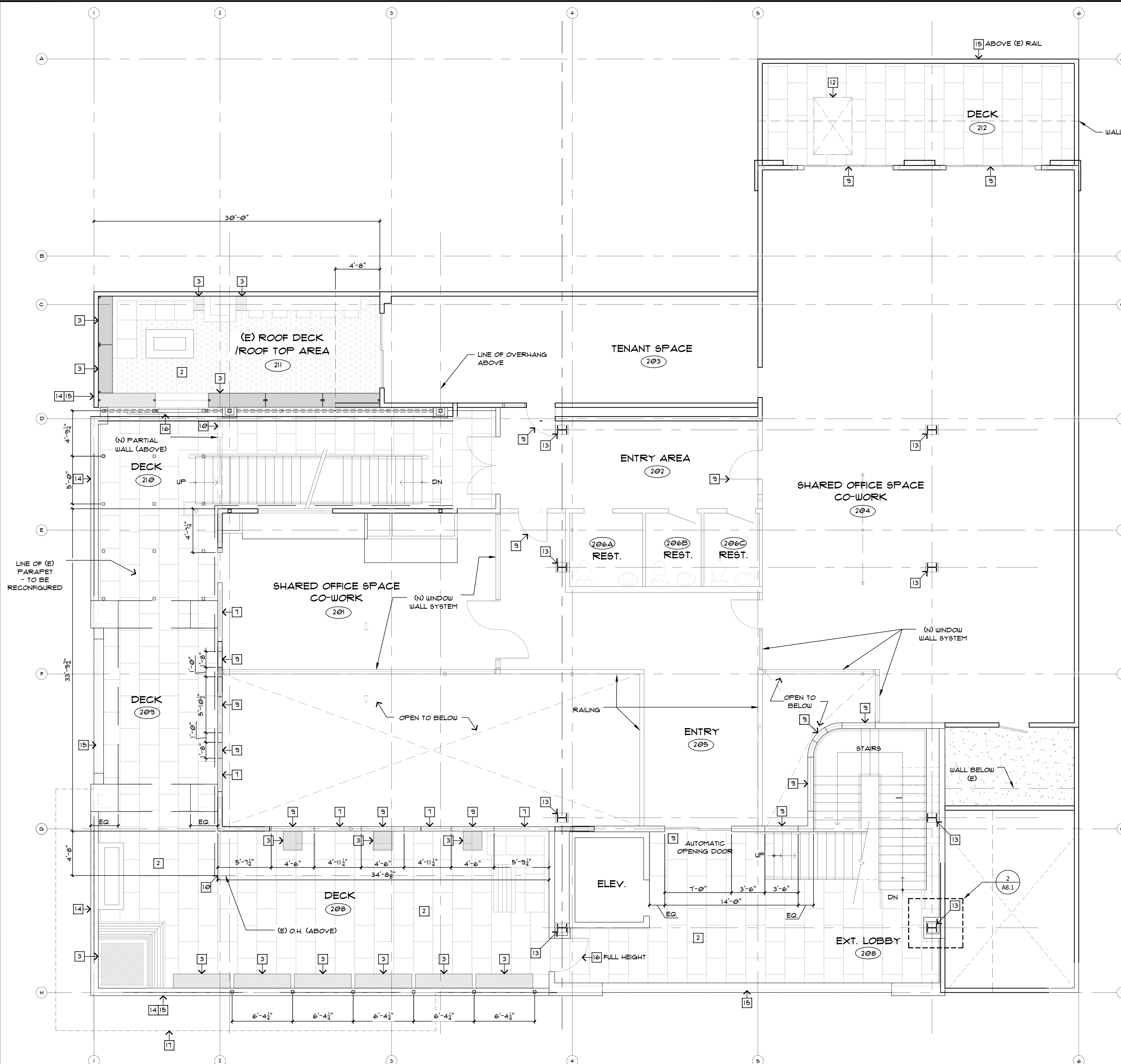
- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES

KEY NOTES:

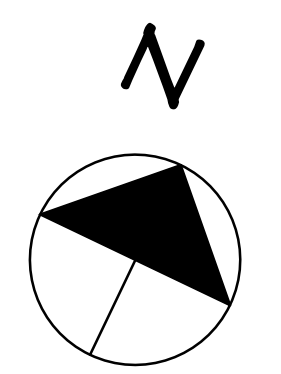
1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

LEGEND:

[Symbol]	NEW WALLS
[Symbol]	NEW PARAPET

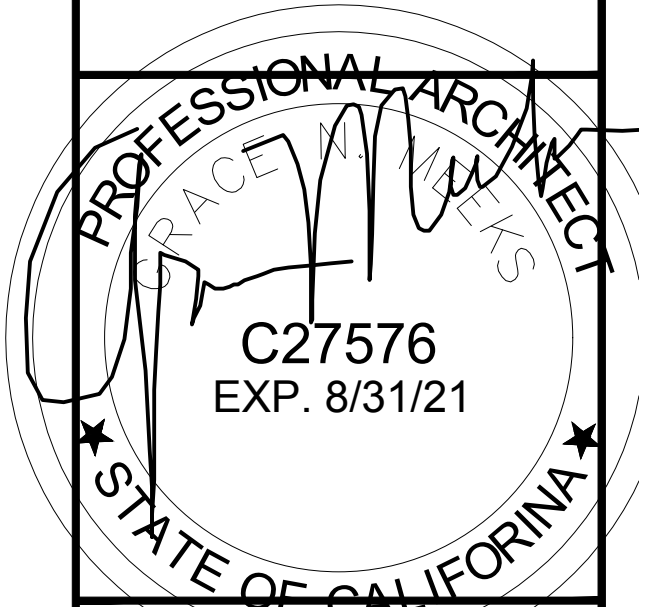


1 SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



THE BEALE GROUP
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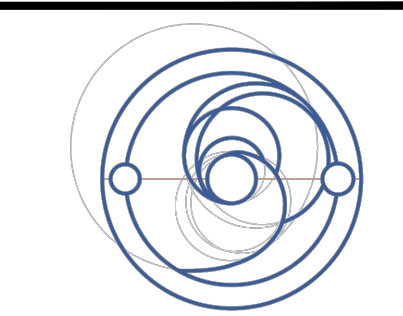


SECOND LEVEL FLOOR PLAN

SHEET
A2.2

PDF DATE 11/30/20

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GP
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	12/11/20	RESUBMITTAL - PLATFORM UPDATE			



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SHEET NOTES:

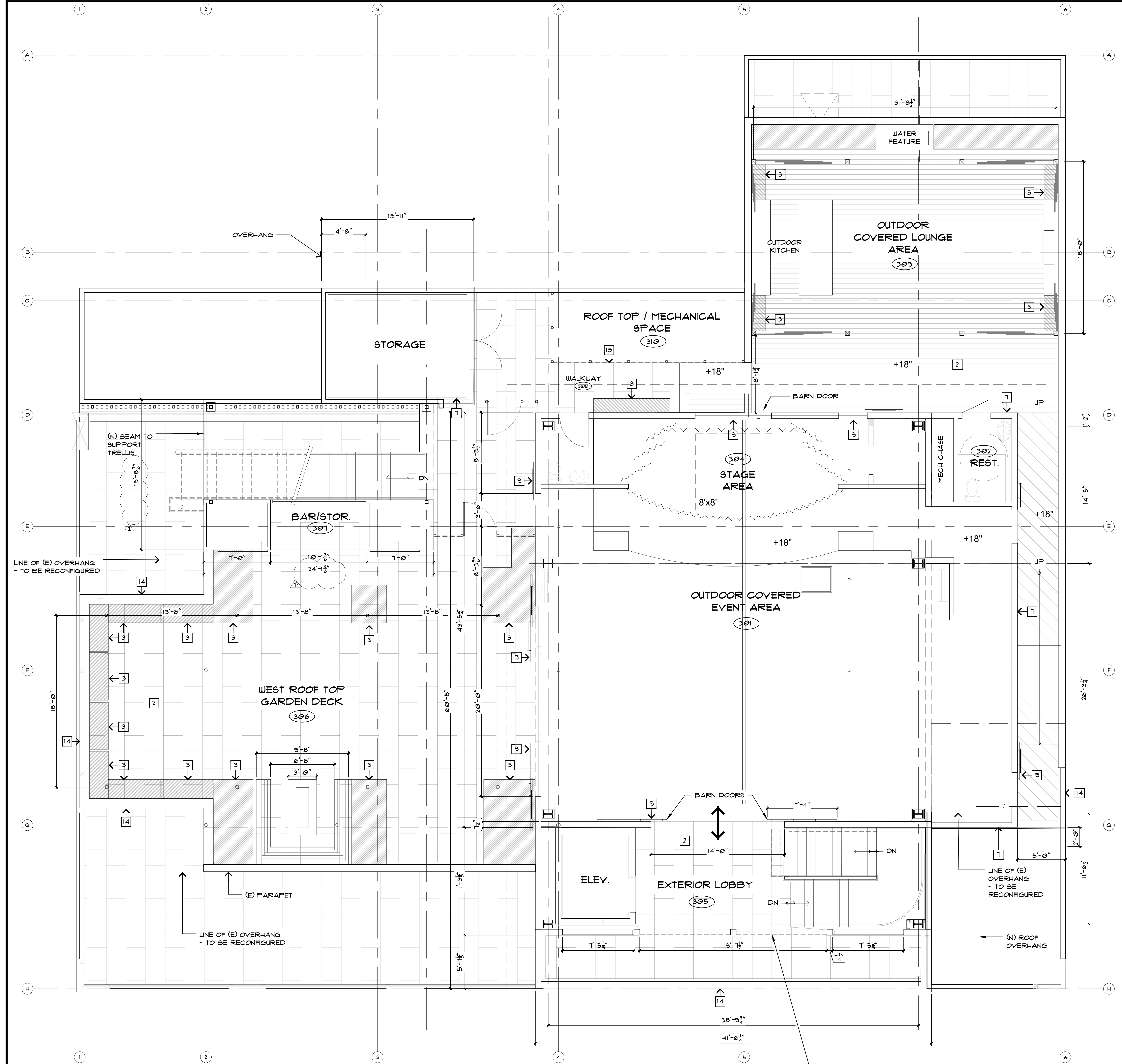
- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PLANTS, PLANTERS AND TRELLISES.

KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

LEGEND:

- EXT. PARAPET TO REMAIN
- NEW WALLS
- NEW PARAPET

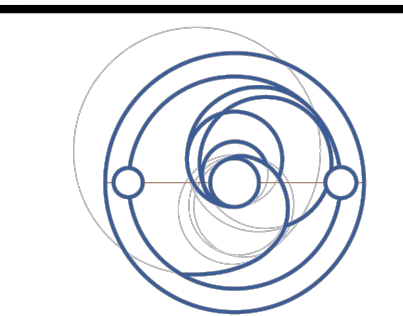


1 THIRD LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

THE BEALE GROUP
THE LIVERY PROJECT
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THIRD LEVEL FLOOR PLAN
SHEET
A2.3
PDF DATE 11/30/20



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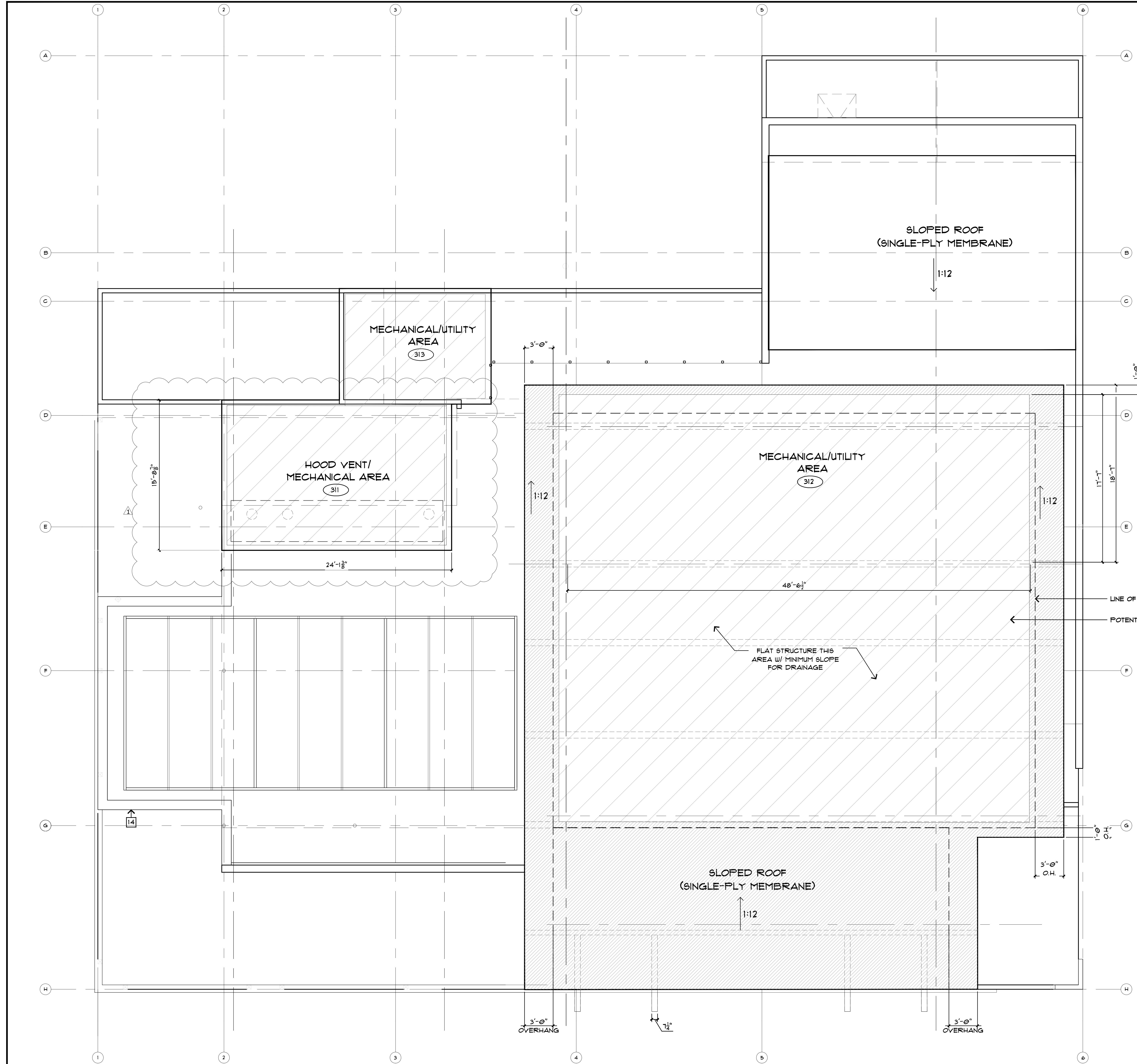
KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	(E) BUILDING - NO WORK
6	BICYCLE RACK
7	(N) EXT. WALL
8	(N) INT. WALL
9	(N) WINDOW/DOOR/OVERHEAD DOOR
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) STEEL COLUMN
14	(N) PARAPET
15	(N) STEEL RAILING

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
09/15/20		DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
10/21/20		RESUBMITTAL - ROOF UPDATE			
12/11/20		RESUBMITTAL - PLATFORM UPDATE			
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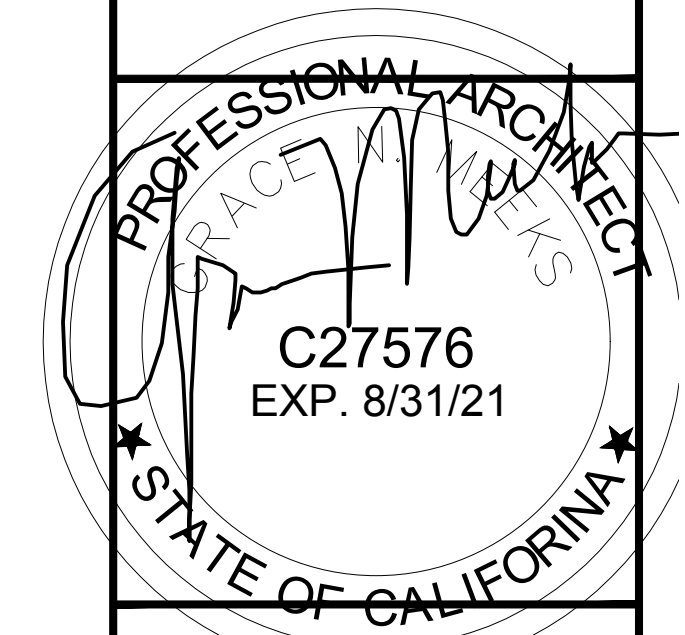
LEGEND:

- EXT. PARAPET TO REMAIN
- NEW WALLS
- NEW PARAPET



1 THIRD LEVEL ROOF PLAN
SCALE: 1/8" = 1'-0"

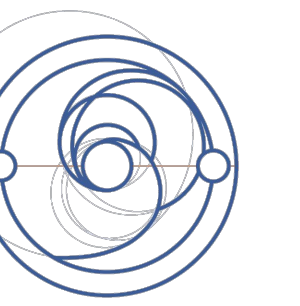
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THIRD LEVEL
ROOF PLAN

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1 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"

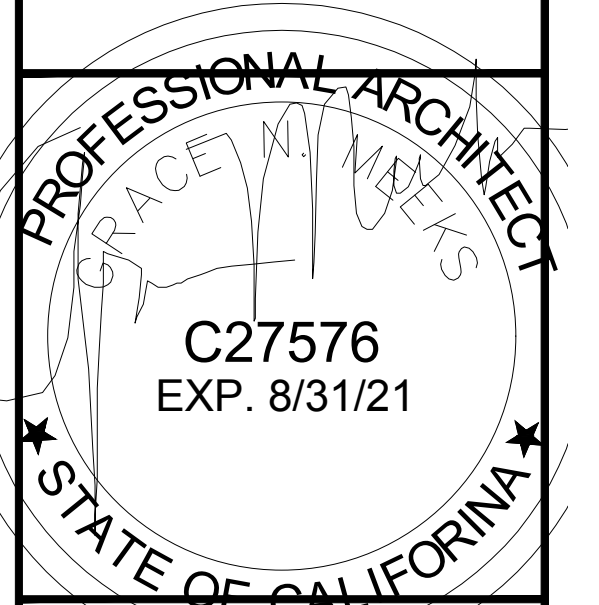


2 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			

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THE LIVERY PROJECT

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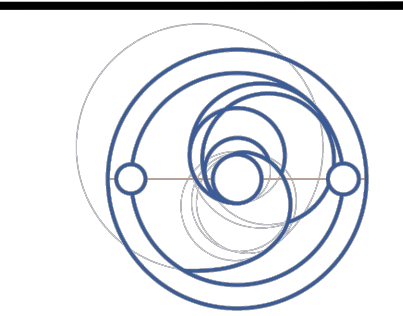


EXISTING
ELEVATIONS

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DATE 11/30/20

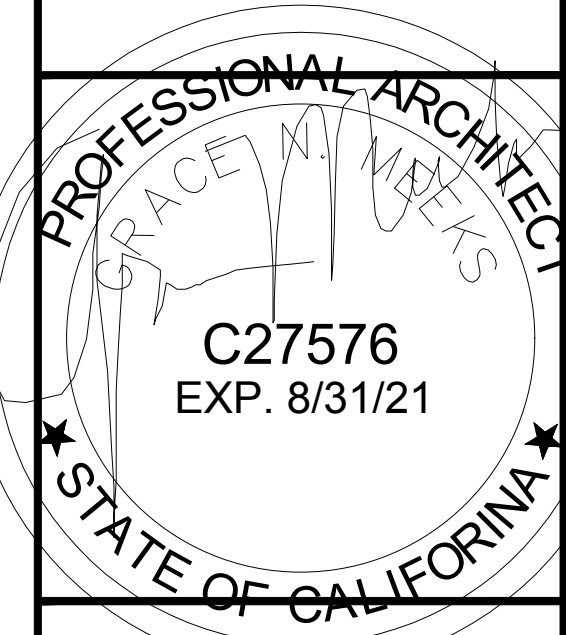


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	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					

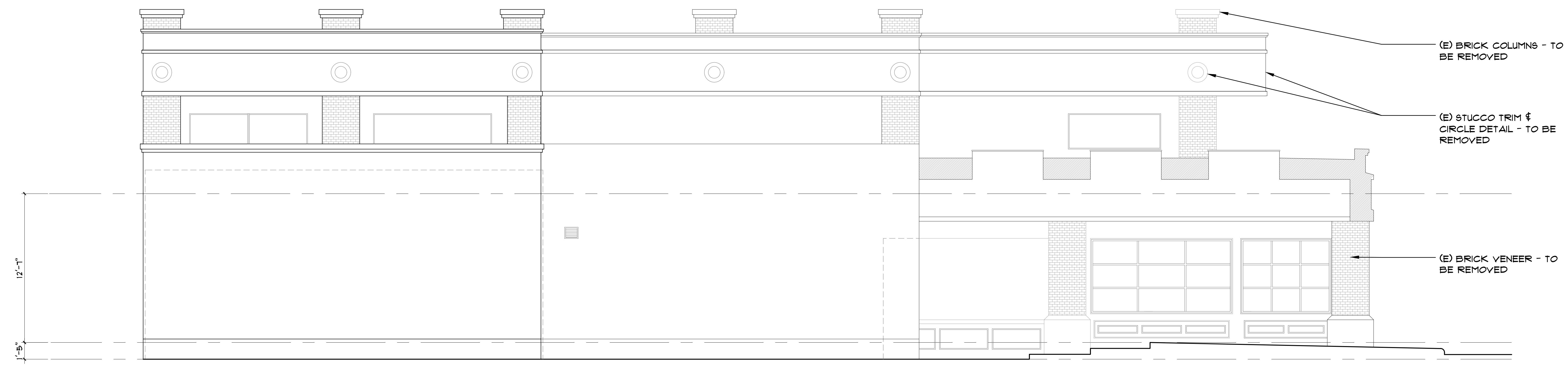
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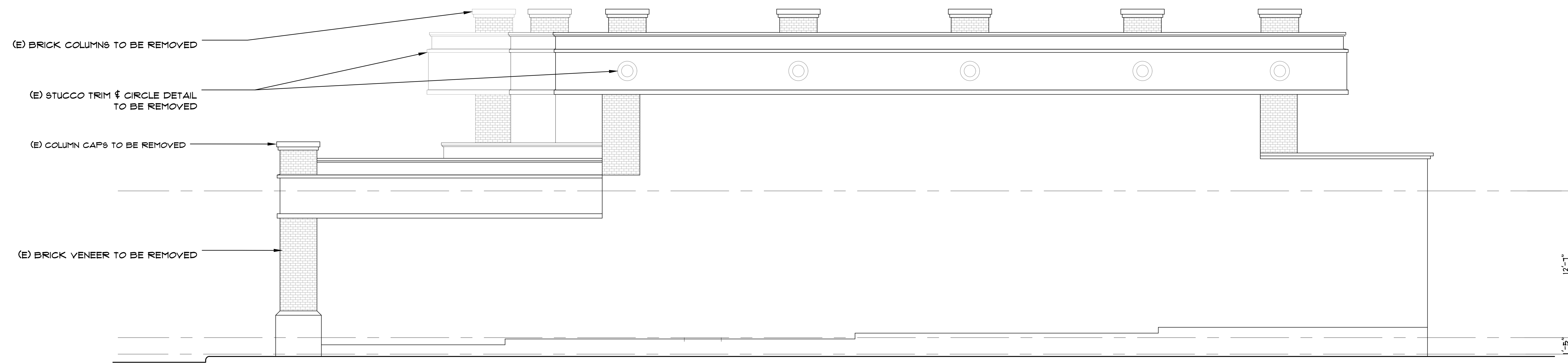
EXISTING
ELEVATIONS

SHEET
A5.2

PDF
DATE 11/30/20



1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



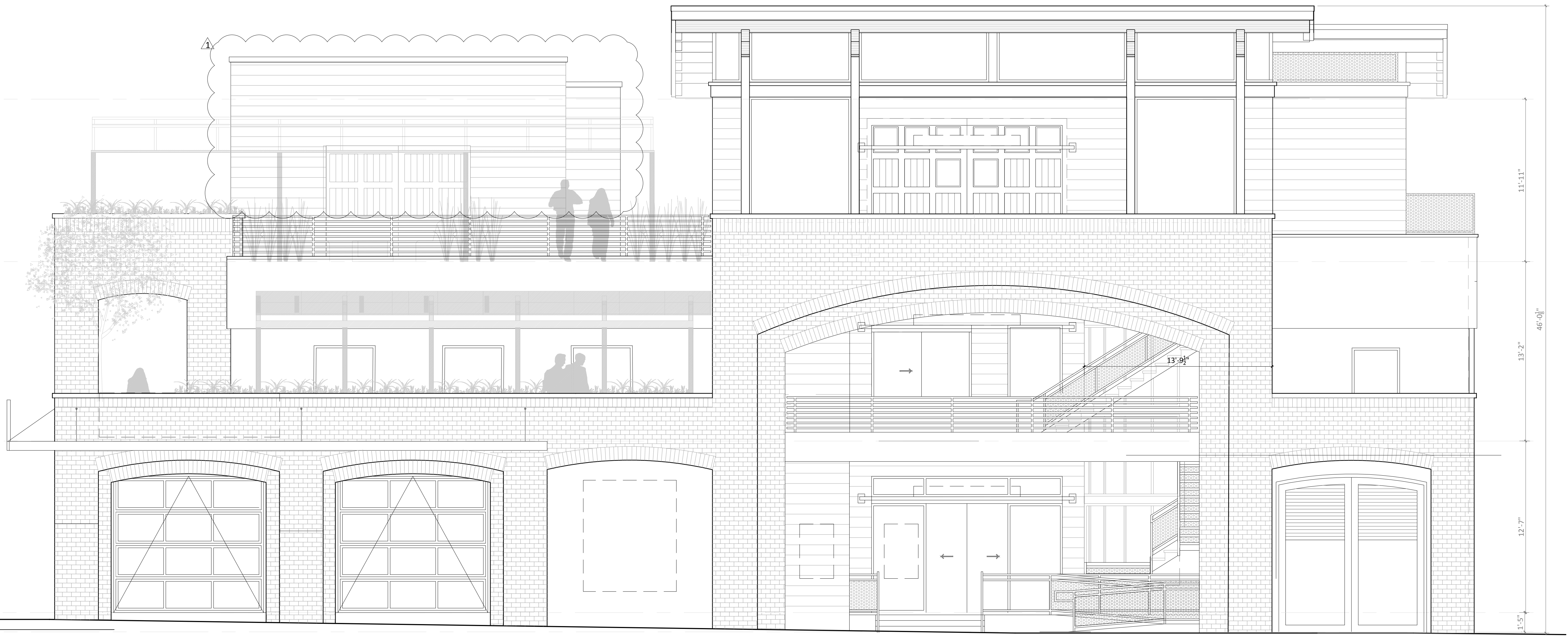
SHEET NOTES:
 1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE PLANTS, PLANTERS AND TRELLISES.

KEY NOTES:

- Exterior Finishes:
- EF 1 Brick -- Thin brick
 - EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
 - EF 3 Stucco -- Three-layer system - Integral color
 - EF 4 Cedar Siding -- Clear finish
 - EF 5 Wood Trim/Wrap -- Cedar
 - EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
 - EF 7 Paint -- Paint existing stucco (when accessible)
 - EF 8 Concrete
 - EF 9 Brick Cap
 - EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
 - EF 11 Concrete Paving
 - EF 12 Cedar stair treads
 - EF 13 Perforated Metal
 - EF 14 Concrete -- Existing
 - EF 15 Overhead glass door
 - EF 16 Automatic sliding doors
 - EF 17 Bifold glass doors
 - EF 18 Door/Window
 - EF 19 Cedar Trellis
 - EF 20 Roofing
 - EF 21 Awning
 - EF 22 Barn Doors
 - EF 23 Metal - Painted
 - EF 24 Signage Location

1 PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"

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	10/21/20	RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	
	12/11/20	RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	



2 PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

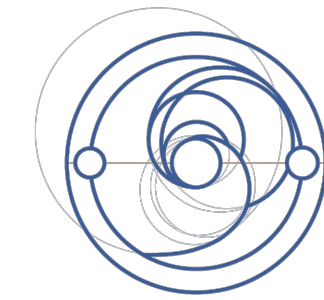
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PROPOSED ELEVATIONS

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SHEET NOTES:

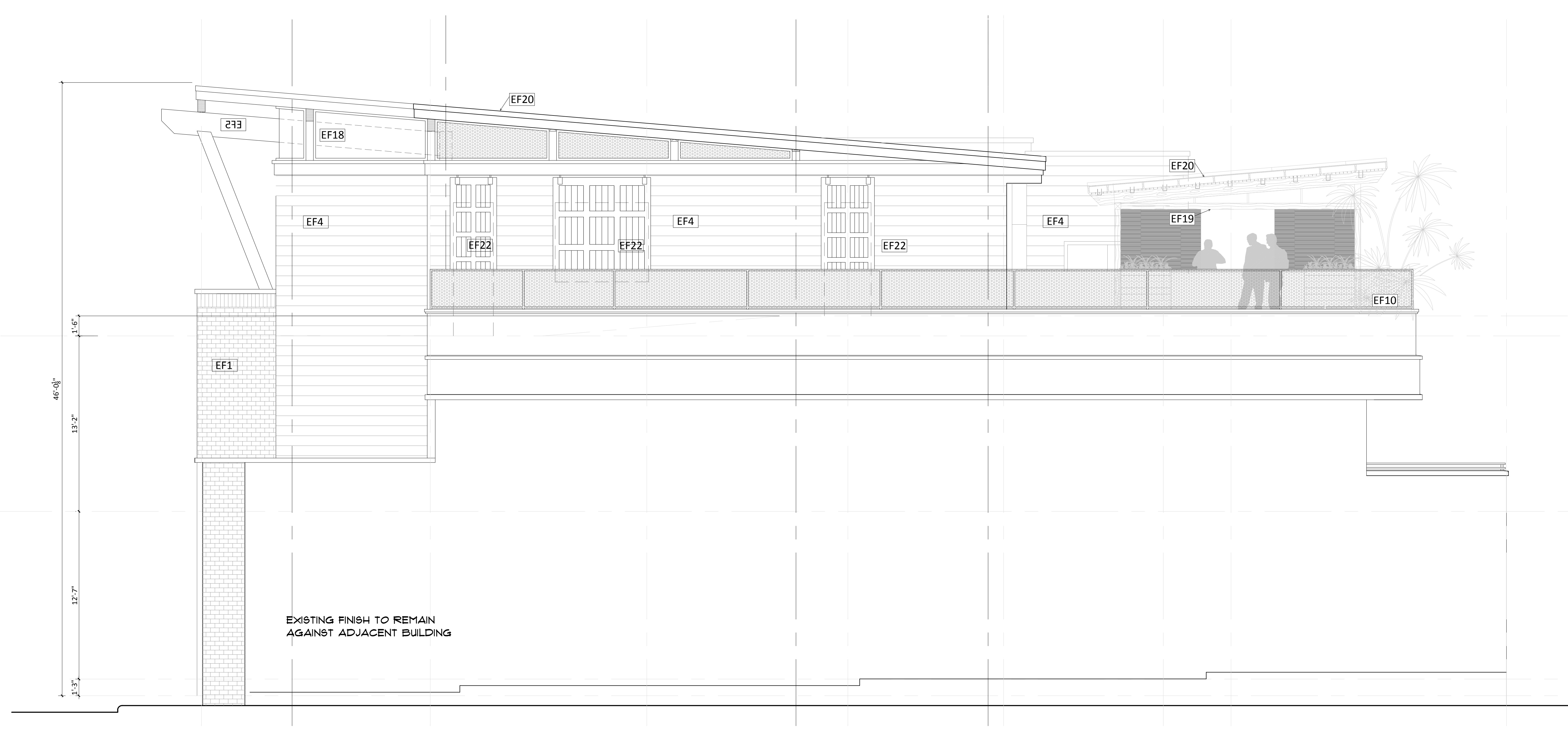
- 1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE PLANTS, PLANTERS AND TRELLISES.

KEY NOTES:

Exterior Finishes:

- EF 1 Brick -- Thin brick
- EF 2 Stucco -- Finish layer o/ the (E) stucco.- Integral color
- EF 3 Stucco -- Three-layer system - Integral color
- EF 4 Cement board siding - dark grey paint
- EF 5 Wood Trim -- Cedar
- EF 6 Wood soffit/ceiling - Cedar or finish grade plywood
- EF 7 Paint -- Paint existing stucco (when accessible)
- EF 8 Concrete
- EF 9 Brick Cap
- EF 10 Steel tube railing - 1-1/2" x 1-1/2" black - painted
- EF 11 Concrete Paving
- EF 12 Cedar stair treads
- EF 13 Perforated Metal -- Blackish - painted
- EF 14 Concrete -- Existing
- EF 15 Overhead glass door
- EF 16 Automatic sliding doors
- EF 17 Bifold glass doors
- EF 18 Door/Window
- EF 19 Cedar Trellis
- EF 20 Roofing
- EF 21 Awning
- EF 22 Barn Doors
- EF 23 Metal - Painted
- EF 24 Signage Location

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/11/20	RESUBMITTAL - PLATFORM UPDATE			
Δ					



2 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

THE BEALE GROUP
THE LIVERY PROJECT

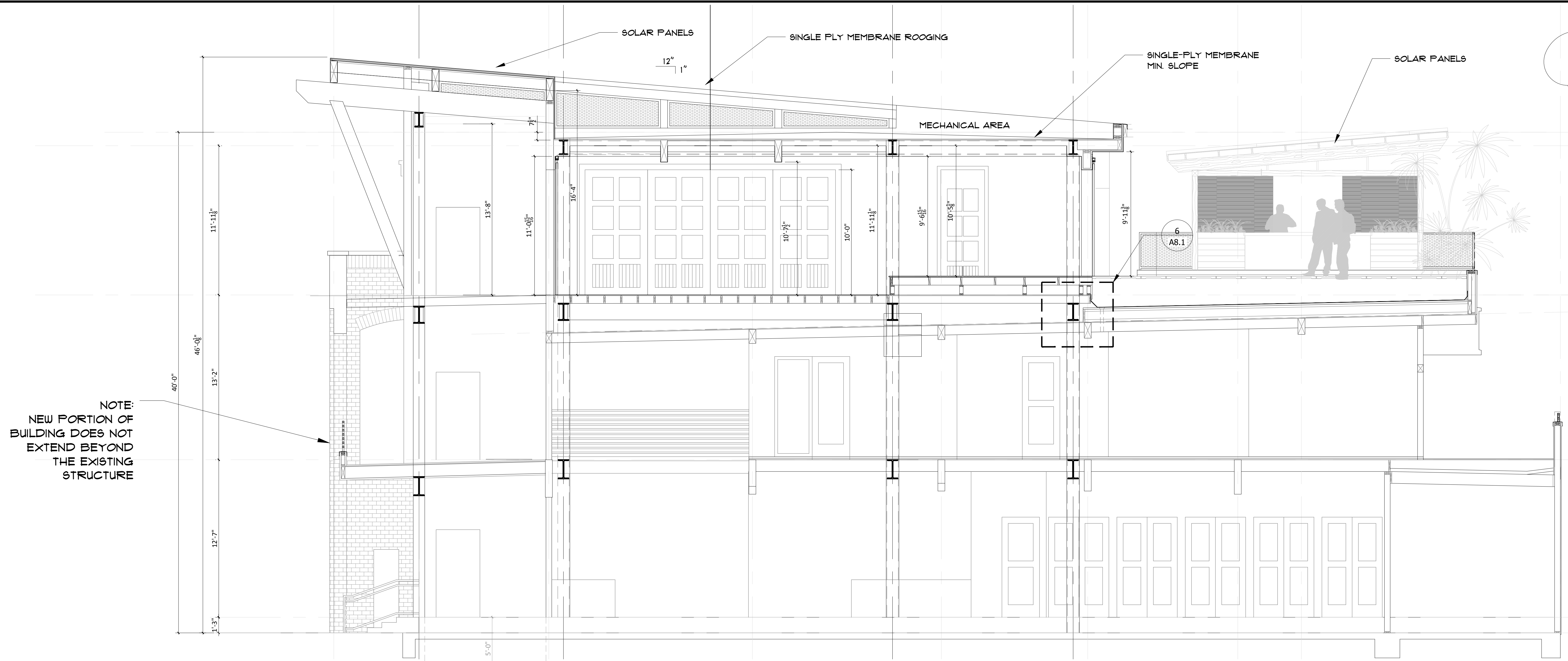
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



PROPOSED ELEVATIONS

SHEET
A5.4

PDF DATE 11/30/20



SHEET NOTES:
 1. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE PLANTS, PLANTERS AND TRELLISES.

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NOTE:
 NEW PORTION OF BUILDING DOES NOT EXTEND BEYOND THE EXISTING STRUCTURE

2 PROPOSED SECTION A-A
 SCALE 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/1/20	RESUBMITTAL - PLATFORM UPDATE			
△					

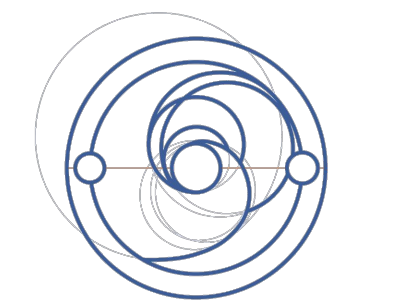
THE BEALE GROUP
THE LIVERY PROJECT
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 040-054-020



PROPOSED SECTIONS

SHEET
A6.1

PDF DATE 11/30/20



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LARGE STRUCTURAL MEMBERS ARE REQUIRED FOR THE SPAN. STACKING THE PERPENDICULAR MEMBERS CREATED THE DESIGN AND FEATURE OF THE BUILDING - THE RAFTERS

SECOND CRITICAL POINT - ELEVATOR MINIMUM CLEARANCE - 13'-8" (KONE ELEVATOR 3500LB CAPACITY)

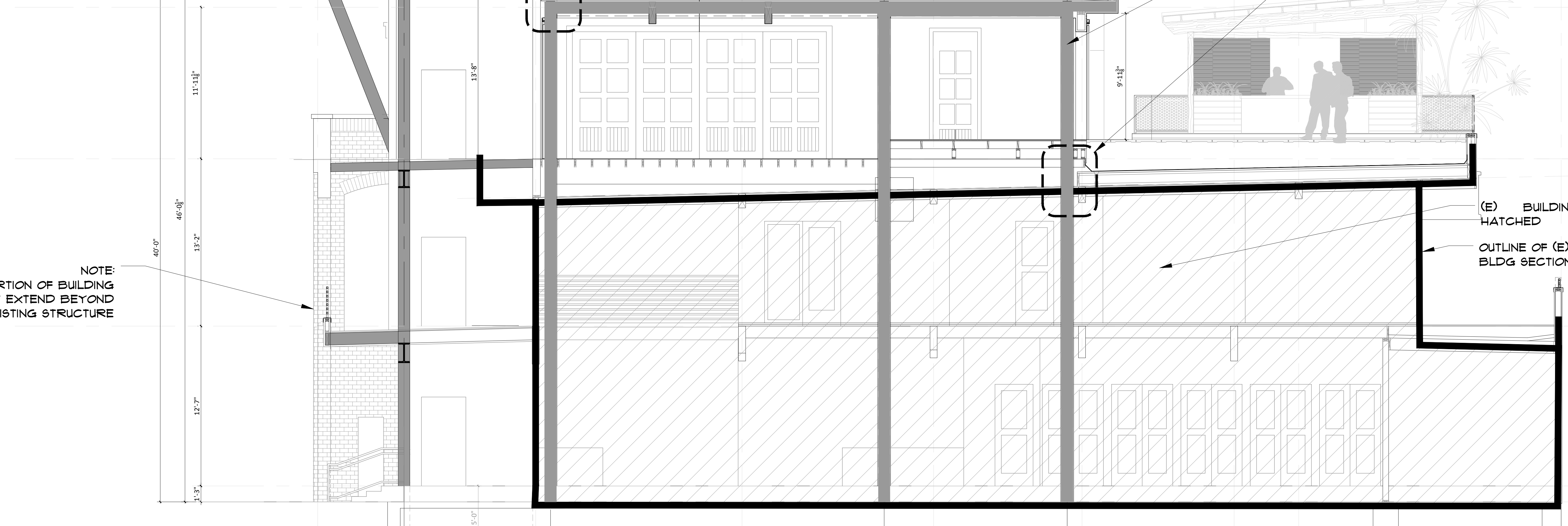
MINIMUM SLOPED ROOF/PARAPET (BEYOND)

(N) STEEL STRUCTURE FOR THIRD LEVEL

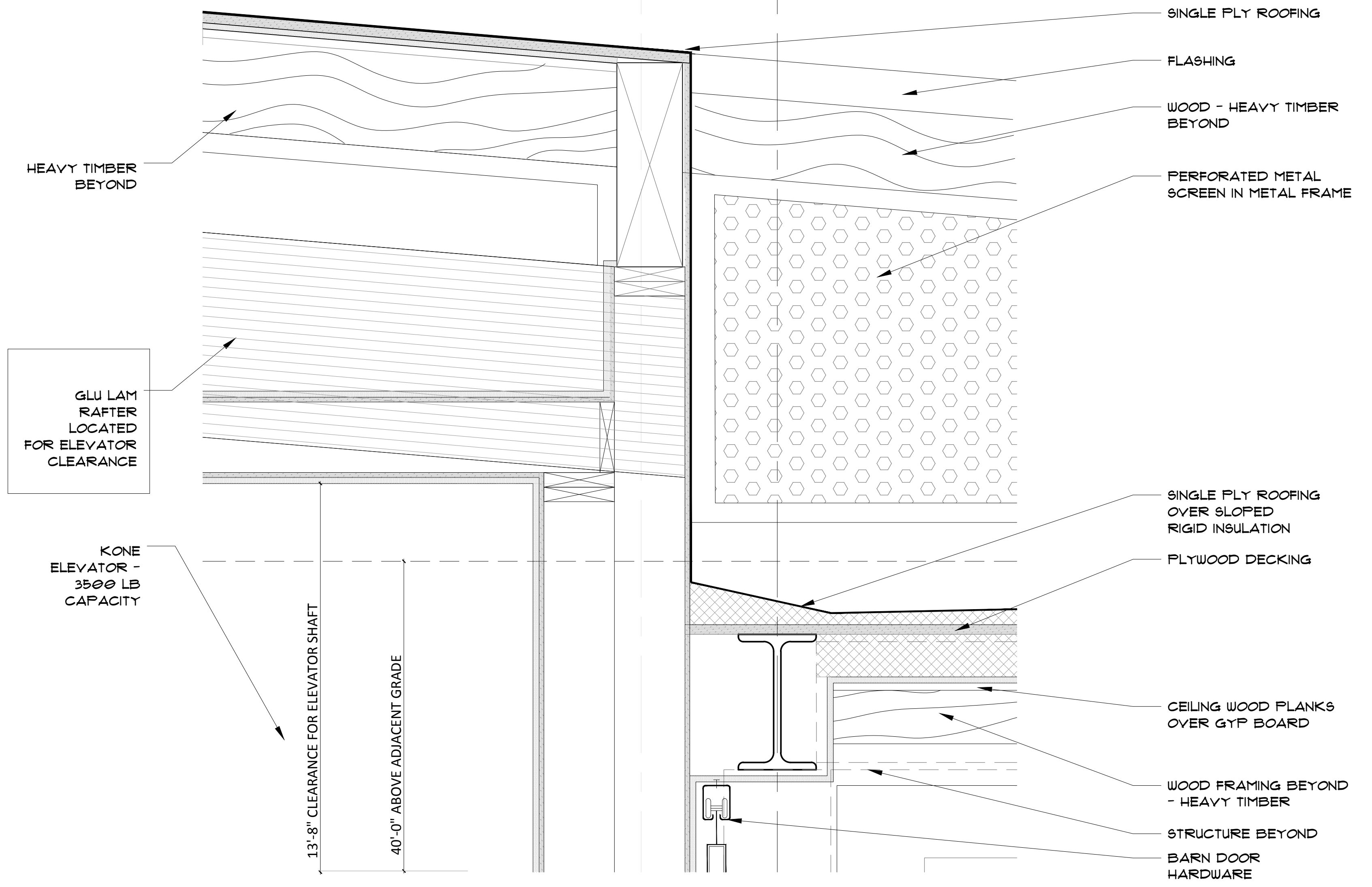
FIRST CRITICAL POINT - MINIMAL DISTANCE BETWEEN EXISTING STRUCTURE AND NEW STRUCTURE SEE DETAIL 2/A6.2

45' ABOVE ADJ. SIDEWALK

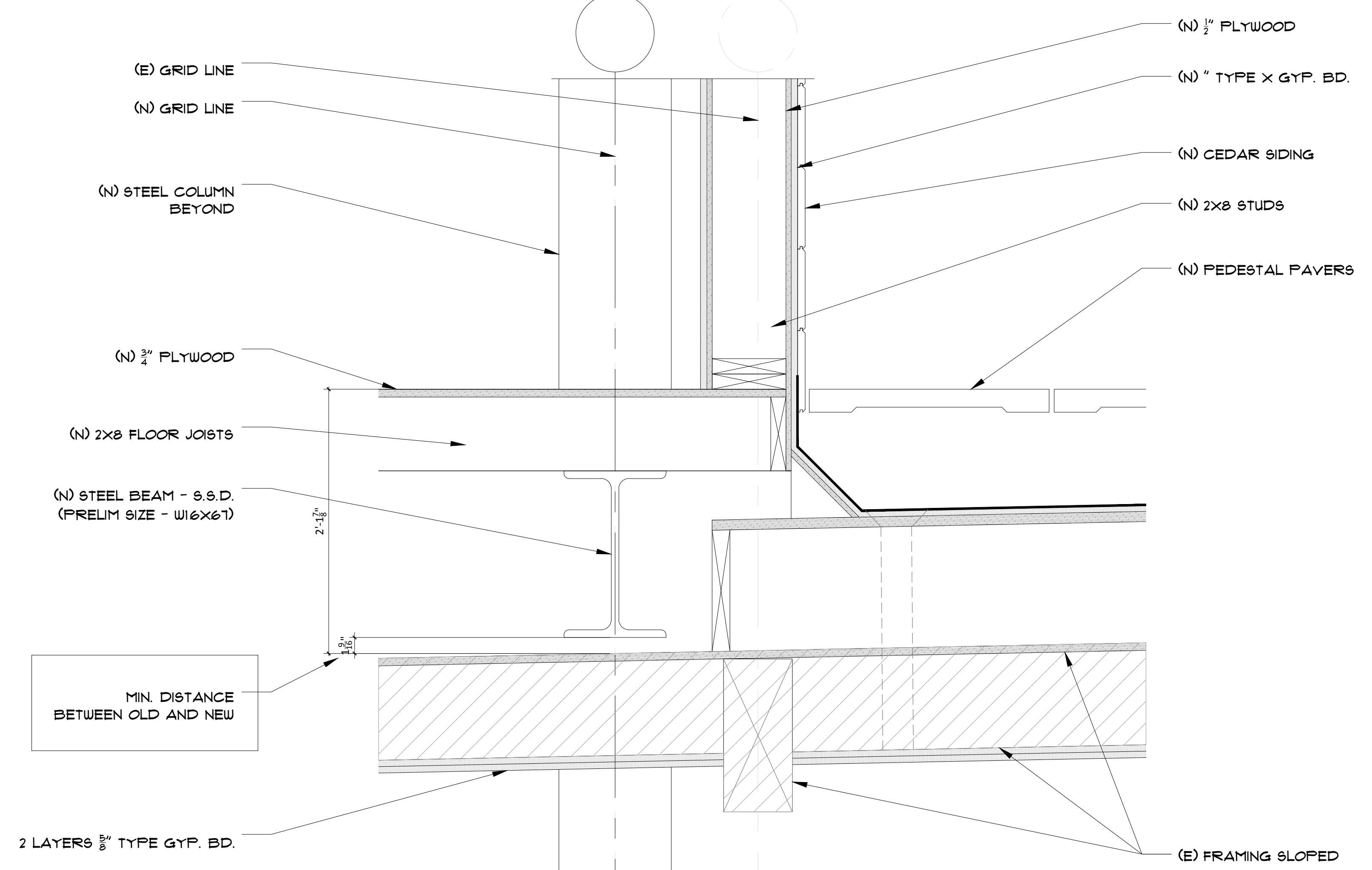
40' ABOVE ADJ. SIDEWALK



2 PROPOSED SECTION A-A - COMPARISON OF OLD AND NEW FRAMING
SCALE: 1/8" = 1'-0"



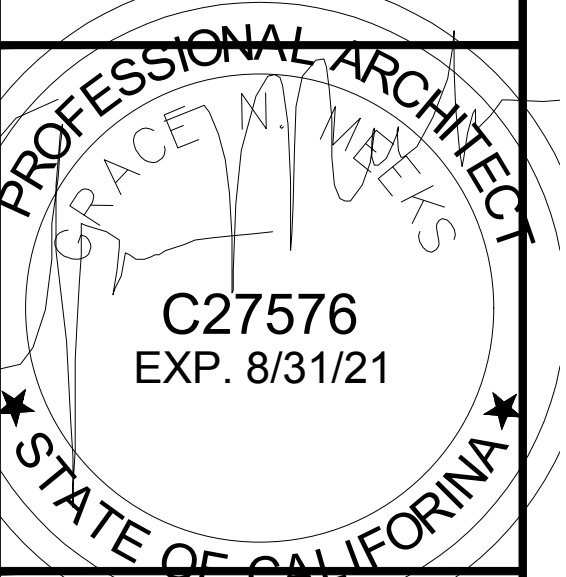
3 TOP OF ELEVATOR - SECOND CRITICAL POINT
SCALE: 3/4" = 1'-0"



2 (N) FRAMING OVER (E) FRAMING - FIRST CRITICAL POINT
SCALE: 3/4" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
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	10/21/20	RESUBMITTAL - ROOF UPDATE	GM, JN	GM, JN	GB
	12/11/20	RESUBMITTAL - PLATFORM UPDATE	GM, JN	GM, JN	GB

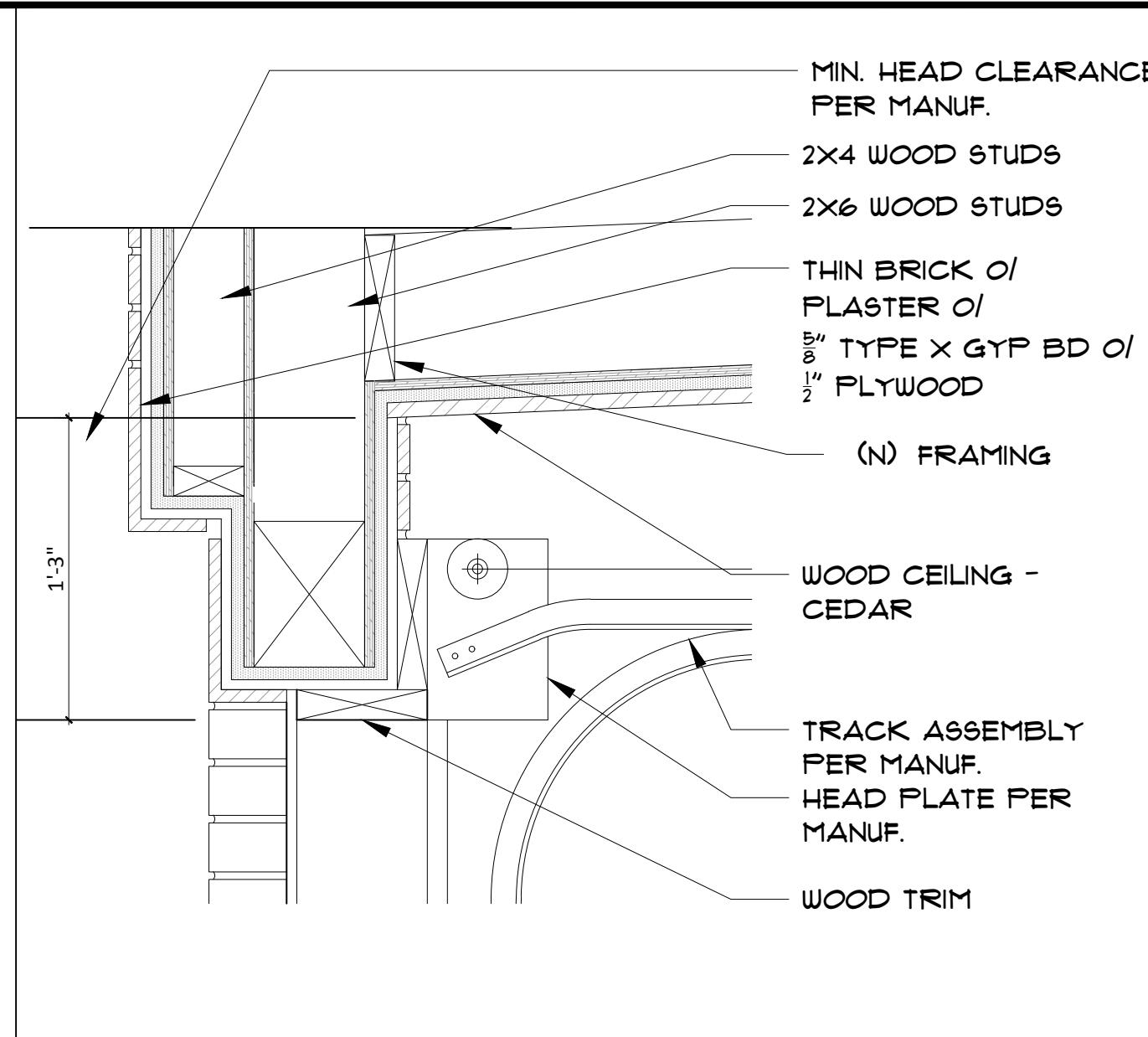
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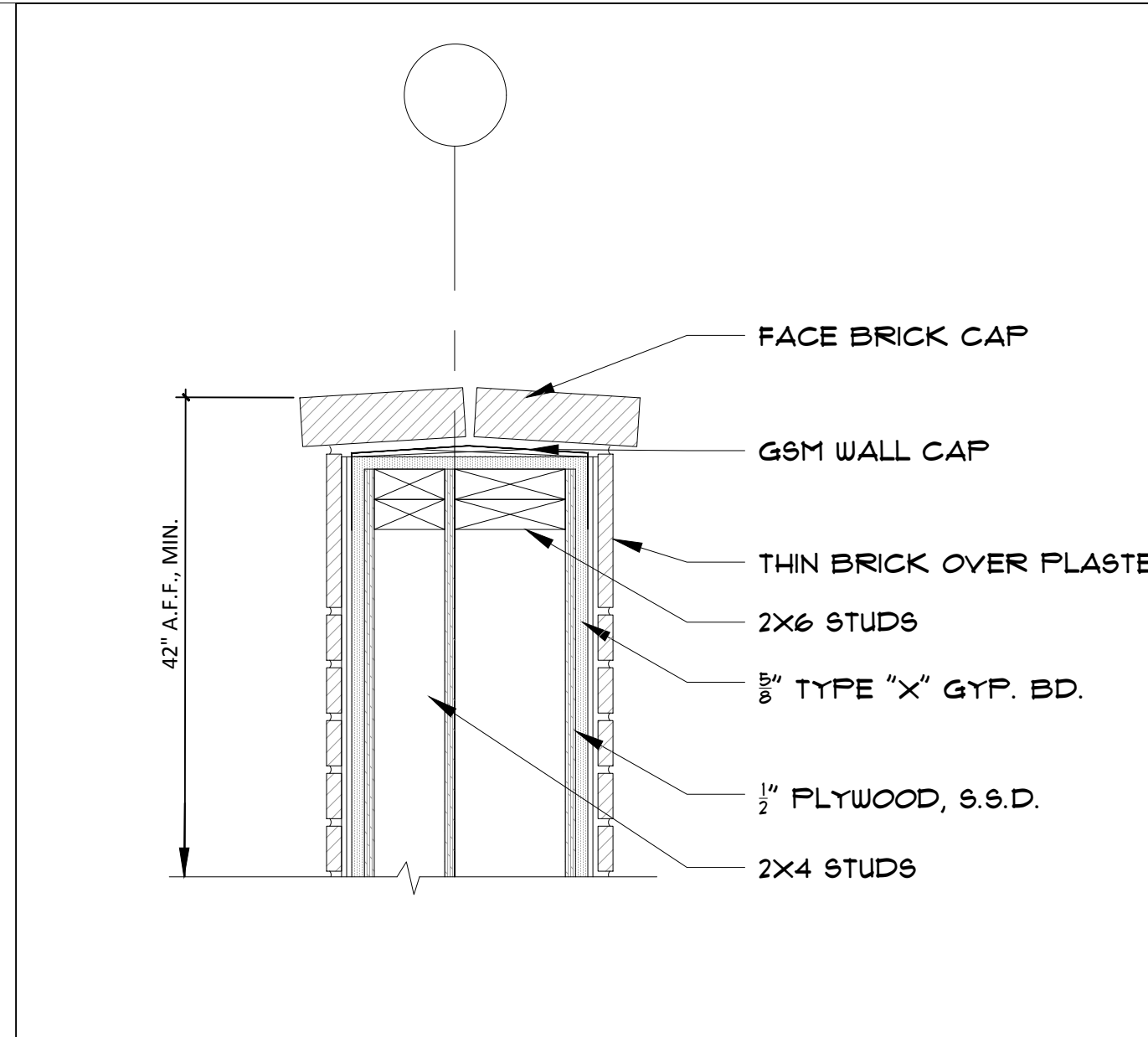
PROPOSED SECTIONS
SHEET
A6.2
PDF DATE 11/30/20

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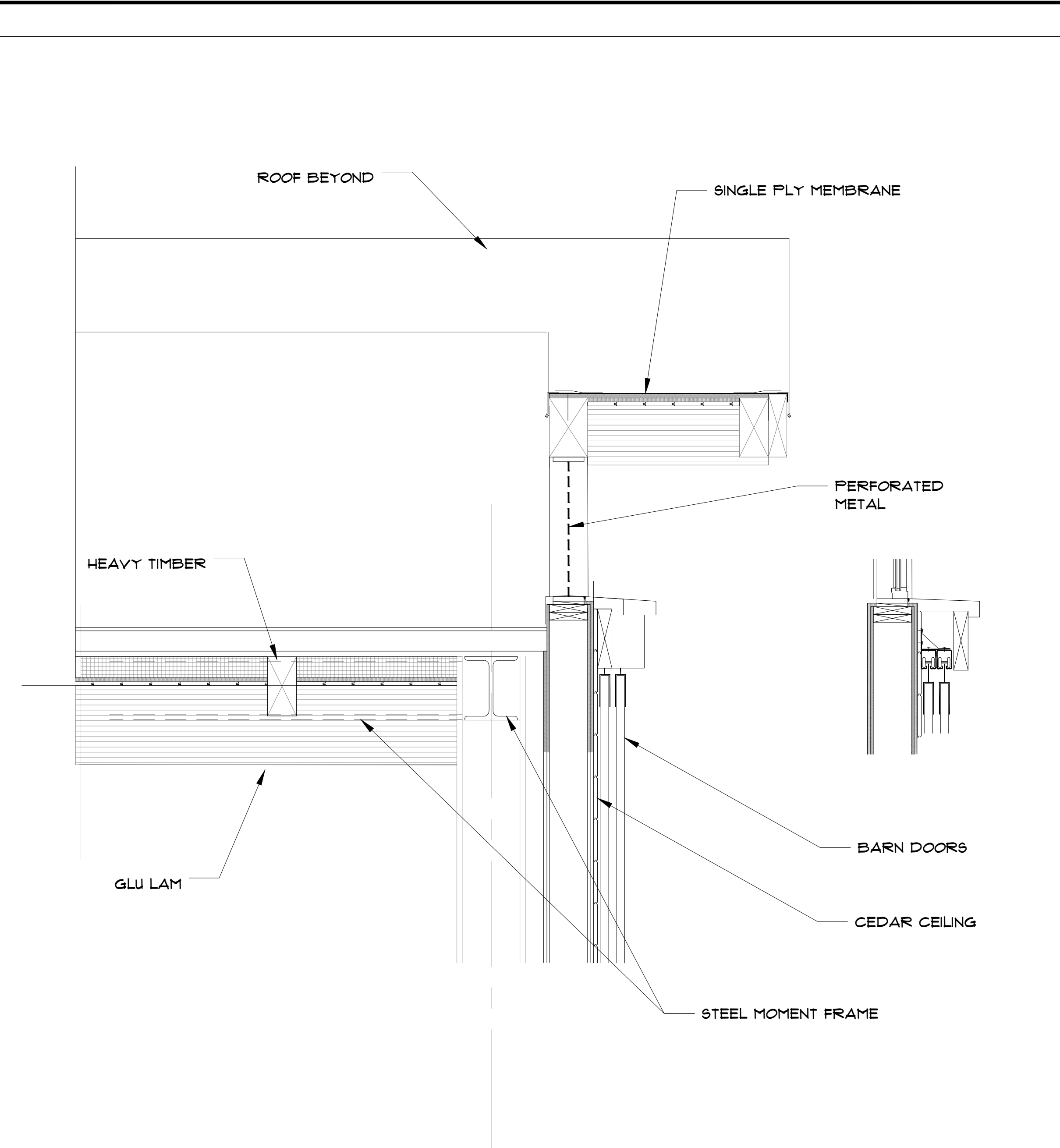
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	09/15/20	DESIGN REVIEW SUBMITTAL	GM, JN	GM, JN	GB
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	12/11/20	RESUBMITTAL - PLATFORM UPDATE			



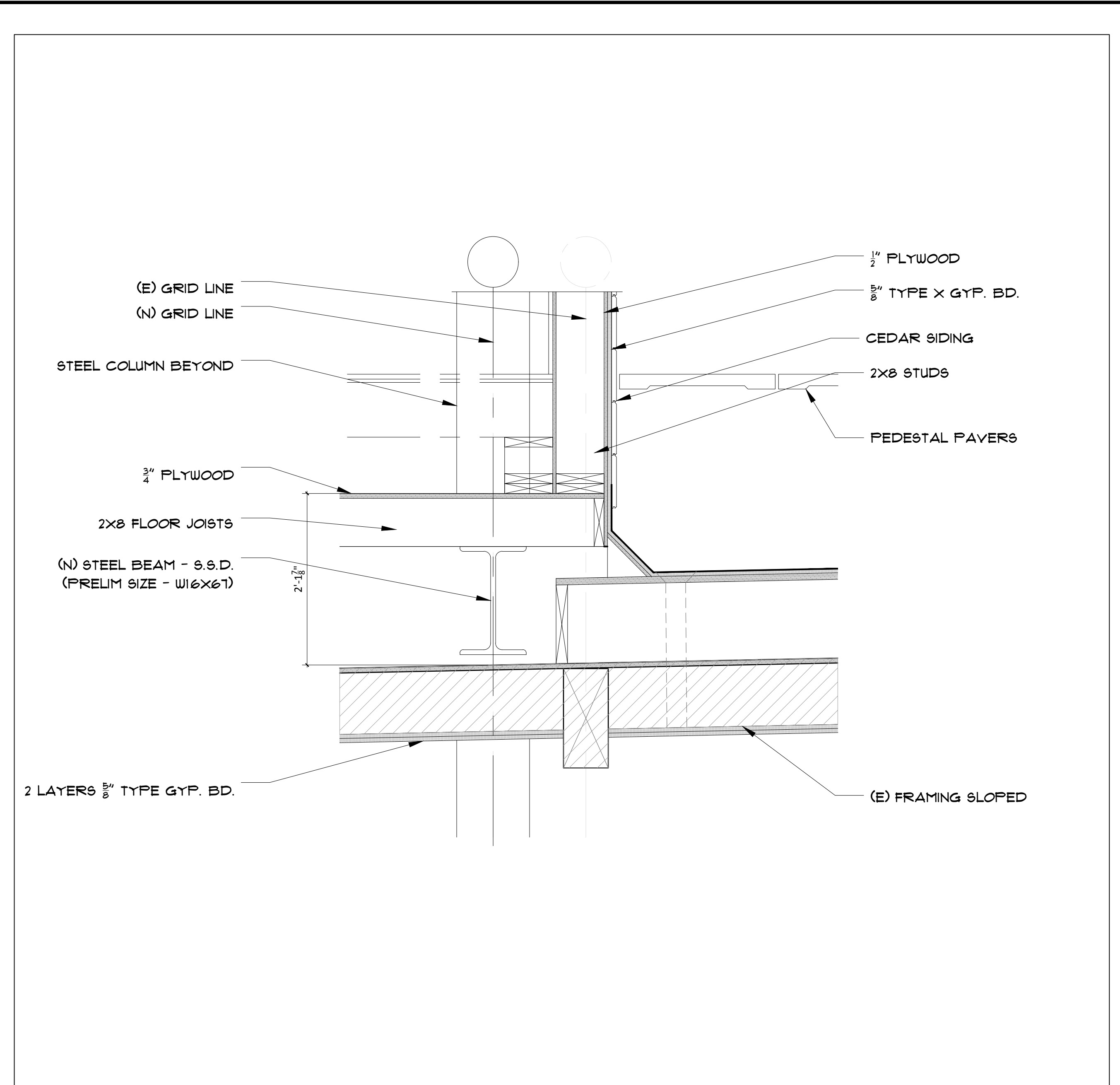
9 OVERHEAD DOOR HEAD
SCALE: 3/4" = 1'-0"



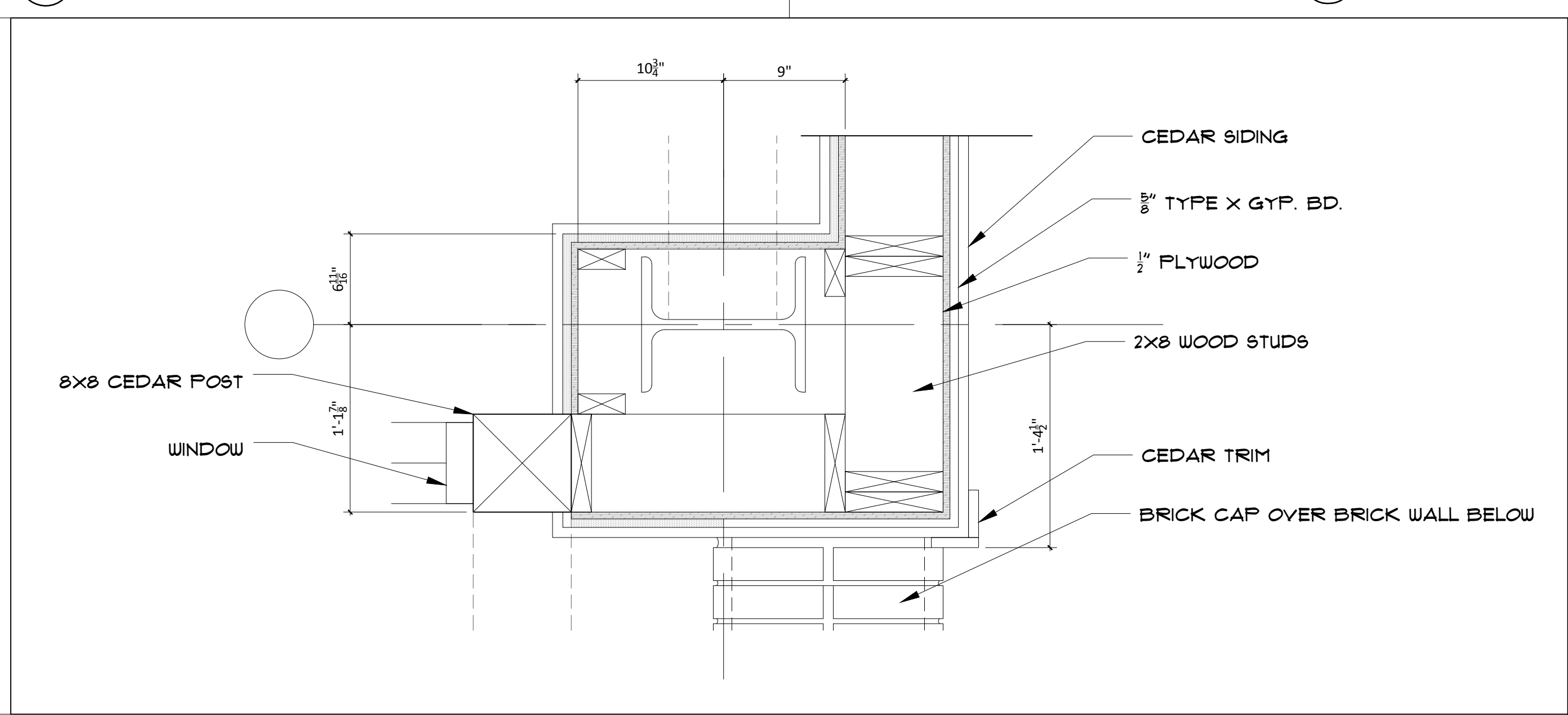
8 BRICK CAP
SCALE: 3/4" = 1'-0"



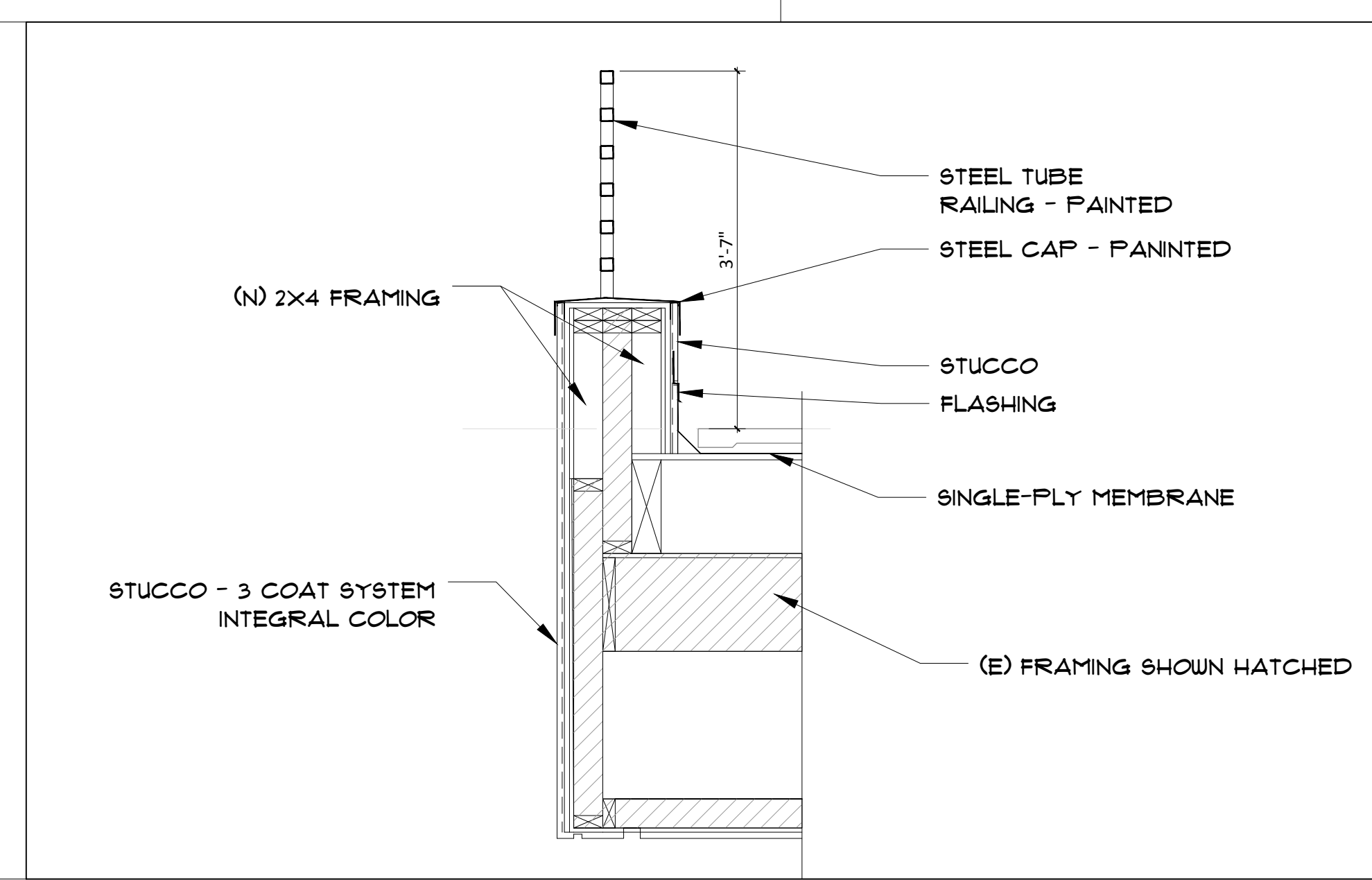
7 THIRD LEVEL EXTERIOR WALL/ROOF
SCALE: 3/8" = 1'-0"



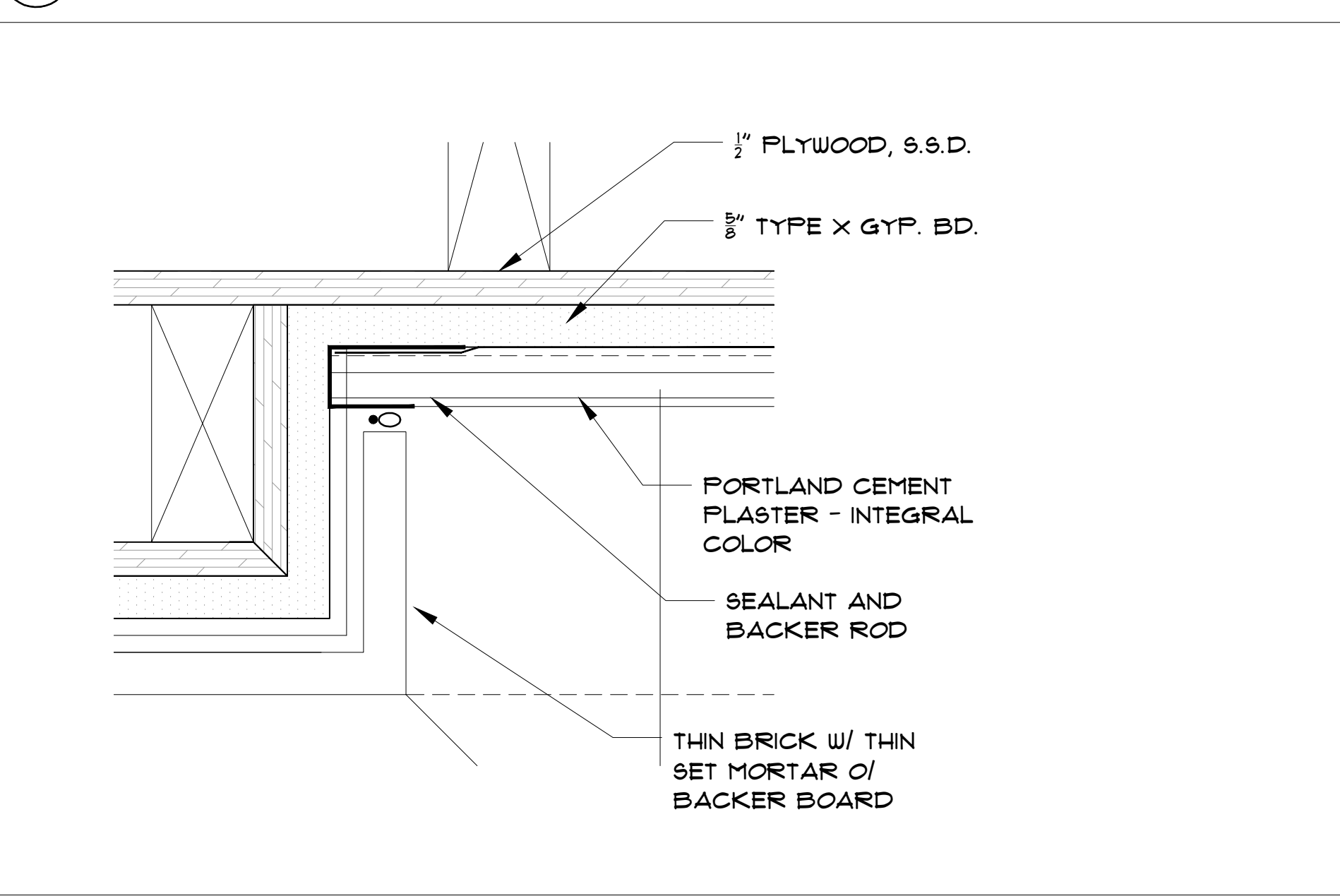
6 (E) ROOF AT (N) THIRD LEVEL
SCALE: 1/2" = 1'-0"



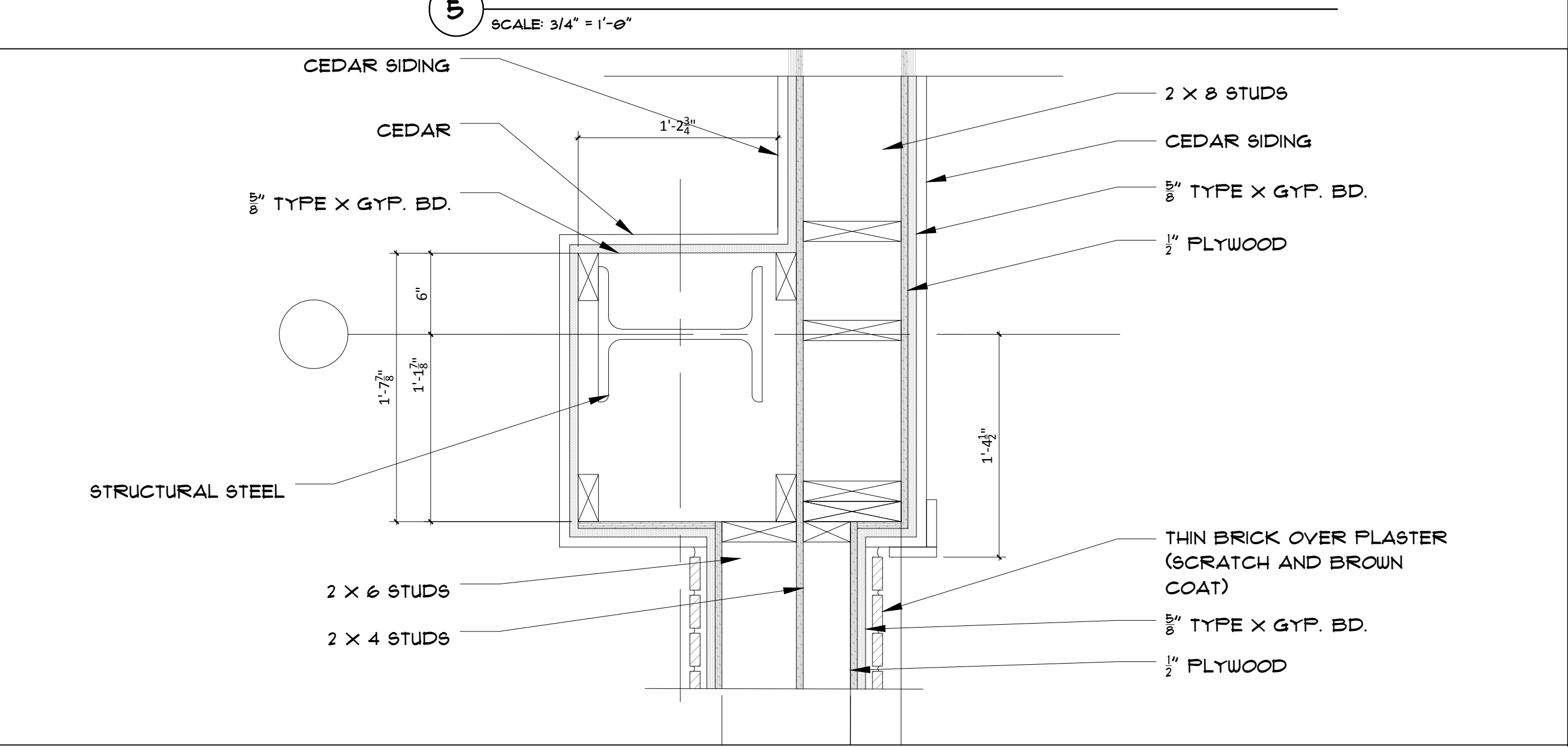
5 PLAN DETAIL - BRICK / SIDING JOINT
SCALE: 3/4" = 1'-0"



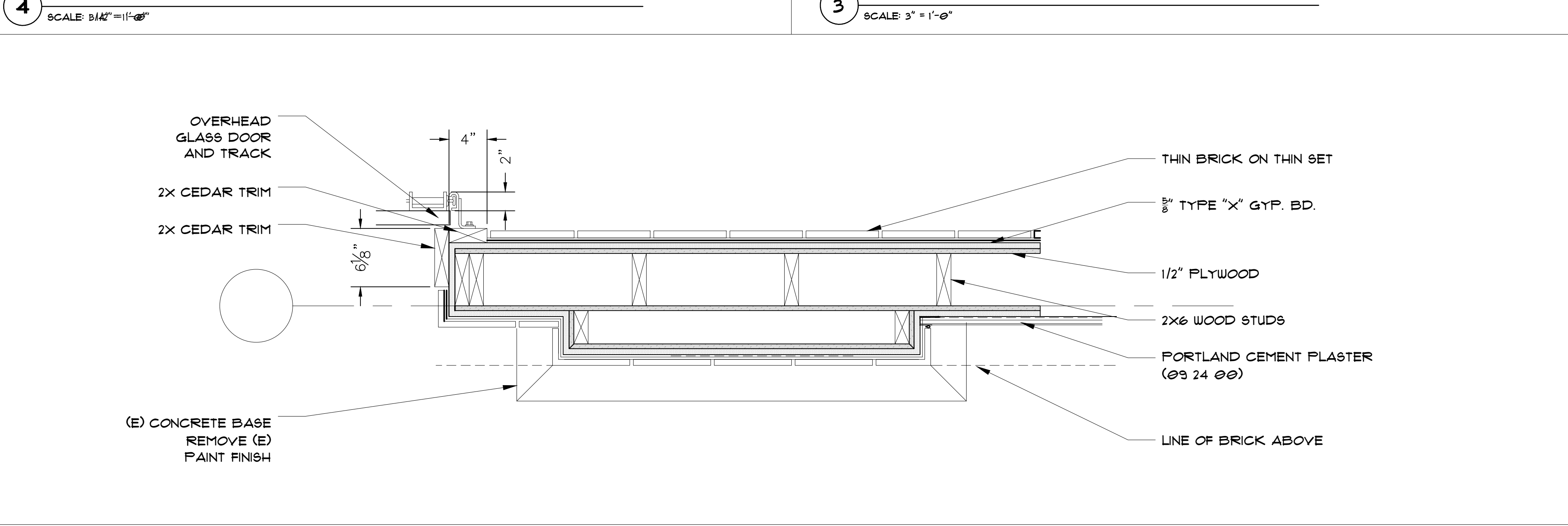
4 THIRD LEVEL RAILING
SCALE: 3/4" = 1'-0"



3 INSIDE JOINT AT BRICK AND STUCCO
SCALE: 3" = 1'-0"



2 PLAN DETAIL - BRICK / SIDING JOINT
SCALE: 3/4" = 1'-0"



1 PLAN DETAIL / OVERHEAD DOOR JAMB
SCALE: 3/4" = 1'-0"

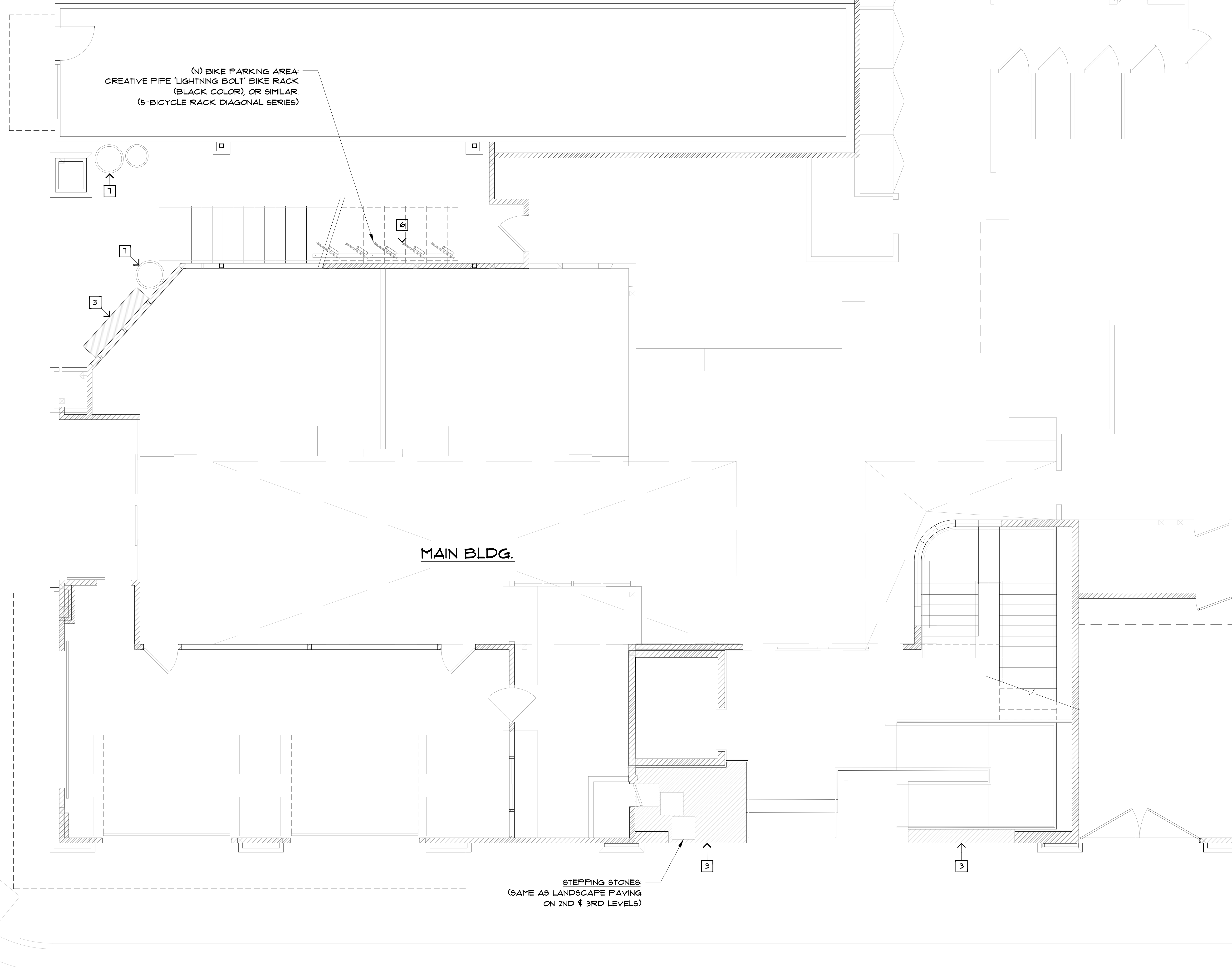
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040-054-020



PROPOSED ELEVATIONS
SHEET A8.1



CREATIVE PIPE 'LIGHTNING BOLT' BIKE RACK
(G-LR-D, 5 BICYCLE RACK, DIAGONAL SERIES - BLACK COLOR)



SHEET NOTES:

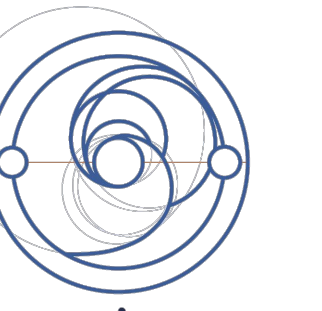
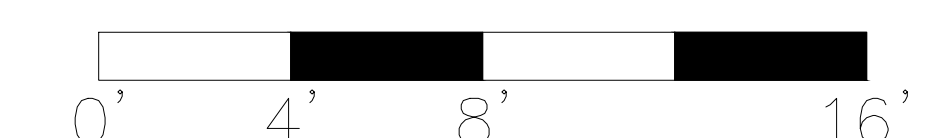
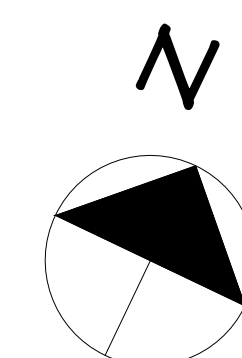
- INTERIOR PLAN LAYOUT IS SHOWN FOR REFERENCE. FINAL PLAN WILL BE SHOWN IN TI BUILDING PERMIT SET.

KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
3	PLANTER/LANDSCAPE AREA
4	RAMP
5	SITE FURNISHINGS
6	BICYCLE RACK
7	POTTERY
8	GAS FIRE TABLE/VENT FREE FIREPLACE
9	WATER FEATURE
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) TRELIS
14	MODIFIED PARAPET W/ BRICK VENEER
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE



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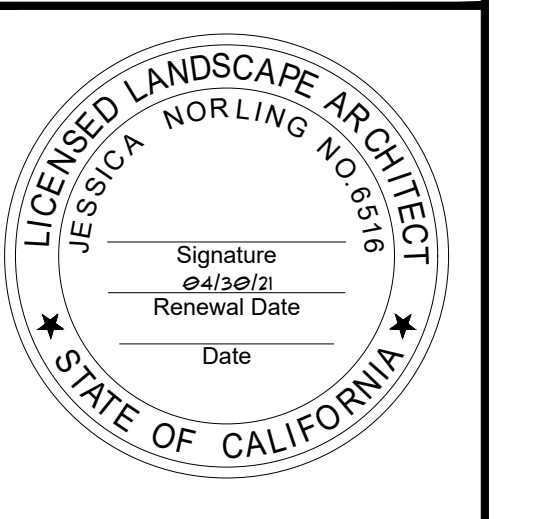
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	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GPB
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	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

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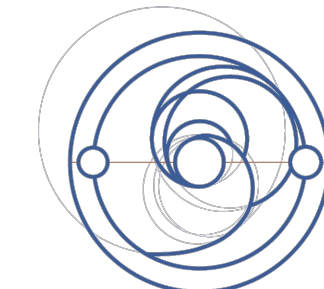
FIRST LEVEL
LANDSCAPE
SITE PLAN

SHEET
L.1

PDF
DATE 12/01/20

FIRST LEVEL LANDSCAPE SITE PLAN

1/8" = 1'-0"



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SHEET NOTES:

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KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
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6	BICYCLE RACK
7	POTTERY
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9	WATER FEATURE
10	LINE OF WALL ABOVE
11	CITY SIDEWALK
12	(N) SKYLIGHT
13	(N) TRELLIS
14	MODIFIED PARAPET W/ BRICK VENEER
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE

THE BEALE GROUP THE LIVERY PROJECT

135 S. MAIN
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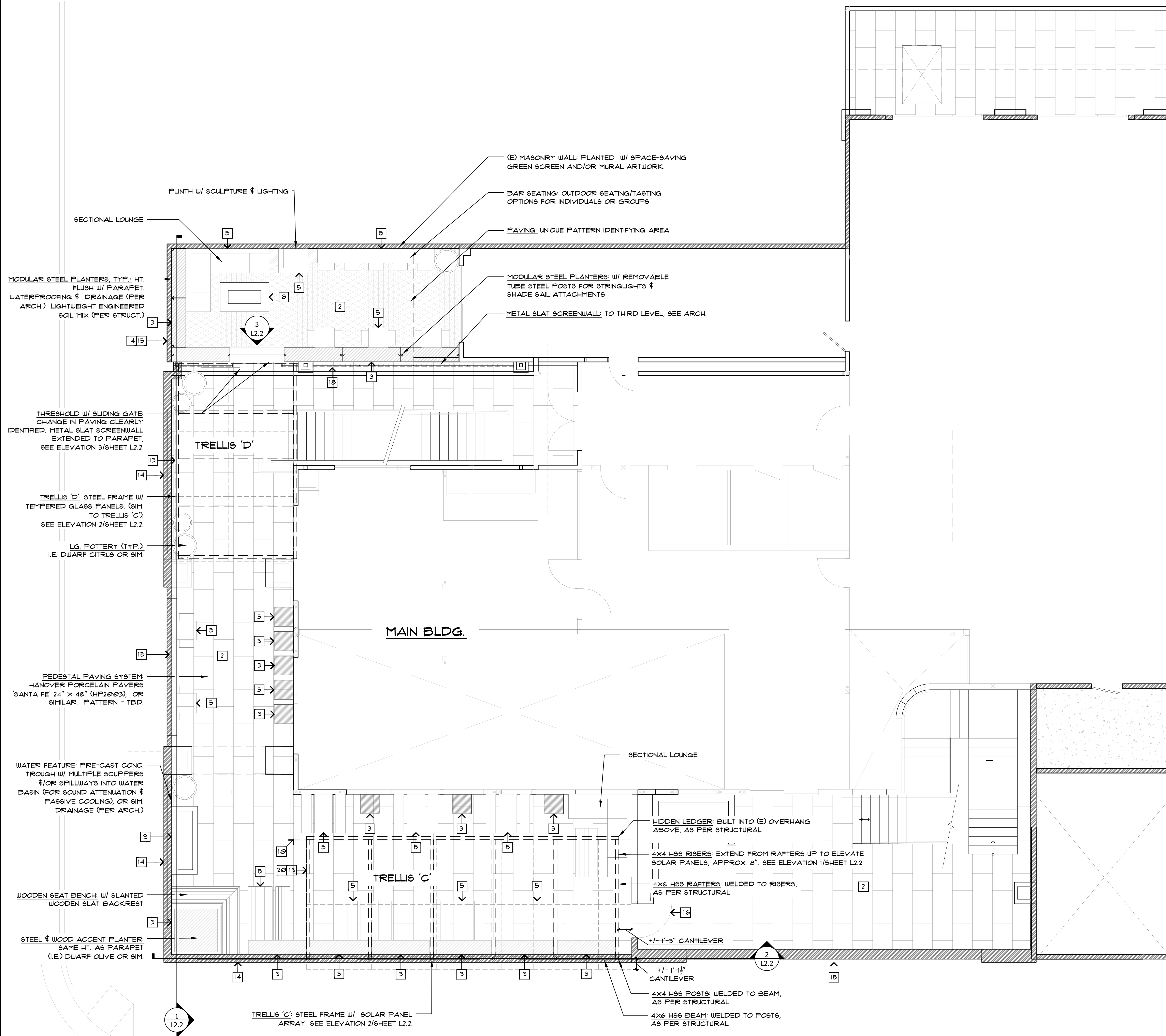


SECOND LEVEL
LANDSCAPE
SITE PLAN

SHEET

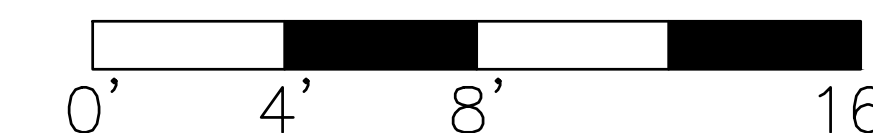
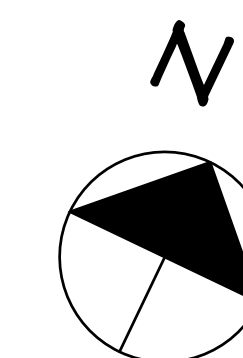
L1.2

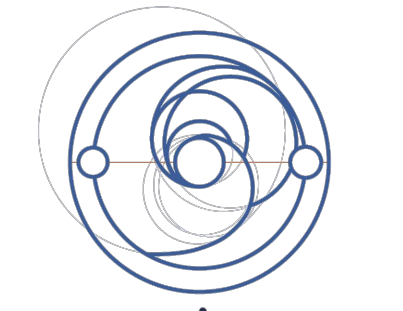
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SECOND LEVEL LANDSCAPE SITE PLAN

1/8" = 1'-0"





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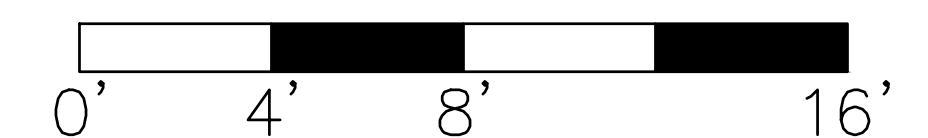
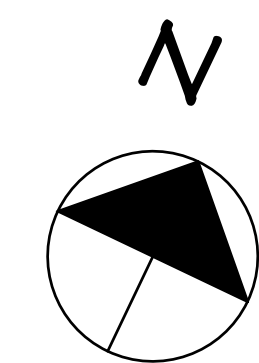
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KEY NOTES:

1	PROPERTY LINE
2	SITE PAVING
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12	(N) SKYLIGHT
13	(N) TRELLIS
14	MODIFIED PARAPET W/ BRICK VENEER
15	(N) STEEL RAILING
16	(N) GATE
17	(N) AWNING
18	(N) SCREENWALL
19	(N) OUTDOOR KITCHEN/BAR
20	(N) SOLAR PANEL ARRAY

LEGEND

PERIMETER OF STRUCTURE



WATER FEATURE: PRE-CAST CONC. TROUGH W/ BRASS OR COPPER SCUPPERS & UNDERWATER LIGHTING, (FOR SOUND ATTENUATION & VISUAL INTEREST), OR SIM. DRAINAGE (PER ARCH.)

ROOFTOP RECESSED PLANTING AREAS: WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCT.) SCREENWALL OF DENSE BAMBOO OR SIM.

TRELLIS 'B': WEATHERPROOF STANDING-SEAM METAL ROOFING, W/ LG. BEAMS, T&G CEILING, LIGHTING & FANS. SLIDING SCREEN PANELS (4-SIDES), SEE ELEVATION 3/SHEET L2.2

PAVING: COMPOSITE DECKING MATERIAL (RAISED APPROX. 18"), I.E. WOOD-STAMPED TILES, OR SIM.

METAL SCREEN RAILING, TYP.

STORAGE AREA: (SEE ARCHITECTURAL DWG.S)

STEEL GARDEN GATE(S): HSS FRAMING W/ LOCKING LATCH, CUSTOM PERFORATED METAL DOOR & SIDE PANELS

HIDDEN BAR: SLIDING/LOCKING DOORS (W/ BUILT-IN SHELVING, LIGHTING, PLUMBING & FULL-OUT COUNTERS)

MOVEABLE FURNITURE/ FOLDING TABLES (TYP.)

STEEL RAILING: SEE DETAIL 4 (A8.1)

TRELLIS 'A': WELDED ARCHED STEEL FRAME, SEE ELEVATION 1/SHEET L2.2

MODIFIED PARAPET: SEE DETAIL 8 (A8.1)

PEDESTAL PAVING SYSTEM: HANOVER PORCELAIN PAVERS 'SANTA FE' 24" X 48" (HP2003), OR SIMILAR. PATTERN - TBD.

MODULAR STEEL PLANTERS, TYP.: HT. FLUSH W/ PARAPET. WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCT.)

ROOFTOP RECESSED PLANTING AREAS: WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCT.)

GAS FIRE TABLE: PRE-CAST CONCRETE - TBD

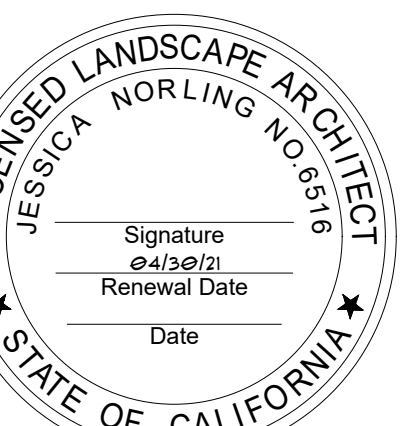
WOODEN SEAT BENCH: W/ SLANTED WOODEN SLAT BACKREST

LINE OF (E) PARAPET W/ NEW STEEL RAILING: SEE DETAIL 4 (A8.1)

MAIN BLDG.

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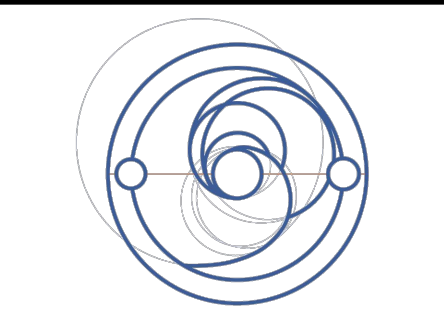


THIRD LEVEL
LANDSCAPE
SITE PLAN

SHEET
L1.3

PDF DATE 12/01/20

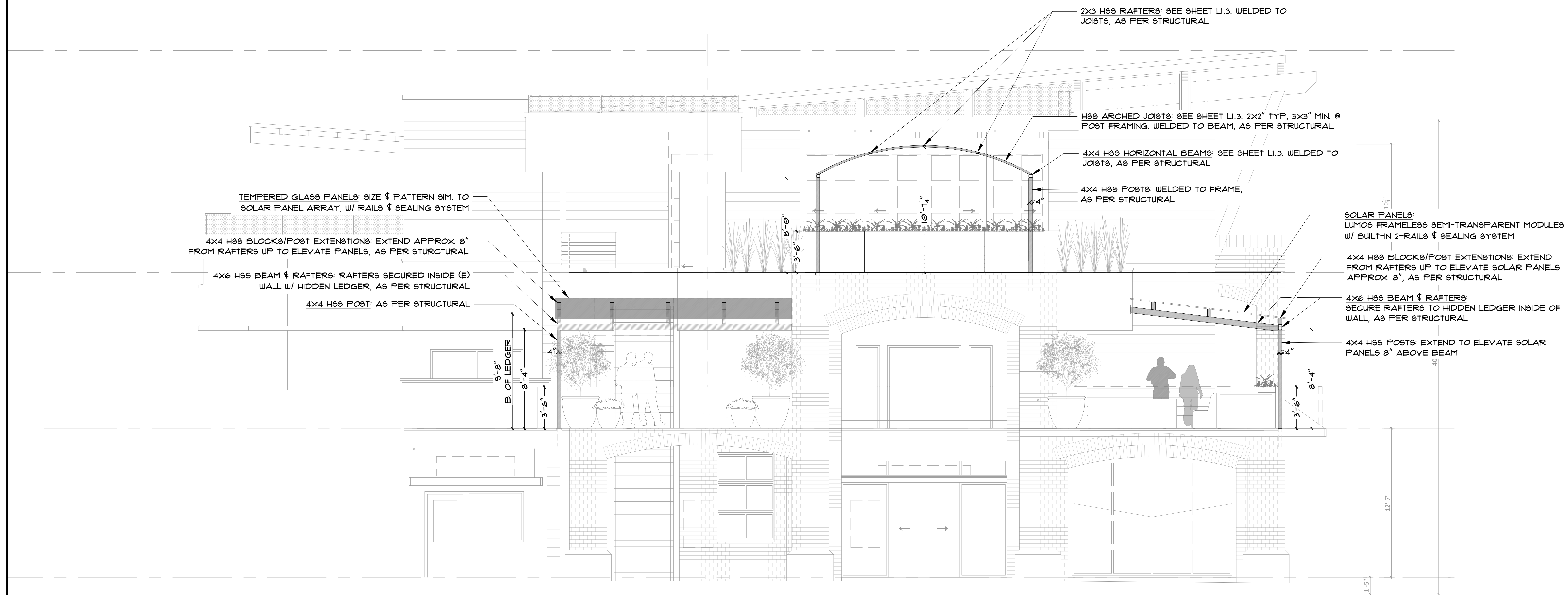
THIRD LEVEL LANDSCAPE SITE PLAN
1/8" = 1'-0"



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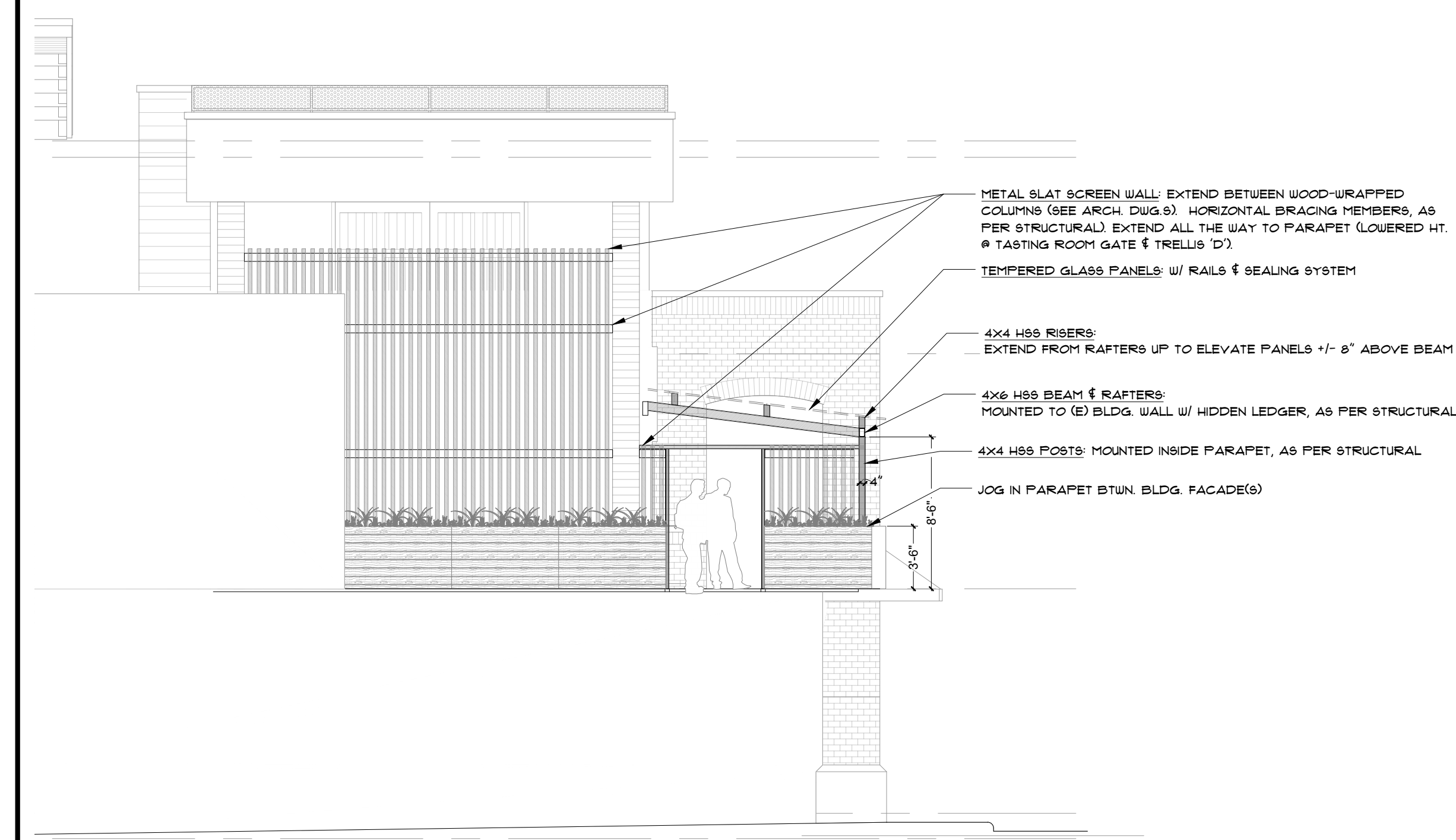
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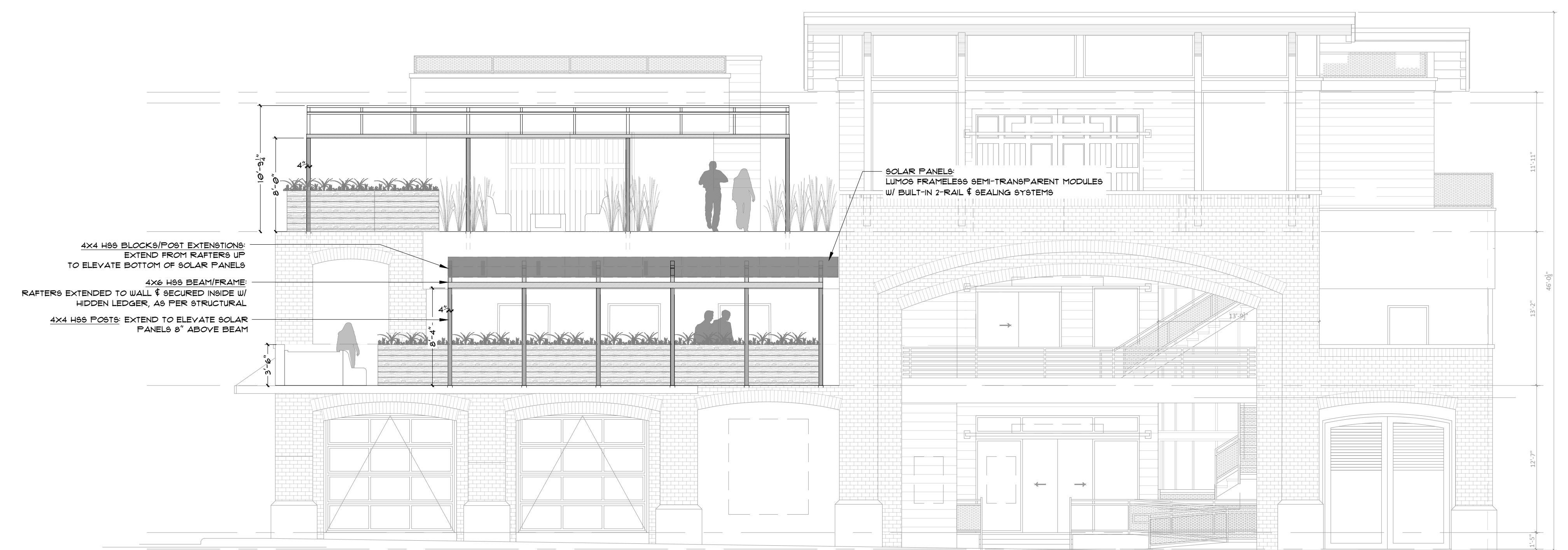


1 THIRD LEVEL TRELLIS 'A' & SECOND LEVEL TRELLIS 'C' & 'D' - WEST SECTION-ELEVATION
1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
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	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN



3 SECOND LEVEL TRELLIS 'D' - NORTH ELEVATION
1/8" = 1'-0"



2 THIRD LEVEL TRELLIS 'A' & SECOND LEVEL TRELLIS 'C' - SOUTH SECTION-ELEVATION
1/8" = 1'-0"

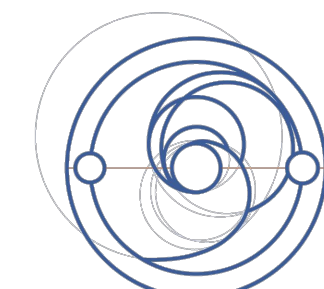
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2ND & 3RD LEVEL TRELLIS ELEVATIONS

SHEET
L2.1

PDF DATE 12/01/20

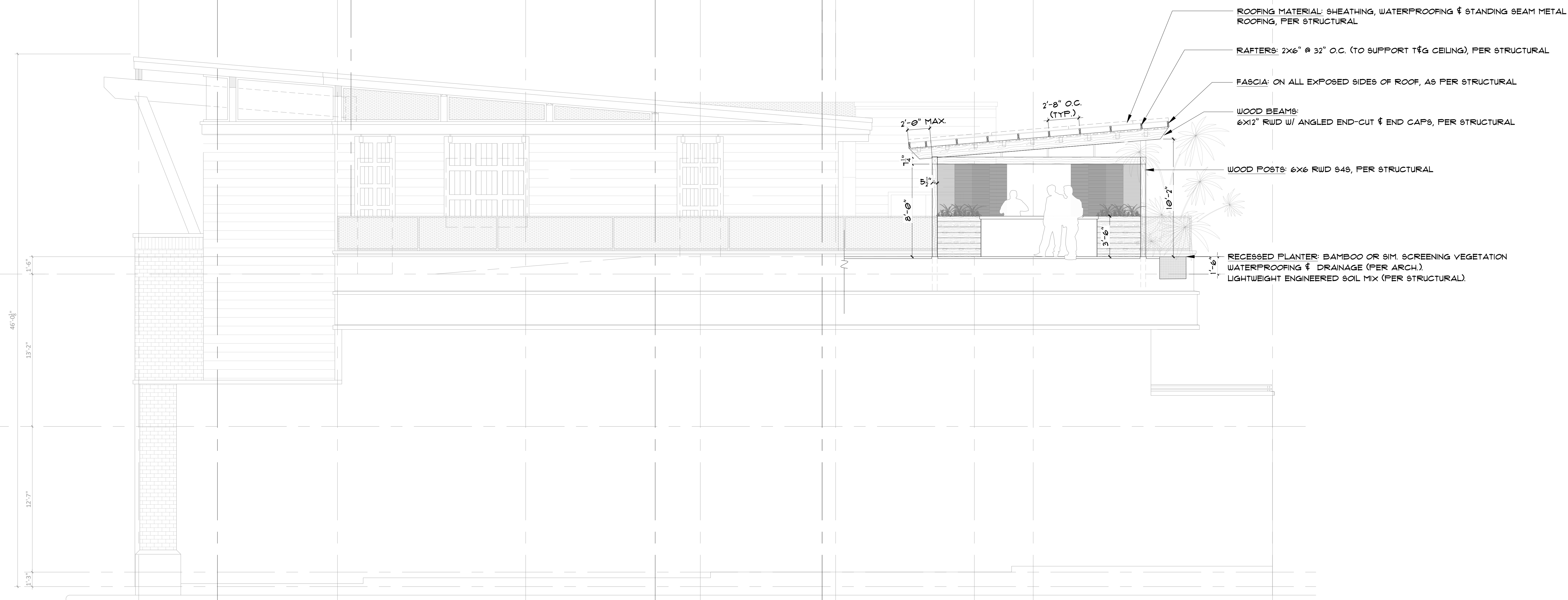


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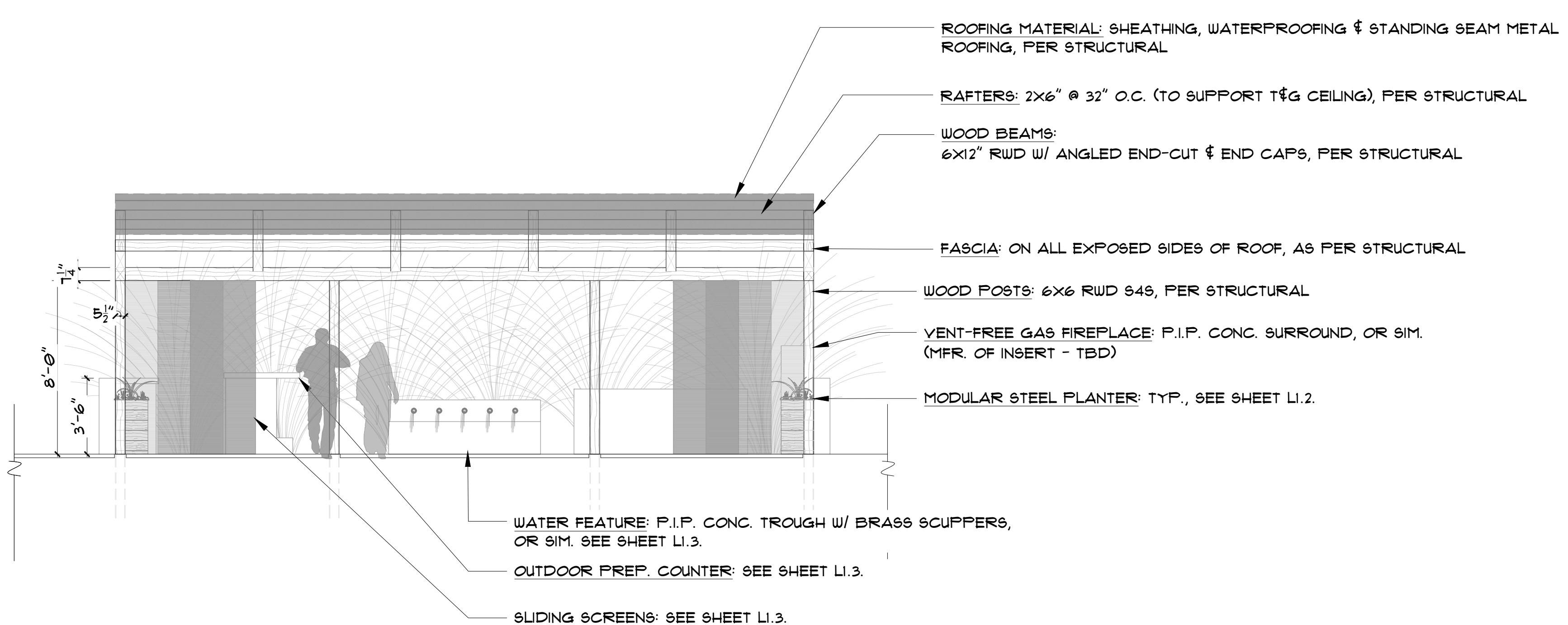
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- ROOFING MATERIAL: SHEATHING, WATERPROOFING & STANDING SEAM METAL ROOFING, PER STRUCTURAL
- RAFTERS: 2x6" @ 32" O.C. (TO SUPPORT T&G CEILING), PER STRUCTURAL
- FASCIA: ON ALL EXPOSED SIDES OF ROOF, AS PER STRUCTURAL
- WOOD BEAMS: 6x12" RUD W/ ANGLED END-CUT & END CAPS, PER STRUCTURAL
- WOOD POSTS: 6x6 RUD S4S, PER STRUCTURAL
- RECESSED PLANTER: BAMBOO OR SIM. SCREENING VEGETATION WATERPROOFING & DRAINAGE (PER ARCH.) LIGHTWEIGHT ENGINEERED SOIL MIX (PER STRUCTURAL)

1 THIRD LEVEL TRELLIS 'B' - EAST SECTION-ELEVATION
 1/8" = 1'-0"



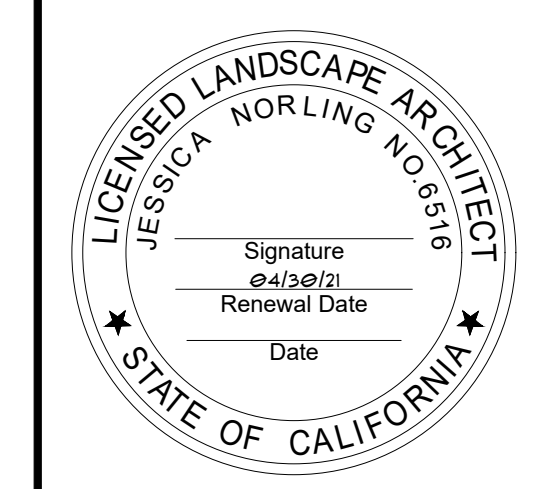
- ROOFING MATERIAL: SHEATHING, WATERPROOFING & STANDING SEAM METAL ROOFING, PER STRUCTURAL
- RAFTERS: 2x6" @ 32" O.C. (TO SUPPORT T&G CEILING), PER STRUCTURAL
- WOOD BEAMS: 6x12" RUD W/ ANGLED END-CUT & END CAPS, PER STRUCTURAL
- FASCIA: ON ALL EXPOSED SIDES OF ROOF, AS PER STRUCTURAL
- WOOD POSTS: 6x6 RUD S4S, PER STRUCTURAL
- VENT-FREE GAS FIREPLACE: P.I.P. CONC. SURROUND, OR SIM. (MFR. OF INSERT - TBD)
- MODULAR STEEL PLANTER: TYP., SEE SHEET L1.2

- WATER FEATURE: P.I.P. CONC. TROUGH W/ BRASS SCUPPERS, OR SIM. SEE SHEET L1.3.
- OUTDOOR PREP. COUNTER: SEE SHEET L1.3.
- SLIDING SCREENS: SEE SHEET L1.3.

2 THIRD LEVEL TRELLIS 'B' - SOUTH ELEVATION
 1/8" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GB
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

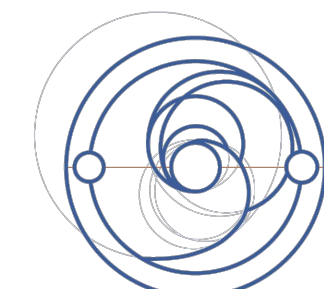
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THIRD LEVEL TRELLIS ELEVATIONS

SHEET
L2.2

PDF DATE 12/01/20



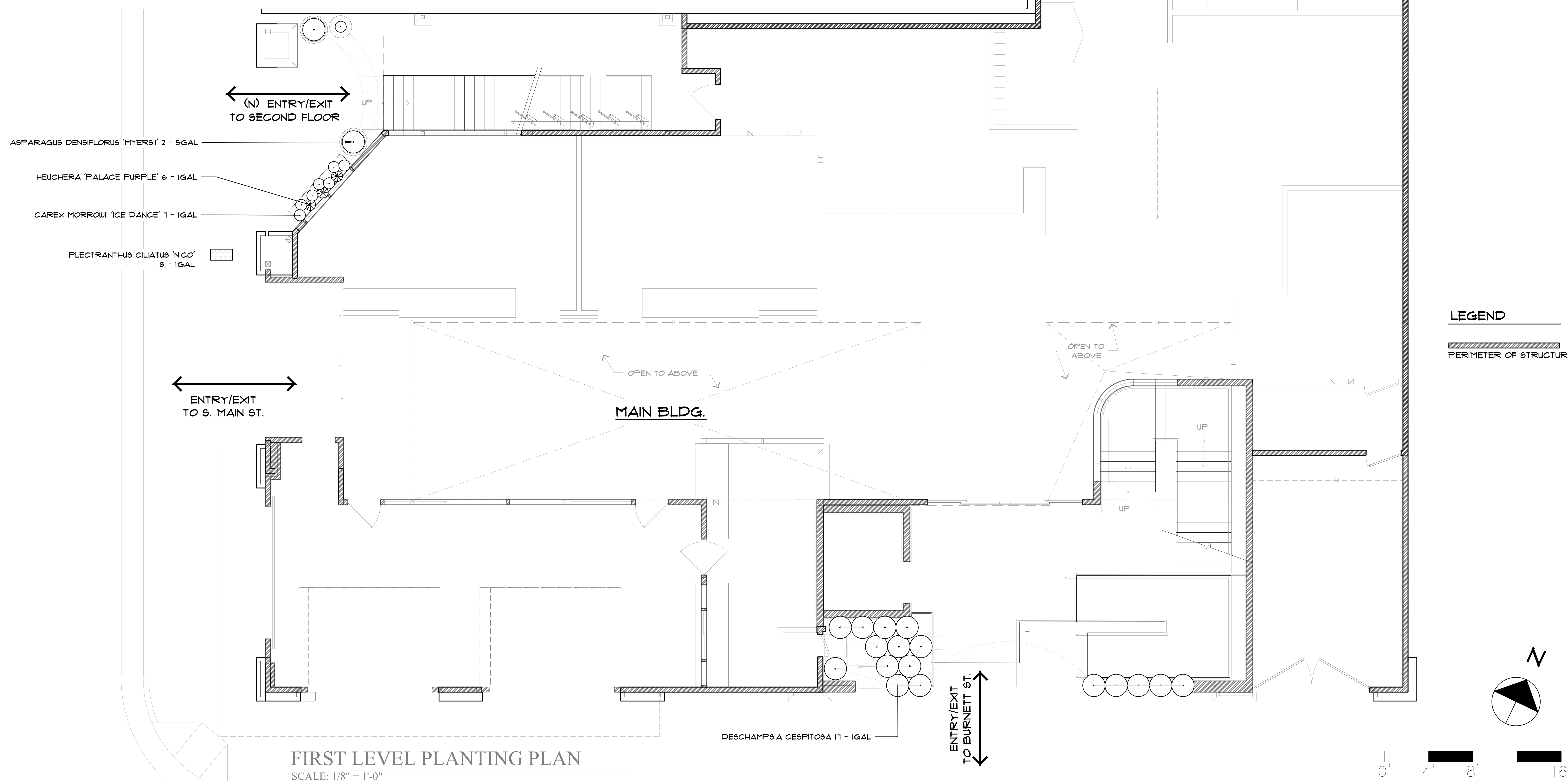
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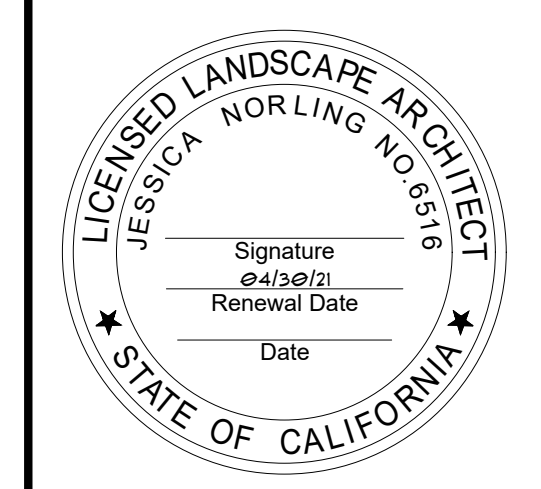
PLANTING LEGEND (SUNSET ZONE 15, USDA 9A)					
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS PLANT FACTOR	NOTES
<i>Asparagus densiflorus 'Myersii'</i>	Asparagus Fern	2	1 GAL	M	Size: 2-3' high x 2-3' wide
<i>Carex morrowii 'Ice Dance'</i>	Sedge	7	1 GAL	M	Size: 12" high x 12" wide
<i>Deschampsia cespitosa</i>	Tufted Hair Grass	17	5 GAL	L	Size: 2-4' high x 2' wide
<i>Heuchera 'Palace Purple'</i>	Island Alum Root	3	1 GAL	M	Size: 12" high x 12" wide
<i>Plectranthus ciliatus 'Nico'</i>	Eyelash Spur Flower	4	1 GAL	M	Size: 6-12" high x 3' wide



FIRST LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"

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	10/21/20	RESUBMITTAL - ROOF UPDATE			JN
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

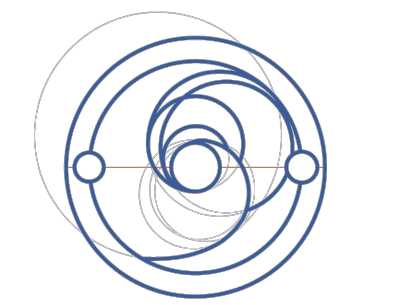
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FIRST LEVEL PLANTING PLAN

SHEET
L3.1

PDF DATE 12/01/20

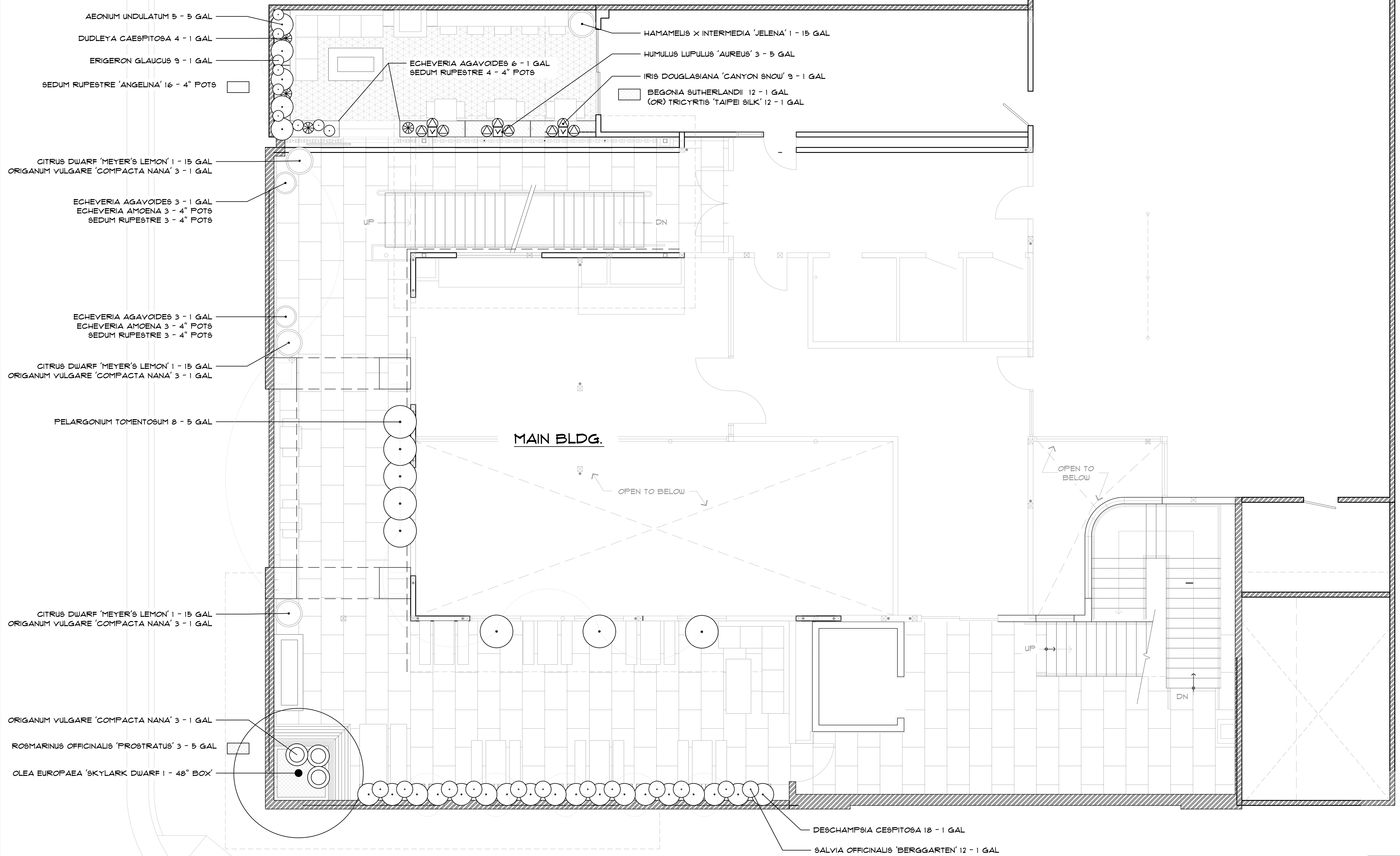


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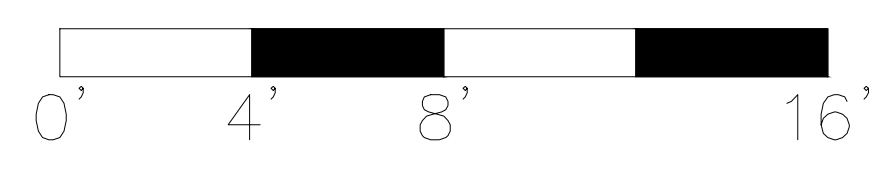
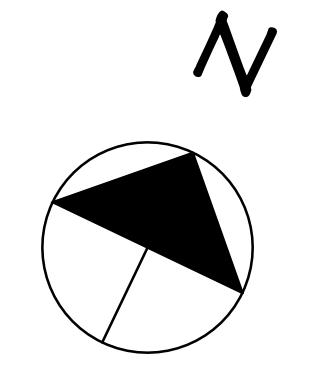
PLANTING LEGEND (SUNSET ZONE 15, USDA 9A)					
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS PLANT FACTOR	NOTES
Aeonium undulatum	Aeonium	5	5 GAL	L/VL	Size: 2-3' high x 1-2' wide
Begonia sutherlandii	Hardy Begonia	12	1 GAL	M	Size: 6" high x 18" w
Citrus Dwarf 'Improved Meyer'	Meyer's Lemon	3	15 GAL	M	Size: 6' high x 7 1/2' w
Deschampsia cespitosa	Tufted Hair Grass	18	1 GAL	L	Size: 2-4' high x 2' w
Dudleya anthonyi, D. caespitosa, (or sim.)	Live Forever	4	1 GAL	L/VL	Size: 6" - 1' high x w
Echeveria agavoides, E. amoena	Hens & Chicks	18	4" POT	L	Size: 6" - 1' high x w
Erigeron glaucus	Beach Aster	9	1 GAL	L	Size: 6" - 12" high x 12" w
Hamamelis x intermedia 'Jelena'	Witch Hazel	1	15 GAL	M	Size: 12-15'ht. x w

Humulus lupulus 'Aureus'	Golden Hops Vine	3	5 GAL	L	Size: 20-30' high x w
Iris douglasiana 'Canyon Snow'	Douglas Iris	9	1 GAL	L	Size: 12-18" high x 1-2' w
Olea europaea, 'Skylark Dwarf'	Dwarf Olive	1	48" BOX	VL	Size: 12-16" high x w
Origanum vulgare 'Compacta Nana'	Oregano	12	1 GAL	M	Size: 5" high x 2' w
Pelargonium tomentosum	Peppermint Scented Geranium	8	5 GAL	M	Size: 1-2' high x 3' w
Rosmarinus officinalis 'Prostratus'	Rosemary	3	1 GAL	L	Size: 2' high x 4-8" w
Salvia officinalis 'Berggarten'	Berggarten Sage	12	1 GAL	L	Size: 18" high x 18" w
Sedum rupestre 'Angelina'	Angelina Stonecrop	32	4" POT	L	Size: 3-6" high x 2' w
Tricyrtis 'Taipei Silk'	Toad Lily	12	1 GAL	M	Size: 2 1/2' high x 18" w



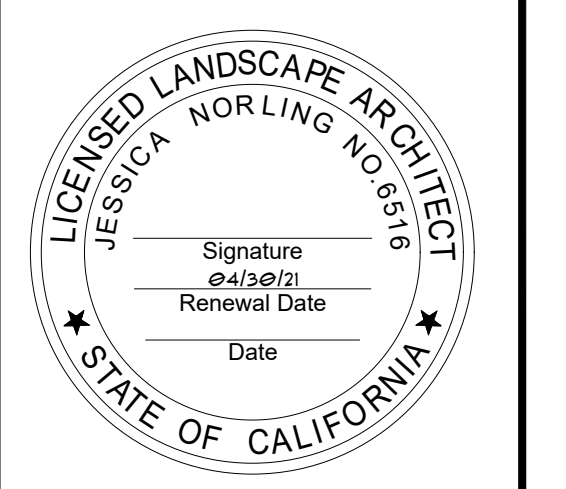
SECOND LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"

LEGEND
 PERIMETER OF STRUCTURE



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	10/21/20	RESUBMITTAL - ROOF UPDATE	JN	JN	JN
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

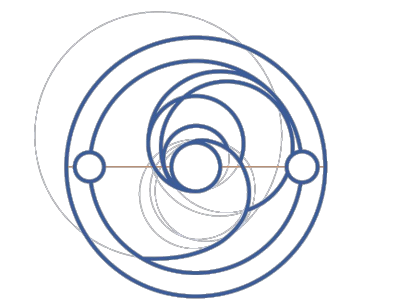
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2ND LEVEL PLANTING PLAN

SHEET
L3.2

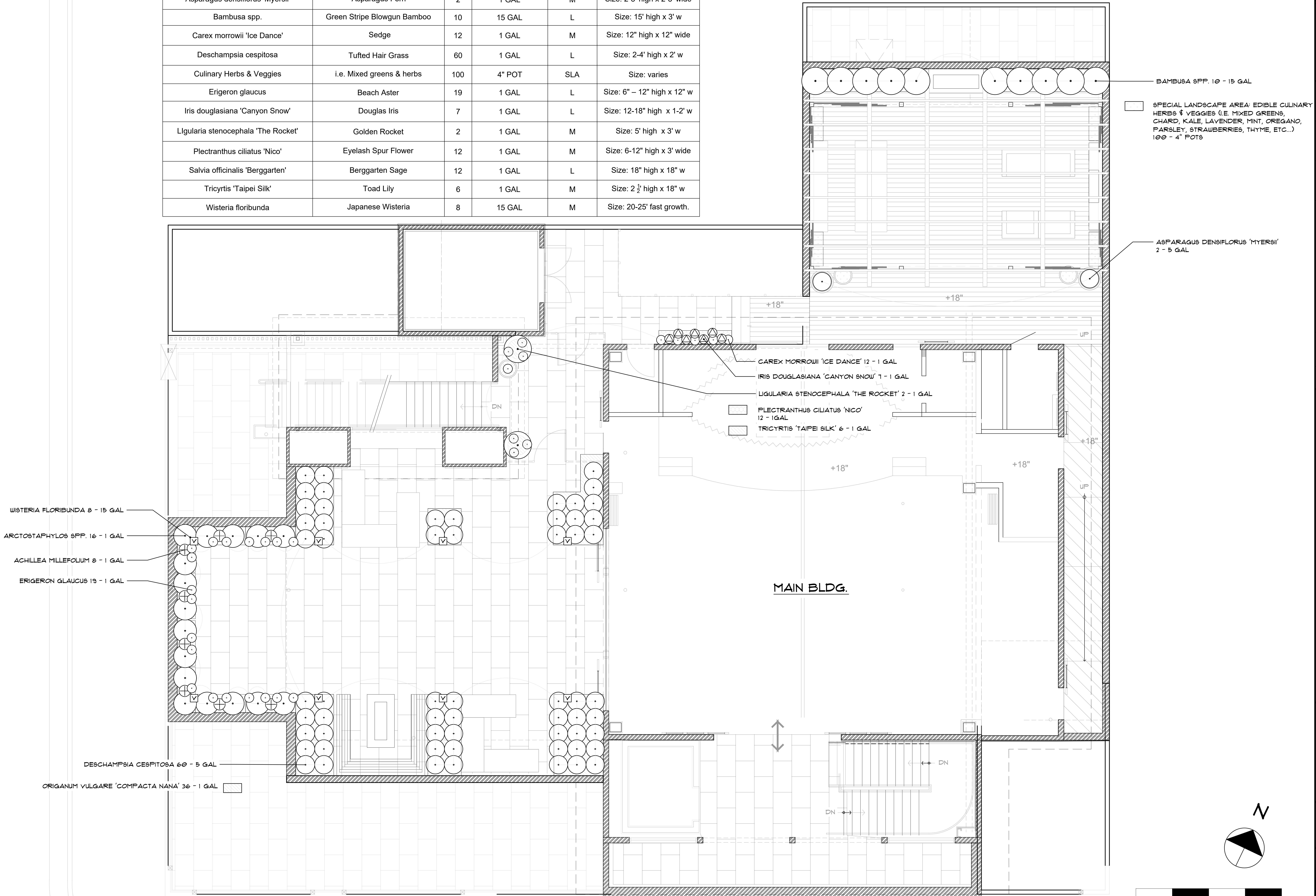
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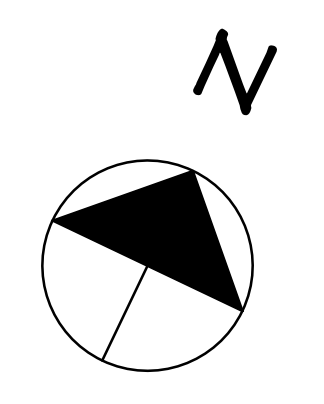
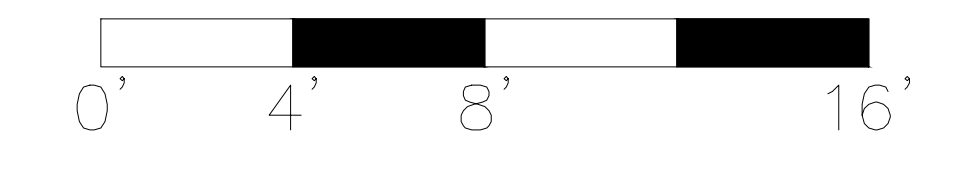
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PLANTING LEGEND (SUNSET ZONE 15, USDA 9A)					
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS PLANT FACTOR	NOTES
<i>Achillea millefolium</i>	Yarrow	8	1 GAL	L	Size: 12" high x 15" wide
<i>Arctostaphylos uva ursi</i> 'Point Reyes'	Kinnikinnick	16	1 GAL	L	Size: 1' high x 10' wide
<i>Asparagus densiflorus</i> 'Myersii'	Asparagus Fern	2	1 GAL	M	Size: 2-3' high x 2-3' wide
<i>Bambusa</i> spp.	Green Stripe Blowgun Bamboo	10	15 GAL	L	Size: 15' high x 3' w
<i>Carex morrowii</i> 'Ice Dance'	Sedge	12	1 GAL	M	Size: 12" high x 12" wide
<i>Deschampsia cespitosa</i>	Tufted Hair Grass	60	1 GAL	L	Size: 2-4' high x 2' w
Culinary Herbs & Veggies	i.e. Mixed greens & herbs	100	4" POT	SLA	Size: varies
<i>Erigeron glaucus</i>	Beach Aster	19	1 GAL	L	Size: 6" - 12" high x 12" w
<i>Iris douglasiana</i> 'Canyon Snow'	Douglas Iris	7	1 GAL	L	Size: 12-18" high x 1-2' w
<i>Ligularia stenocephala</i> 'The Rocket'	Golden Rocket	2	1 GAL	M	Size: 5' high x 3' w
<i>Plectranthus ciliatus</i> 'Nico'	Eyelash Spur Flower	12	1 GAL	M	Size: 6-12" high x 3' wide
<i>Salvia officinalis</i> 'Berggarten'	Berggarten Sage	12	1 GAL	L	Size: 18" high x 18" w
<i>Tricyrtis</i> 'Taipei Silk'	Toad Lily	6	1 GAL	M	Size: 2 1/2' high x 18" w
<i>Wisteria floribunda</i>	Japanese Wisteria	8	15 GAL	M	Size: 20-25' fast growth.

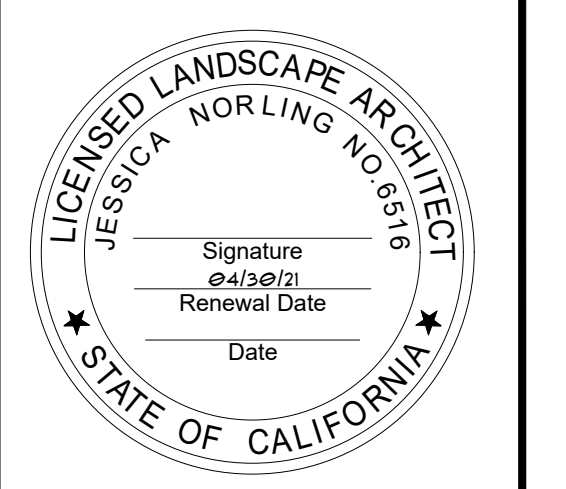


THIRD LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"



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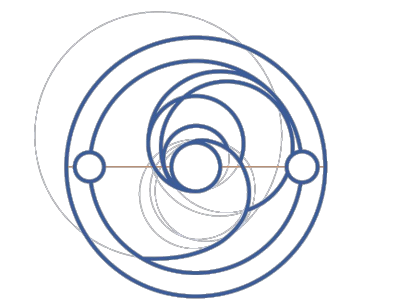
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THIRD LEVEL
PLANTING PLAN

SHEET
L3.3

PDF DATE 12/01/20



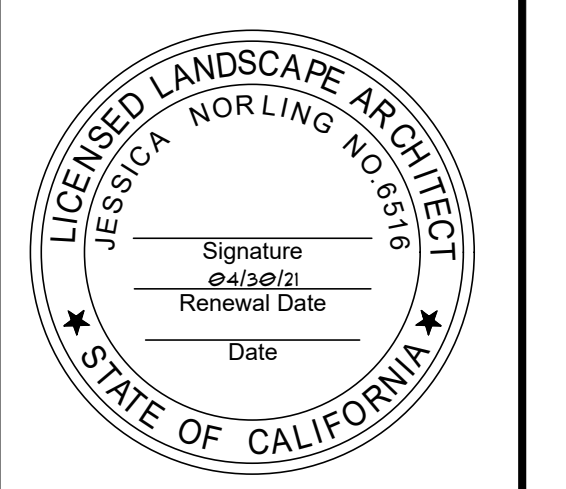
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	12/01/20	LANDSCAPE SUBMITTAL			

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HYDROZONES & WELO CALC. S
SHEET
L3.4
PDF DATE 12/01/20

HYDROZONE INFORMATION TABLE

Hydrozone	Plant Factor	Landscape Area	SE	Description
1	LOW	62	if	First Level Planter @ grade (South)
2	MED	20	if	First Level Raised Planters (West)
3	LOW	97	if	Second Level Raised Planters (Perimeter)
4	MED	18	if	Second Level Pots w/ Bubbler (China & Olive Tree)
5	MED	59	if	Second Level Pots (Shade/Part Shade)
6	HIGH	9	if	Second Level Water Feature
7	MED	56	if	Third Level Planters @ grade (South-West Terrace)
8	LOW	295	if	Third Level Planters (South-West Terrace)
9	HIGH	7	if	Third Level Water Feature
10	LOW	65	if	Third Level Bamboo Screenwall (North Terrace)
11	S/LA	27	if	Third Level Culinary Herbs & Greens (North Terrace)
12	MED	28	if	Third Level Pots (Shade/Part Shade)
TOTAL SF =				743

LANDSCAPE NOTES

PROJECT APPLICANT: (SEE COVER SHEET)

SIGNATURE: _____

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

TOTAL LANDSCAPE AREA: 743 SF
PROJECT TYPE: COMMERCIAL
WATER SUPPLY TYPE: POTABLE
LOCAL WATER PURVEYOR: CITY OF SEBASTOPOL
DEDICATED SERVICE METER OR PRIVATE SUB-METER:

- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST @ A RATE OF 4CY (MIN) PER 1,000SF OF PLANTING AREA - INCORPORATED TO A DEPTH OF 6". (APPLIES ONLY TO FIRST FLR. SOUTH ENTRANCE PLANTING AREA @ GRADE). "GRAB N' GROW ORGANIC COMPOST" - OR SIMILAR, GRAB N' GROW SOIL PRODUCTS. FH: #101) 515-1215
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. "ORGANIC ARBOR MULCH" - OR SIMILAR, GRAB N' GROW SOIL PRODUCTS. FH: #101) 515-1215
- ALL FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANT HOLES.
- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT."

Maximum Applied Water Allowance

The following calculations will help you determine your site specific water budget and establish a planting mix that will allow you to meet your water budget. Your Estimated Total Water Use must be less than your Maximum Applied Water Allowance.

1.) **Maximum Applied Water Allowance (MAWA) [COMMERCIAL]**

MAWA = (ETo) (0.62)(0.45x LA) + (0.55 x SLA)

Where:
ETo = Annual Net Reference Evapotranspiration (inches)
0.45 = ET Adjustment Factor
LA = Landscaped Area (square feet)
0.62 = Conversion factor to gallons per square foot
SLA = Portion of the landscape area identified as Special Landscape Area (square feet)
0.55 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.45 = 0.55)

A.) Net Evapotranspiration Calculation

42	(Annual ETo)		
27.63	(Annual Rainfall)	25	6.91 (Effective Rainfall)
Net Evapotranspiration Calculation = Annual ETo - Effective Rainfall = 35.09			

B.) Adjusted Landscape Area Calculation

716	x 0.45	=	322.2
27	x 1.00	=	27
Special Landscape Area			
Sum of Adjusted Landscape Area = 349.2			
MAWA	35.09	x	349.2 = 7598 gallons

2.) **Estimated Total Water Use (ETWU)**

A.) Net Evapotranspiration Calculation

Net Evapotranspiration Calculation = Annual ETo - Effective Rainfall = 35.09			
--	--	--	--

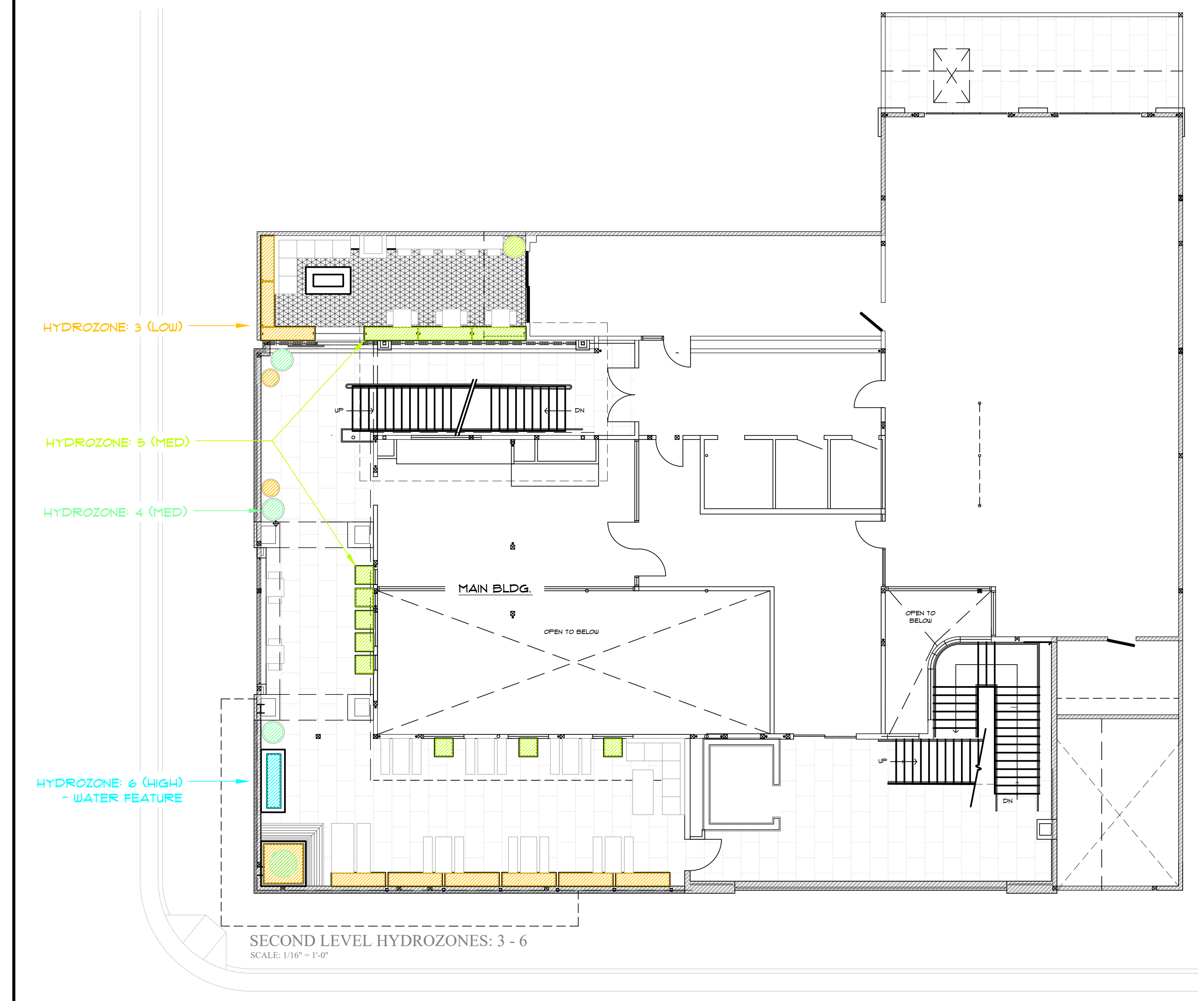
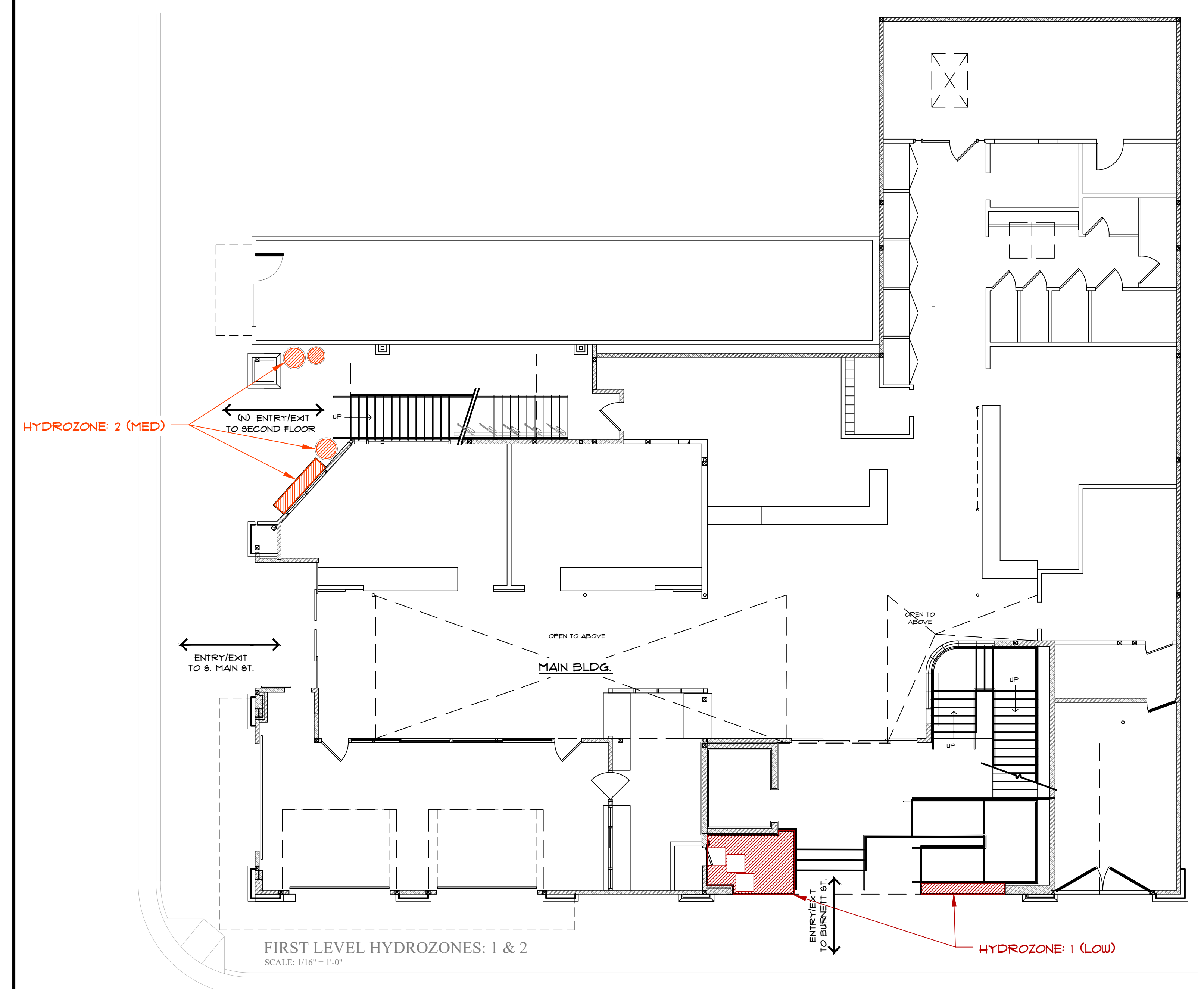
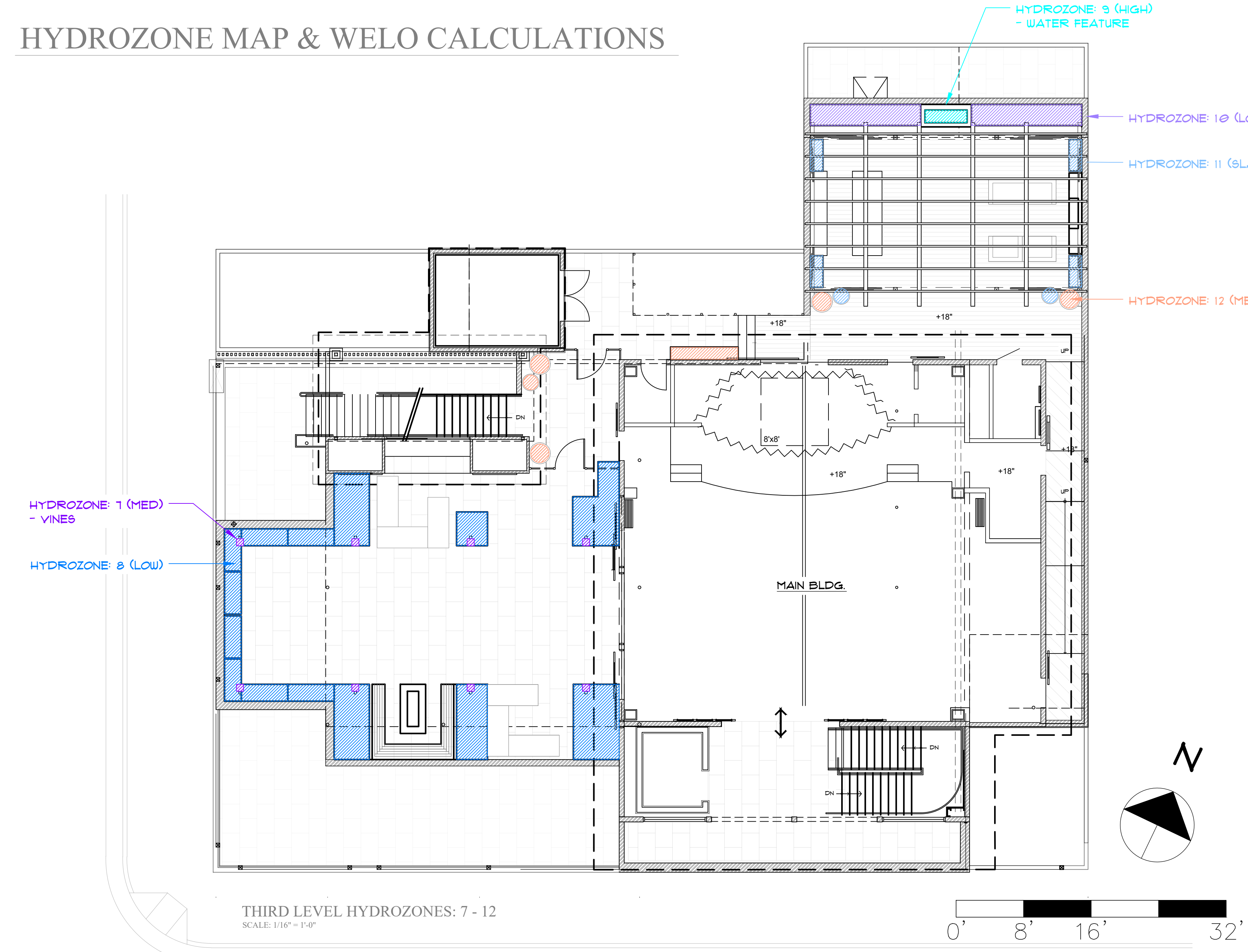
B.) Adjusted Landscape Area Calculation

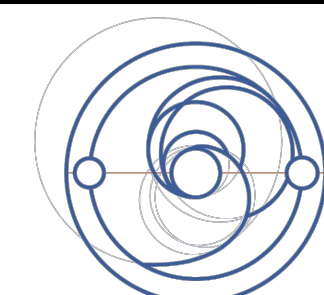
0	x 0.1	=	0
519	x 0.3	=	155.7
181	x 0.6	=	108.6
16	x 1.0	=	16
Special Landscape Area			
Sum of Adjusted Landscape Area = 280			
ETWU	35.09	x	280 = 7529 gallons

Irrigation Efficiency Factor

Square footage of landscape on drip	743
Square footage of landscape on spray	0
Total square footage of landscape	743
Adjusted Irrigation Efficiency Factor	0.81

HYDROZONE MAP & WELO CALCULATIONS





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	12/01/20	LANDSCAPE SUBMITTAL			



Asparagus densiflorus 'Meyersii'
Asparagus fern



Carex morrowii 'Ice Dance'
Sedge



Plectranthus ciliatus 'Nico'
Eyelash Spur Flower



Heuchera maxima i.e. 'Palace Purple'
Island Alum Root



Deschampsia cespitosa
CA Native Tufted Hair Grass



Olea europaea 'Skylark Dwarf'
Dwarf Olive Tree



Rosmarinus officinalis 'Prostratus'
Rosemary



Origanum vulgare 'Compacta Nana'
Oregano



Deschampsia cespitosa
CA Native Tufted Hair Grass



Salvia officinalis 'Berggarten'
Berggarten Sage



Pelargonium tomentosum
Peppermint Scented Geranium



Citrus Dwarf Meyer Lemon
Improved Meyer Lemon



Sedum rupestre 'Angelina'
Angelina stonecrop



Aeonium undulatum
Aeonium



Dudleya anthonyi
CA Native Live Forever



Erigeron glaucus
CA Native Beach Aster



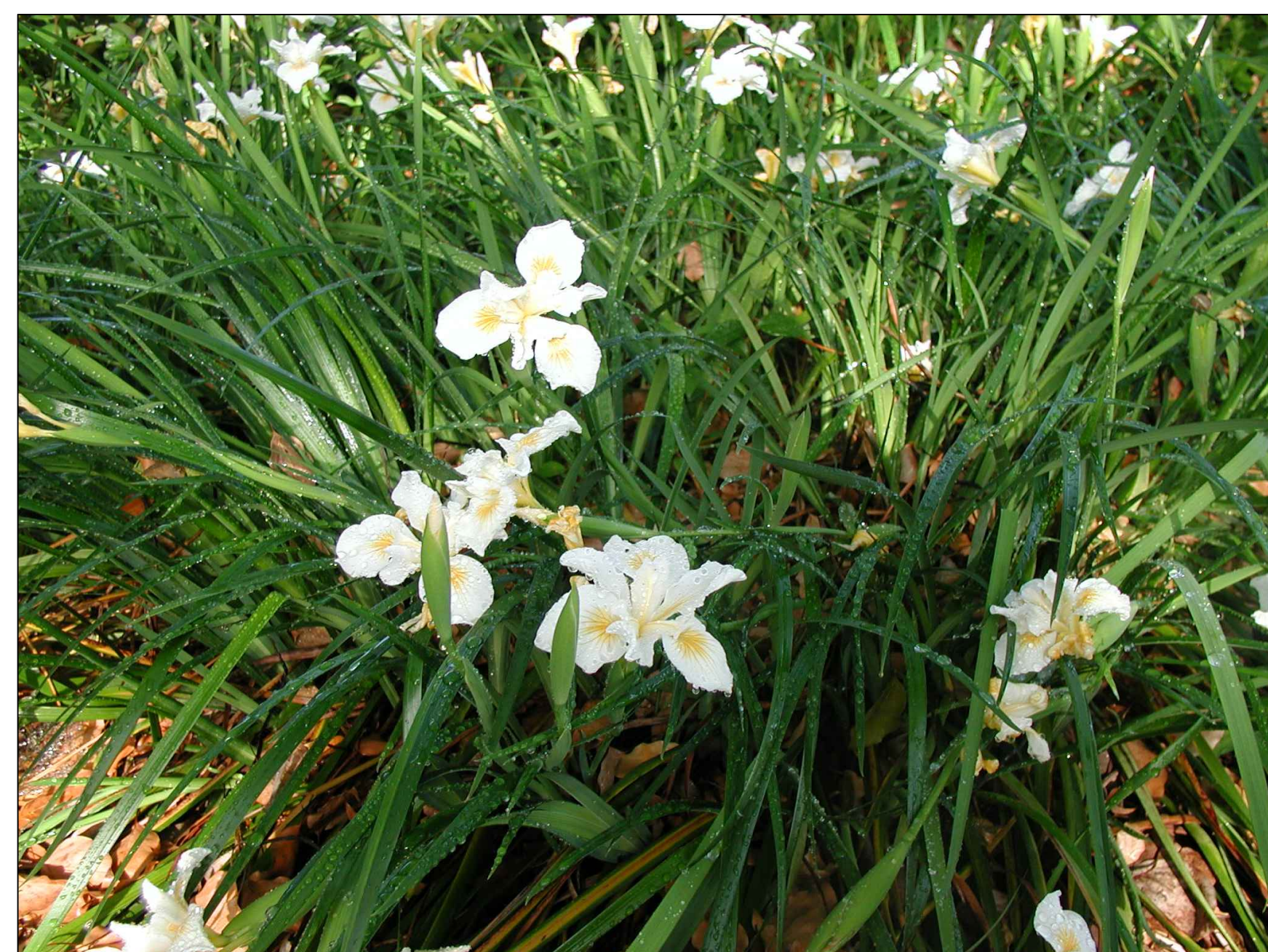
Echeveria colorata
'Hens & Chicks'



Humulus lupulus 'Aureus'
Golden Hops Vine



Hamamelis x intermedia 'Jelena'
Witch Hazel



Iris douglasiana 'Canyon Snow'
Douglas Iris



Tricyrtis 'Taipei Silk'
Toad Lily



Begonia sutherlandii
Hardy Begonia

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PLANTING PALETTE:
FIRST & SECOND
LEVELS

SHEET
L3.5

PDF
DATE 12/01/20



Japanese Wisteria on Arched Metal Trellis

Wisteria floribunda
Japanese wisteria



Deschampsia cespitosa
CA Native Tufted Hair Grass



Deschampsia cespitosa
CA Native Tufted Hair Grass



Origanum vulgare 'Compacta Nana'
Oregano



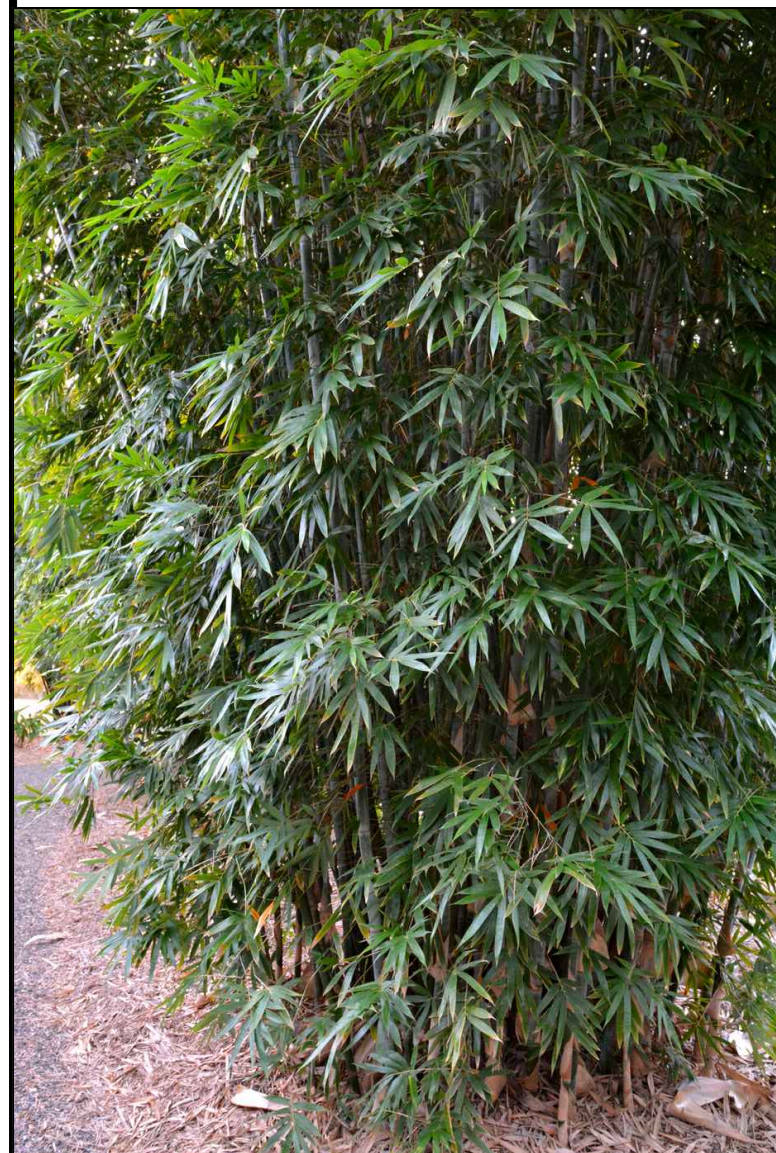
Arctostaphylos spp. (uva ursi or sim.)
Manzanita



Achillea millefolium
Yarrow



Erigeron glaucus
CA Native Beach Aster



Bambusa spp.
"Green Stripe Blowgun Bamboo" (or sim.)



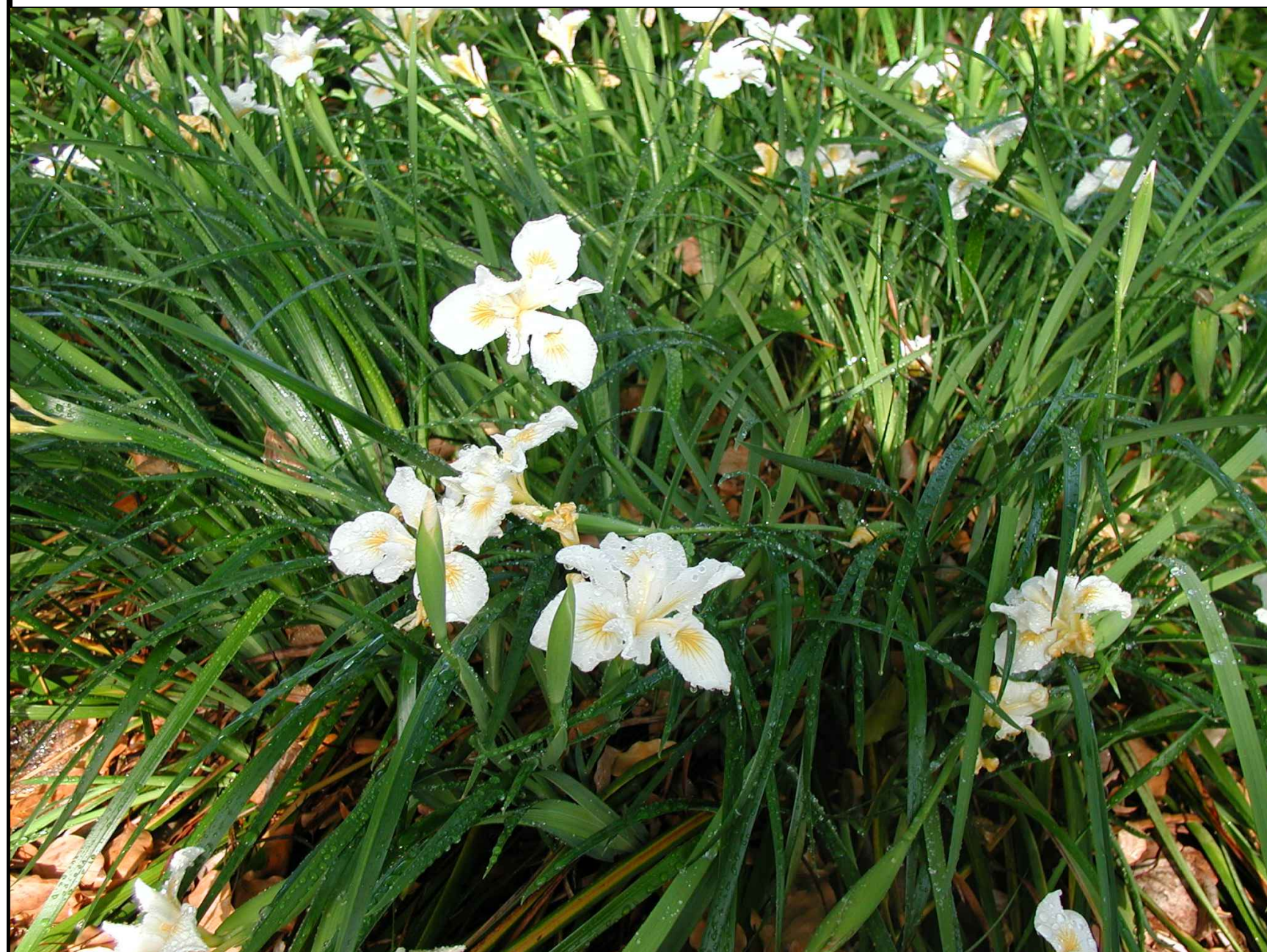
Asparagus densiflorus 'Meyersii'
Asparagus fern



Ligularia stenocephala 'The Rocket'
Golden Rocket



Tricyrtis 'Taipei Silk'
Toad Lily



Iris douglasiana 'Canyon Snow'
Douglas Iris



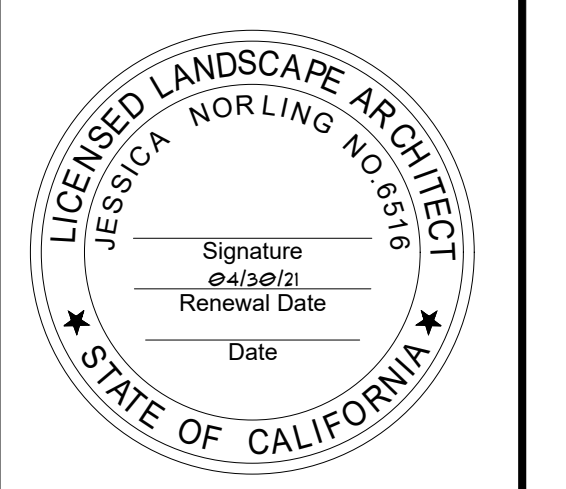
Carex morrowii 'Ice Dance'
Sedge



Plectranthus ciliatus 'Nico'
"Eyelash Spur Flower"

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					GM	GS
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PLANTING PALETTE:
THIRD LEVEL

SHEET
L3.6

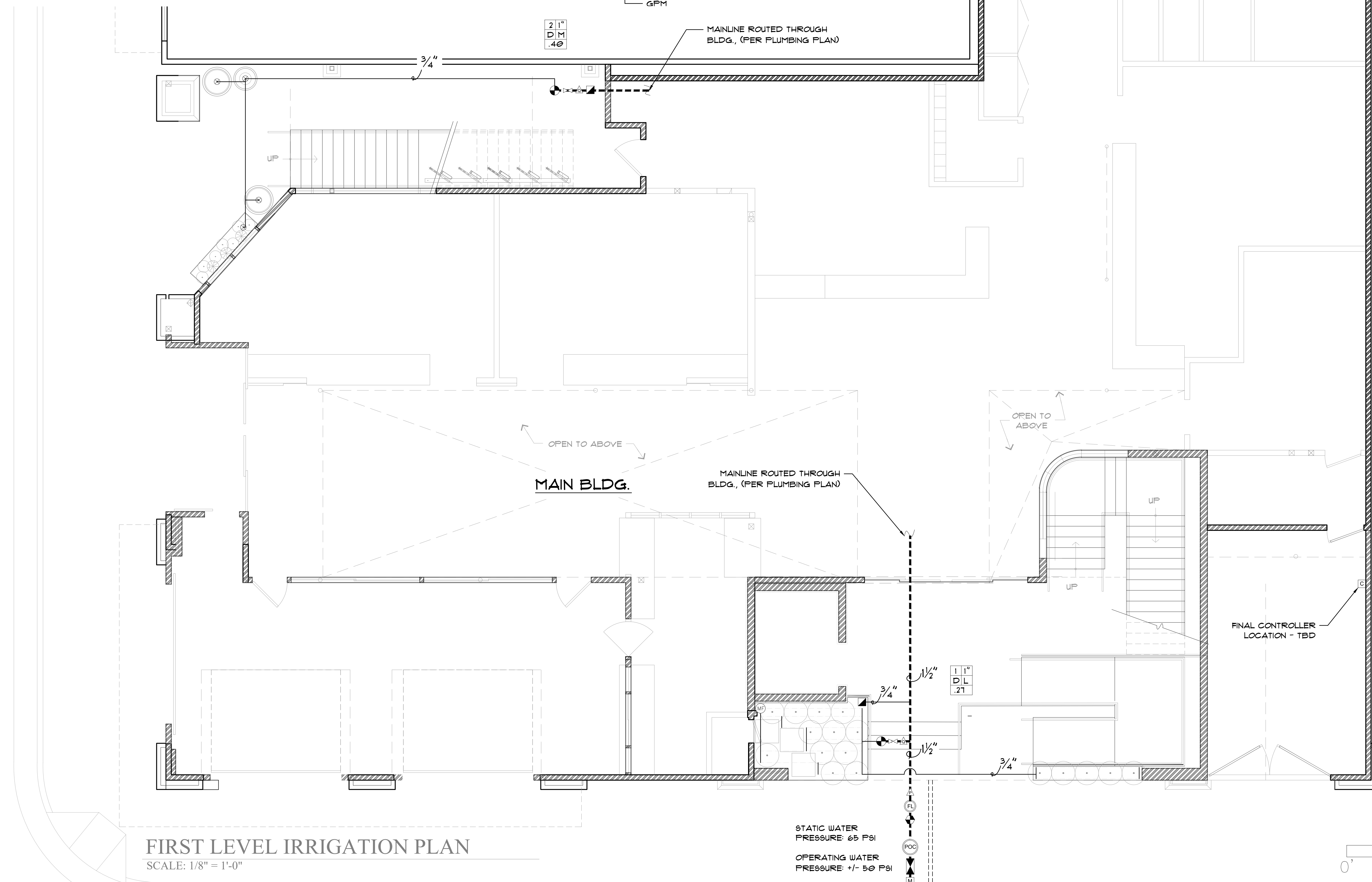
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IRRIGATION LEGEND:

SYMBOL			
POC	POINT OF CONNECTION:	Approximate Location (Verify in Field). Includes valve box & shut-off valve.	
M	WATER METER:	(E) Water Meter : 2"	Dedicated service meter or private sub-meter (required for non-residential landscapes >1,000 sf).
BP	BACKFLOW PREVENTOR:	FEBCO 825Y - 1" Backflow preventor. Install 12-36" above ground level.	Backflow prevention device (refer to local public health agency for addit'l requirements).
F	FILTER:	AMIAD 1-1/2"Ø W/ 300 Mesh SS Woven Wire Screen.	
PR	PRESSURE REGULATOR:	TBD	Adjust pressure as necessary to achieve 30psi for drip zones for a maximum demand/flow rate of 7-8gpm max for each drip zone.
MV	MASTER VALVE:	Rainbird 100GB - 1" Master Valve	Size per line. Includes valve box. Manual gate valve, butterfly valve or ball valve.
FS	FLOW SENSOR:	Data Industrial IR250B - 1" Flow Sensor	Req'd for ALL non-residential landscapes.
C	CONTROLLER:	Irritrol Rain Dial: RD-1200-EXT-R with CL-100 Wireless Weather Sensing System & ETO Smart Controller (or Sim).	Exterior or Interior Mount -TBD (provide 120v power) w/ wireless ET Sensor (located on eave O.H.).
RS	RAIN-SENSOR:	Hunter Wireless 'Rain Click' (or Sim). Mount on eave.	
RCV	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg 'OMR-100' Pressure regulation module - in valve box.	With disc filter & PRV for Netafim valves.

QC	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler	
MBV	MANUAL BALL-VALVE:	NIBCO T-PP-600 Brass, Full-Port Ball valve (or Sim). 1" line size.	
ML	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL	Route through building (per Plumbing Plan).
LL	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL	Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
DI	DRIP IRRIGATION:	Netafim Techline CV w/ PVC Supply & Exhaust Header's & Manual Flush Valve	0.42 GPH Dropper (Recommended for Loamy soils).
MFLV	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header	
SO	STUB-OUTS (@ POTS):	Transition from lateral to 3/4" poly blank line to individual loops of 3/4" in-line drip tubing at each plant. See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
SO	STUB-OUTS (@ PLANTERS): XERIBUD EMITTERS	Transition from lateral to 3/4" poly blank line to 3/4" blank tubing to Xeribud emitters (XB-T-05-PC). See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
HB	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding.	Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
S	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL	

VALVE #		XERIBUD EMITTERS:	
1	SIZE	5 GAL	3 EMITTERS
2	WUCOL RATING	1 GAL	2 EMITTERS
3	IRR. TYPE (DRIP/SPRAY)	4" POT	1 EMITTERS
	GPM		

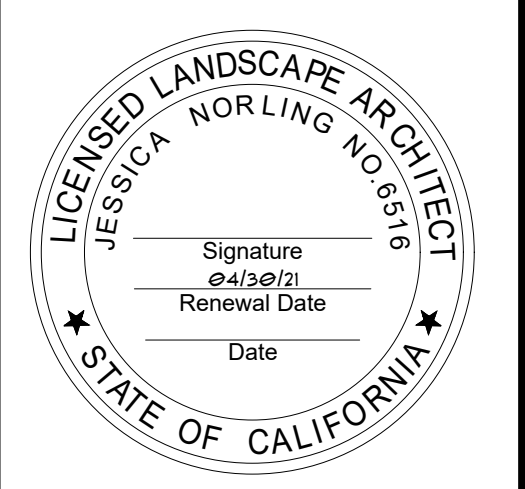


FIRST LEVEL IRRIGATION PLAN
SCALE: 1/8" = 1'-0"

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
	9/15/20	DESIGN REVIEW SUBMITTAL			
	10/21/20	RESUBMITTAL - ROOF UPDATE			
	12/01/20	LANDSCAPE SUBMITTAL			

THE BEALE GROUP
THE LIVERY PROJECT
135 S. MAIN
SEBASTOPOL, CA 95472
040-054-020



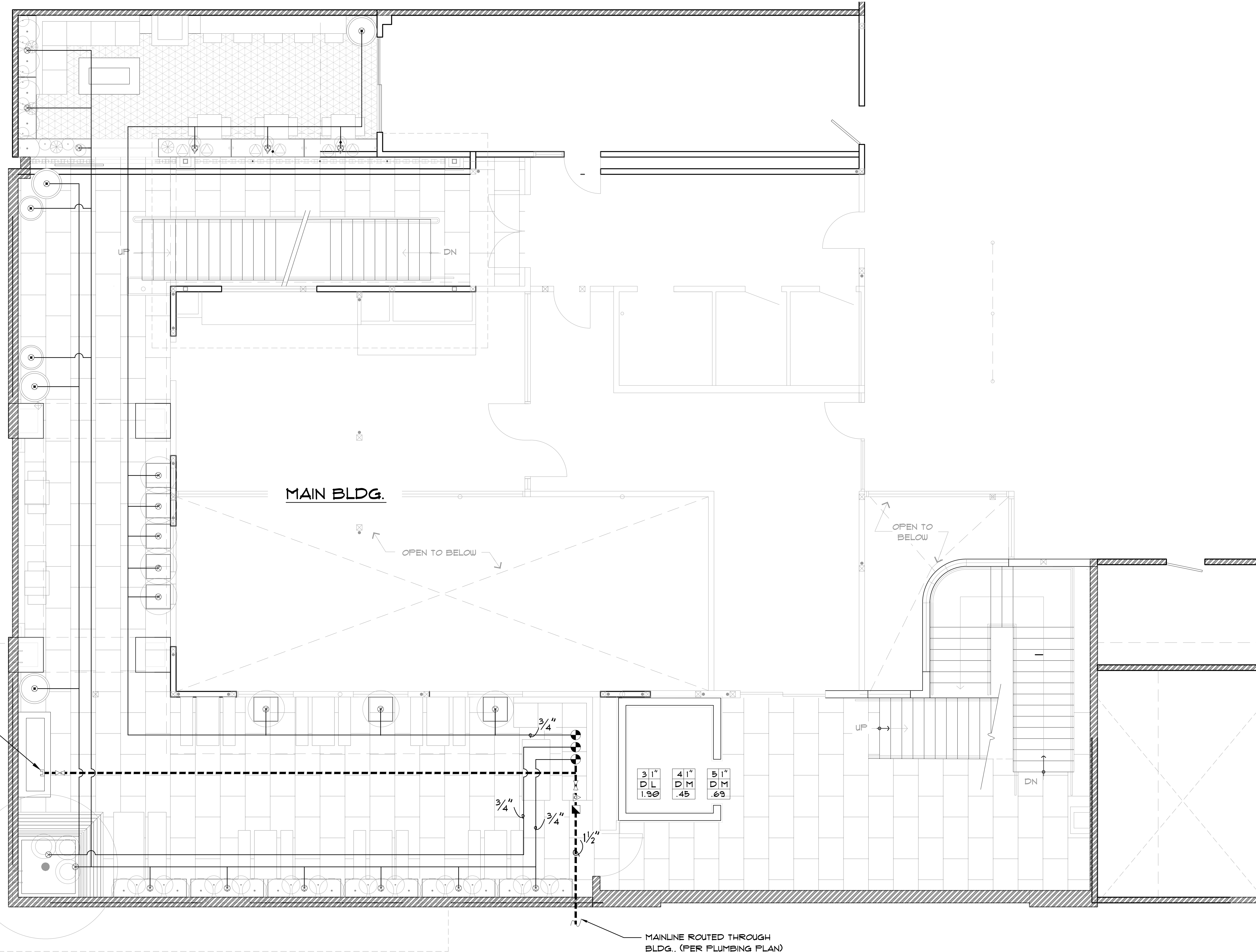
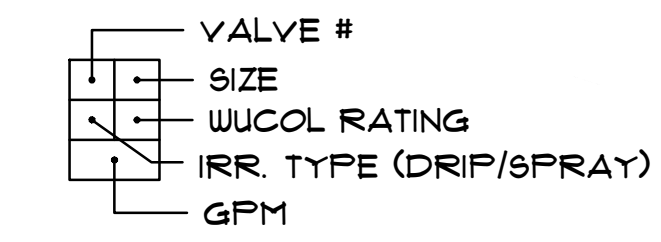
FIRST LEVEL IRRIGATION PLAN

SHEET
L4.1

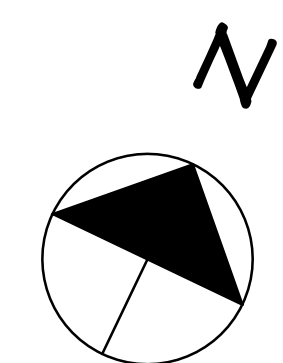
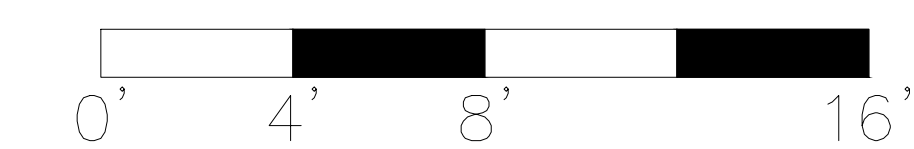
IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	NOTES
POC	POINT OF CONNECTION:	Approximate Location (Verify in Field). Includes valve box & shut-off valve.
M	WATER METER:	(E) Water Meter : 2" Dedicated service meter or private sub-meter (required for non-residential landscapes >1,000 sf).
BP	BACKFLOW PREVENTOR:	FEBCO 825Y - 1" Backflow preventor. Install 12-36" above ground level. Backflow prevention device (refer to local public health agency for addnl requirements).
F	FILTER:	AMIAD 1-1/2"Ø W/ 300 Mesh SS Woven Wire Screen.
PR	PRESSURE REGULATOR:	TBD Adjust pressure as necessary to achieve 30psi for drip zones for a maximum demand/flow rate of 7-8gpm max for each drip zone.
MV	MASTER VALVE:	Rainbird 100GB - 1" Master Valve Size per line. Includes valve box. Manual gate valve, butterfly valve or ball valve.
FS	FLOW SENSOR:	Data Industrial IR250B - 1" Flow Sensor Req'd for ALL non-residential landscapes.
C	CONTROLLER:	Irritrol Rain Dial: RD-1200-EXT-R with CL-100 Wireless Weather Sensing System & ETO Smart Controller (or Sim). Exterior or Interior Mount -TBD (provide 120v power) w/ wireless ET Sensor (located on eave O.H.).
RS	RAIN-SENSOR:	Hunter Wireless "Rain Click" (or Sim). Mount on eave.
RCV	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg "OMR-100" Pressure regulation module - in valve box. With disc filter & PRV for Netafim valves.

QC	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler
MVB	MANUAL BALL-VALVE:	NIBCO T-PP-600 Brass, Full-Port Ball valve (or Sim), 1" line size.
ML	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL Route through building (per Plumbing Plan).
LL	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
DI	DRIP IRRIGATION:	Netafim Techline CV w/ PVC Supply & Exhaust Header's & Manual Flush Valve 0.42 GPH Dripper (Recommended for Loamy soils).
MFLV	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header
SO	STUB-OUTS (@ POTS):	Transition from lateral to 3/4" poly blank line to individual loops of 3/4" in-line drip tubing at each plant. See Irrigation Details. All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
SO	STUB-OUTS (@ PLANTERS) XERIBUD EMITTERS:	Transition from lateral to 3/4" poly blank line to 3/4" blank tubing to Xeribud emitters (XB-T-05-PC). See Irrigation Details. All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
HB	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding. Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
S	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL



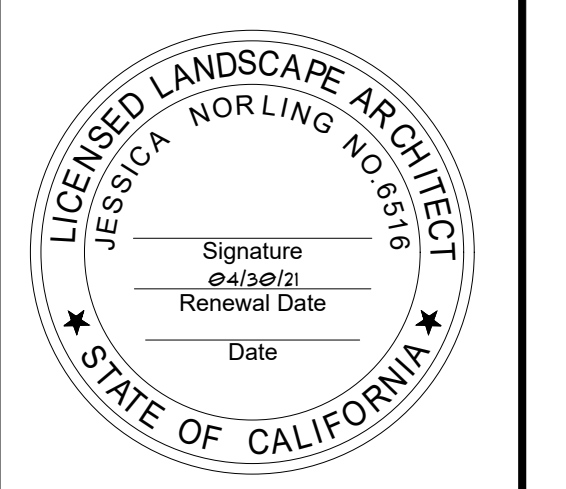
SECOND LEVEL IRRIGATION PLAN
SCALE: 1/8" = 1'-0"



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	9/15/20	DESIGN REVIEW SUBMITTAL	GM	GM, JN	GS
	10/21/20	RESUBMITTAL - ROOF UPDATE			JN
	12/01/20	LANDSCAPE SUBMITTAL	JN	JN	JN

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040-054-020

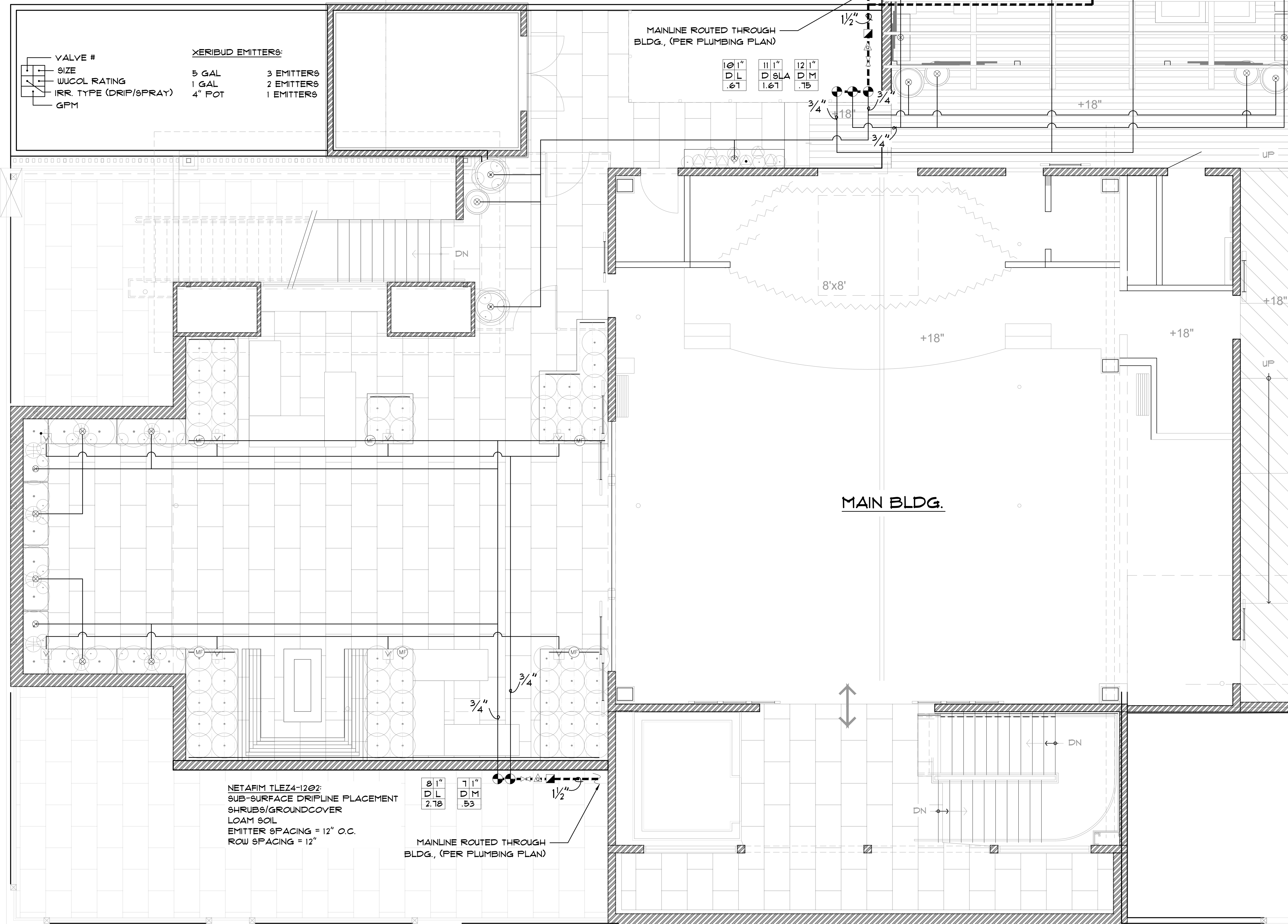


SECOND LEVEL IRRIGATION PLAN

SHEET
L4.2

IRRIGATION LEGEND:

SYMBOL			
Ⓡ	RAIN-SENSOR:	Hunter Wireless 'Rain Click' (or Sim). Mount on eave.	
Ⓡ	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg 'OMR-100' Pressure regulation module - in valve box.	With disc filter & PRV for Netafim valves.
Ⓡ	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler	
Ⓡ	MANUAL BALL-VALVE:	NIBCO T-FP-600 Brass, Full-Port Ball valve (or Sim), 1" line size.	
-----	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL	Route through building (per Plumbing Plan).
---	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL	Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
---	DRIP IRRIGATION:	Netafim Techline CV w/ PVC Supply & Exhaust Header's & Manual Flush Valve	0.42 GPH Dropper (Recommended for Loamy soils).
Ⓡ	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header	
Ⓡ	STUB-OUTS (@ POTS):	Transition from lateral to 3/4" poly blank line to individual loops of 1/4" in-line drip tubing at each plant. See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
Ⓡ	STUB-OUTS (@ PLANTERS): XERIBUD EMITTERS	Transition from lateral to 3/4" poly blank line to 1/4" blank tubing to Xeribud emitters (XB-T-05-PC). See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch. See Irrigation Notes, Sheet L12.
Ⓡ	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding.	Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
-----	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL	



THIRD LEVEL IRRIGATION PLAN
 SCALE: 1/8" = 1'-0"

IRRIGATION NOTES

TOTAL LANDSCAPE AREA: 143 SF
 WATER SUPPLY TYPE: POTABLE
 LOCAL WATER PURVEYOR: CITY OF SEBASTOPOL
 DEDICATED SERVICE METER OR PRIVATE SUB-METER: NOT REQ'D
 STATIC WATER PRESSURE: 65-68 PSI
 OPERATING WATER PRESSURE: +/- 50 PSI

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. THIS SYSTEM IS DESIGNED BASED ON AN APPROXIMATE OPERATING PRESSURE OF 50 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ONCE VERIFIED IN FIELD. (IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A MIN. OF 15-30 PSI PER DRIP VALVE, AND A MAX. FLOW RATE OF 1-8 GPM PER DRIP VALVE).
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- WATER LINES AND EQUIPMENT SHOWN IN PAVING (OR WITHIN BLDG.) ARE FOR GRAPHIC CLARITY ONLY, UNLESS OTHERWISE SPECIFIED. ALL EQUIPMENT SHALL BE LOCATED IN DESIGNATED PLANTING AREAS (TBD). ALL PIPING LOCATED W/IN PAVING SHALL INCLUDE PROPERLY SIZED SLEEVING AND SHALL BE STRAIGHT-LINE W/ NO CONNECTIONS.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR. (N/A)
- CONTRACTOR SHALL FLUSH ALL LINES THOROUGHLY PRIOR TO INSTALLATION OF EMITTERS, AND INCLUDE A WHOLE-SYSTEM FILTER.
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

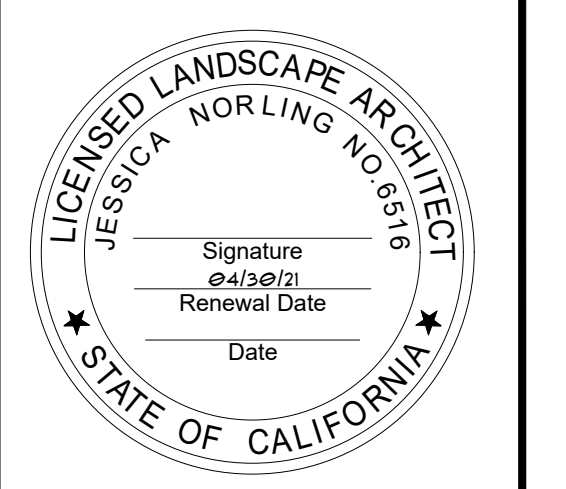
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 135 S. MAIN
 SEBASTOPOL, CA 95472
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THIRD LEVEL IRRIGATION PLAN

SHEET
L4.3

PDF DATE 12/01/20

