



## City of Sebastopol Design Review Board Staff Report

Meeting Date: September 7, 2022  
Agenda Item: 7C  
To: Design Review Board  
From: John Jay, Associate Planner

Subject: Design Review and Tree Protection  
Recommendation: Approve with conditions  
Applicant/Owner: Habitat for Humanity/Jeff Katz  
File Number: 2022-006  
Address: 333 North Main Street  
CEQA Status: Exempt  
General Plan: Central Core (CC)  
Zoning: Downtown Core (CD)

### **Introduction:**

The Habitat for Humanity group is proposing four townhomes that consist of three bedrooms, one car garages, and a roof top community garden. This project has had preliminary reviews with the Planning Commission on September 28, 2021, and with the Design Review Board on November 3, 2021. The applicant has taken in those comments and provided the current proposal. The project was approved with a recommendation to City Council from the Planning Commission at their June 14, 2022, meeting and was then approved the City Council on August 2, 2022.

### **Project Description:**

This project proposes four, two story townhomes that consist of three bedrooms and a one car garage. Each townhome includes a private rear patio as well as partially covered front porches that face North Main Street. The project also proposes to remove four trees in total which include two Monterey Cypress trees and two smaller ornamentals which are not listed on the protected tree list for the city of Sebastopol.

### **General Plan Consistency:**

This project is consistent with the following General Plan policies as shown below.

- *Goal LU1 - Maintain Sebastopol as a unique, charming, and environmentally sensitive small town that provides residents, businesses, and visitors with opportunities to enjoy a high quality of life.*
- *Policy LU 1-2: Avoid urban sprawl by concentrating development within the City limits; favor infill development over annexation.*
- *Policy LU 5-5: Strongly encourage residential development in a balanced and efficient pattern that reduces sprawl, preserves open space, and creates convenient connections to other land uses.*

- *Policy LU 6-2: Promote compact urban form that provides residential opportunities in close proximity to jobs, services, and transit.*
- *Housing Element Policy C-3: The City will encourage long-term and permanent affordability of extremely low, very low, low, and moderate income and special needs housing.*
- *Housing Element Policy C-4: The City will encourage development of new housing to meet a range of income levels, including market-rate housing, and a variety of housing sizes and types.*
- *Housing Element Goal D-1: Promote Housing Affordability for both Renters and Homeowners*
- *Housing Element Policy D-5: The City will promote the ability for lower and moderate-income households to become homeowners.*

**Zoning Ordinance Consistency:**

The Downtown Commercial (CD) Zoning District is intended to create, preserve, and enhance the downtown area as the historic retail core of Sebastopol. This District provides for a range of uses, including office, retail, restaurant, service, and other commercial uses, while allowing for residential growth, including mixed-use and affordable housing development, with the intent of increasing the vibrancy of the City’s central downtown area, and it is noted that the CD District is not applied to the entire downtown

**Required Findings:**

Chapter 17.450.030(b) sets forth the required findings of Design Review permits.

In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way;
3. It would not impair the desirability of investment or occupation in the neighborhood;
4. The design is internally consistent and harmonious;
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter.

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

*Tree Removal Criteria.* An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

**Analysis:**

**Design Review**

All Design Review projects are subject to the Design Review Guidelines and staff feels that this project meets those guidelines as described in the analysis below:

**SITE PLANNING:**

*Neighborhood context:* This project meets this requirement as the design of an attached townhome style is something that blends a residential use within a commercial district. The applicant took the design comments received by the Design Review Board at its preliminary meeting and incorporated those changes to provide a more flowing style that represents Sebastopol.

*Circulation and Parking:* This project meets the parking requirements as it provides four parking spaces within the garages included on site. The rest of the parking comes from the street parking available on Main Street. The project will also be required to work with the developments to the east as there is a shared driveway easement that serves these parcels. That language will be reviewed and signed off by the City Engineer.

*Open space:* This project meets this requirement in that it proposes to include a backyard for each townhome unit that those tenants can take care of. It also includes a community rooftop garden on the garage structure. This helps with adding additional plant material on a site that has design challenges and is removing some on site trees.

*Grading and Storm Water:* This project meets this requirement even though it will require a fair amount of grading work on site. The project still meets the requirement of minimized work to existing topography in that the building is designed in a way that flows with the natural slope of the site. However, there will be grading work to include site retaining walls on the eastern and southern parts of the property.

*Trash enclosures:* This project will be required to provide trash services for the residents that live within each of the townhomes. Staff has provided the applicant a contact with the local trash authority to work out how they will handle pick up on days of service. As the site is constrained on space, residents might have to wheel trash cans down to Main Street for pick up

if the garbage trucks are not able to service at the garages. The applicant inquired if the project could lose one parking space to accommodate a designated trash can space along Main Street and staff was not comfortable in granting that as other businesses and residences along Main Street are not given that opportunity.

**ARCHITECTURE:**

*Relationship to surrounding architecture:* This project meets this requirement in that the design style is a modern take on the attached townhome style housing. The project sits down lower on the site to its neighboring housing developments. From the proposed material boards and renderings, the colors of the project are similar to the direct neighboring housing development.

*Massing:* The project meets this requirement in that the building flows down the hill as the natural topography moves south on Main Street. The project includes two inset second story patios within the middle houses and two pop out room extensions on the outer. The design has been done in compliance with the building height requirements of the Municipal code.

*Elements:* The project meets this requirement in that it promotes larger windows to incorporate more natural light as well as solar panels on the larger rooftop area. The proposed building colors are cooler in tone and are similar to the sounding buildings. The addition of the roof top garden also helps out with the natural insulation for the garage units.

**LANDSCAPING:**

*General:* This project meets the general landscaping requirements in that it promotes a robust landscape plan that is designed for low to moderate water use along with using as many native plants as possible to Sonoma County and the climate region. The planting plan, as attached plans, maximizes the space on the lot to not have any large unplanted areas.

**Environmental Review:**

The project is categorically exempt from the requirements of CEQA pursuant to Section 15303(b) which includes A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for no more than six dwelling units. The Habitat for Humanity four townhome units would be consistent with this exemption as it proposes four attached multi-family residential units and will not create any new environmental impacts as it will be in an already developed area.

**City Departmental Comment:**

The project was routed to the various City departments on January 24, 2022, and those conditions have been added to Exhibit B Conditions of Approval.

**Public Comment:**

As this project is less than 10,000 square feet and less than 10 dwelling units the city is not required by the municipal code to send out public notification. However, staff has noticed this project to the Press Democrat informing the public of the date for this meeting.

**Recommendation:**

If it is the consensus of the Board that the proposed single-family residence is compatible with the site, staff recommends that the application be approved based on the facts, findings, and analysis set forth in this staff report, and subject to the conditions of approval outlined.

Alternatively, the Board may find that revisions are necessary, and a continuance is appropriate. Staff recommends that the Board provide direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

**Attachments:**

Exhibit A – Findings for Approval

Exhibit B – Conditions of Approval

Application materials

City Council Resolution and Findings/Conditions for Tentative Map and Use Permit approval

**EXHIBIT A**  
**RECOMMENDED FINDINGS OF APPROVAL**

Habitat For Humanity  
333 North Main Street  
APN 004-670-022, File 2022-006

In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
  - a. *As conditioned this project will meet this requirement, in that the project incorporates a townhome style design within a commercial downtown district and is comparable to the housing development to the east.*
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way;
  - a. *As conditioned this project will meet this requirement with the proposed landscaping plan and new tree plantings.*
3. It would not impair the desirability of investment or occupation in the neighborhood;
  - a. *As conditioned this project will meet this requirement as it will increase the desirability of this neighborhood as it proposes to develop a vacant lot to affordable housing.*
4. The design is internally consistent and harmonious;
  - a. *As conditioned this project will meet this requirement.*
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter.
  - a. *As conditioned this project will meet this requirement, in that it meets Design Guideline B.1. as the buildings are related to the street and proper setbacks are provided to reinforce existing street frontages. Design Guideline D.1 as each unit provides a private open space with the inclusion of private back yards as well as front porches.*

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

*Tree Removal Criteria.* An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
  - a. *Not applicable*

2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
  - a. *Not applicable*
  
3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
  - a. *Not applicable.*
  
4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
  - a. *The removal of the Cypress trees along the property line are needed as the grading work that is required to be done on site will negatively impact these trees. These trees are also not recognized within the protected tree list of Sebastopol.*
  
5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.
  - a. *Not applicable.*

**EXHIBIT B**  
**RECOMMENDED CONDITIONS OF APPROVAL**

Habitat For Humanity  
Design Review and Tree Removal Permits  
333 North Main Street  
APN 004-670-022, File 2022-006

1. Plans and elevations shall be in substantial conformance with plans prepared by Jeff Katz, Architect, stamped received on March 10, 2022, and on file at the City of Sebastopol Planning Department, except as modified herein:
  - a.
2. All Findings and Conditions from City Council Resolution 2022-6470 shall apply, in addition to these conditions.
3. All construction shall conform to the plans date stamped March 10, 2022, unless the design is modified. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
4. All work to be done within any street right of way or City utility easement shall require an Encroachment permit.
5. Prior to Building Permit issuance, a Grading Permit shall be required.
6. A Tree Protection Plan is required, and shall conform to the requirements of SMC 8.12.050.
7. A fee of \$75.00 per required replacement tree shall be paid per required tree removed at the time of submittal of the tree removal application or a minimum of two 15-gallon trees shall be planted, and the fee refunded. The final number of replacement trees, and the tree species, shall be six (6) trees, or as otherwise determined by the Tree Board or the City Arborist, as applicable. In any case, the mitigation (number and size of replacement trees) must be related to the significance (size, age, etc.) of the trees that are proposed for removal. On-site replacement trees shall be planted prior to final inspection unless otherwise approved by Planning Staff.



# SONOMA COUNTY HABITAT FOR HUMANITY SEBASTOPOL TOWNHOUSES

333 NORTH MAIN STREET, SEBASTOPOL, CA 95472

NOT FOR  
CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404  
707.544.3920 | www.jeffkatzarchitecture.com



### PROJECT DATA

**PROJECT ADDRESS:** 333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

**ASSESSOR'S PARCEL NO.:** 004-670-022000

**OWNER:** HABITAT FOR HUMANITY OF SONOMA COUNTY  
1201 PINER ROAD, SUITE 500  
SANTA ROSA, CA 95402

**GOVERNING AGENCY:** CITY OF SEBASTOPOL PLANNING DEPARTMENT  
7120 BODEGA AVENUE  
SEBASTOPOL, CA 95472

**GOVERNING CODES:** CITY OF SEBASTOPOL ZONING ORDINANCE  
2019 CALIFORNIA BUILDING CODE

**SCOPE OF WORK:** THE PROJECT AT 333 NORTH MAIN STREET CONSISTS OF (4) THREE BEDROOM, TWO STORY TOWNHOUSES WITH (4) ONE CAR GARAGES. THE FRONT ENTRANCES TO THE TOWNHOUSES WILL INCLUDE COVERED PORCHES FACING NORTH MAIN STREET AND EACH TOWNHOUSE WILL HAVE A PRIVATE PATIO AT THE REAR OF THE TOWNHOUSE. THE GARAGES WILL BE ACCESSED FROM A DRIVEWAY THAT IS EXISTING AT THE NORTH EDGE OF THE PROPERTY. THE SITE IMPROVEMENTS WILL INCLUDE A RETAINING WALL, GRADING, LANDSCAPING, PATIOS, WALKWAYS AND UTILITIES. THE TOWNHOUSES WILL BE PRIVATELY OWNED SINGLE FAMILY RESIDENCES.

### LEGAL DESCRIPTION

PARCEL: 004-670-022000

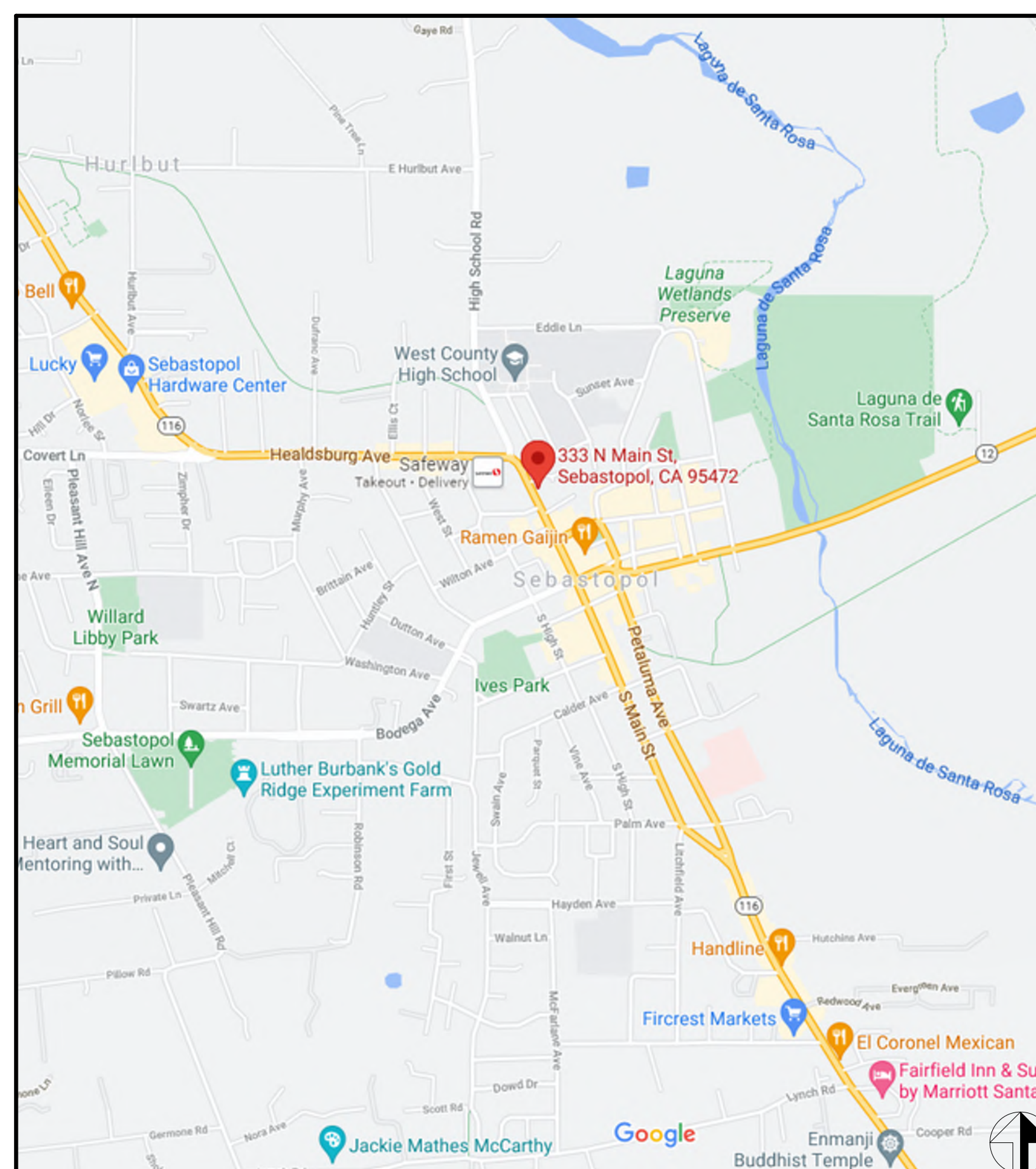
### PROJECT TEAM

**ARCHITECTURE**  
JEFF KATZ ARCHITECTURE  
200 E STREET  
SANTA ROSA, CA 95404  
(707) 544-3920 / (707) 544-2514 (FAX)  
Contact: Jeff Katz, AIA  
jeff@jeffkatzarchitecture.com

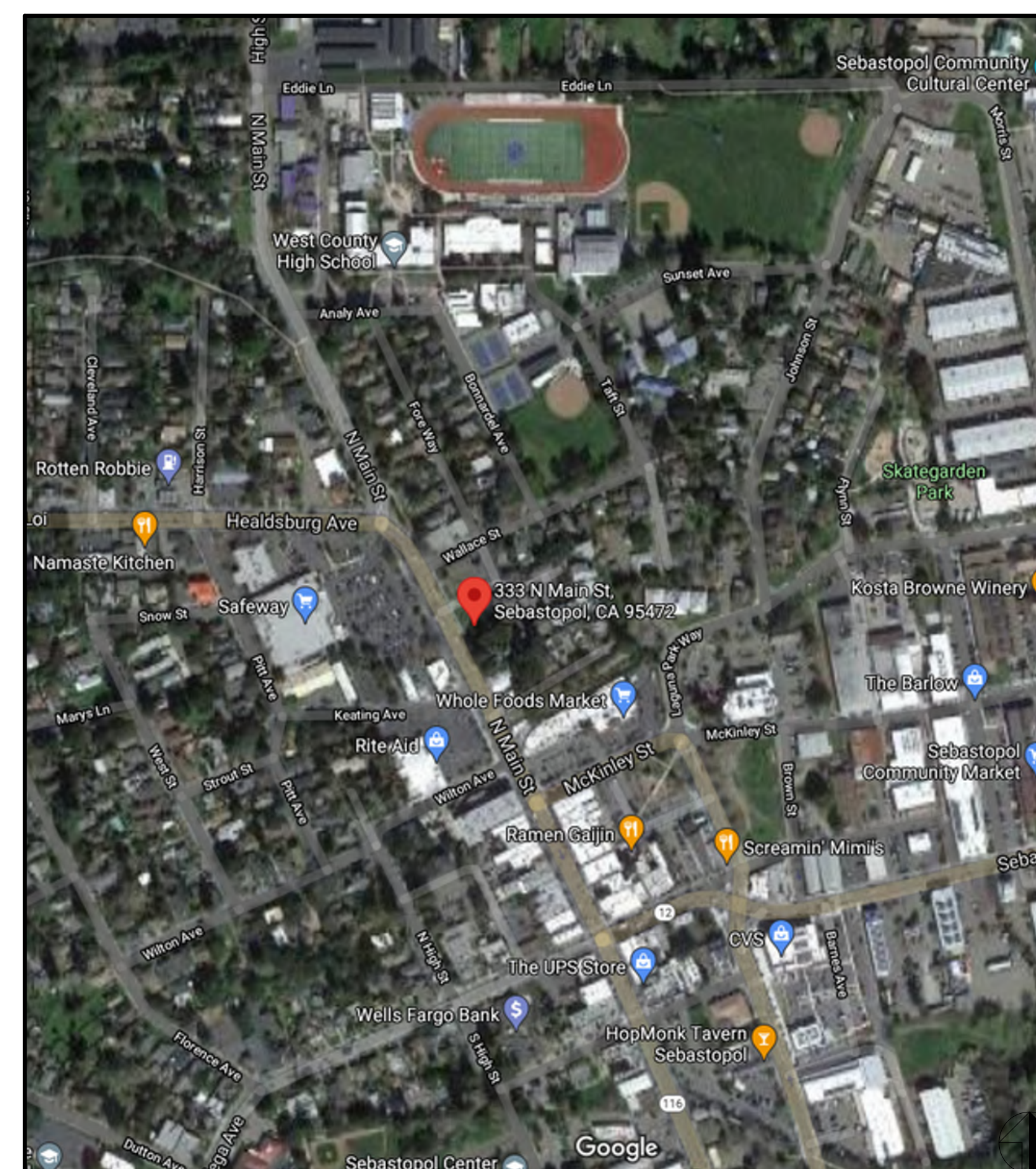
PROJECT:  
SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



### LOCATION MAP



### VICINITY MAP



**OCCUPANCY GROUP:** RESIDENTIAL, R-3 PER CRC

**CONSTRUCTION TYPE:** V-B

**ALLOWABLE BLDG AREA:** RESIDENTIAL, R-3 PER CRC UNLIMITED

**ACTUAL BLDG AREA:**

FIRST FLOOR	3,924 S.F.
SECOND FLOOR	2,600 S.F.
TOTAL BUILDING AREA	6,524 S.F.

**FLOOR AREA RATIO:** 0.89

**FLOOR AREA RATIO WITH EASEMENT AREAS DEDUCTED:** 1.09

**ZONING:** CD

**SITE AREA:** 7,286 S.F.

**SITE AREA WITH EASEMENT AREAS DEDUCTED:** 5,994 S.F.

**LOT COVERAGE:** 70%

**NUMBER OF STORIES:** 2

**MAX BUILDING HEIGHT ALLOWED:** 40 FT

**ACTUAL BUILDING HEIGHT:** 23 FT

**PARKING REQUIRED:** 8 SPACES

**PARKING PROVIDED:** 4 SPACES

**REQUIRED SETBACKS (PRIMARY BUILDING):** FRONT - 0 FT  
SIDE - 0 FT  
REAR - 5 FT

**REQUIRED SETBACKS (ACCESSORY BUILDING):** FRONT - 0 FT  
SIDE - 0 FT  
REAR - 3 FT

**PROPOSED SETBACKS (PRIMARY BUILDING):** FRONT - 5 FT  
SIDE - 5 FT  
REAR - 16.3 FT

**PROPOSED SETBACKS (ACCESSORY BUILDING):** FRONT - 5 FT  
SIDE - 1.5 FT  
REAR - 9 FT

### SHEET INDEX

No.	Description
T-1	TITLE SHEET
C1.00	SITE PLAN
C1.0	PROJECT INFO
C1.1	OVERALL SITE PLAN
C2.0	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN
C2.1	SITE SECTIONS
C3.0	DETAILS
L1.0	PRELIMINARY LANDSCAPE PLAN
A1.1	SITE PLAN
A1.2	EXISTING SITE PHOTOGRAPHS
A2.1	FIRST AND SECOND FLOOR PLANS
A2.2	ENLARGED PLANS
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	SCHEMATIC RENDERINGS
A4.1	BUILDING SECTIONS

Description: Date:

CONCEPTUAL PLANNING REVIEW 07/16/21

DESIGN REVIEW 10/15/21

DESIGN REVIEW 01/10/22

RESUBMITTAL

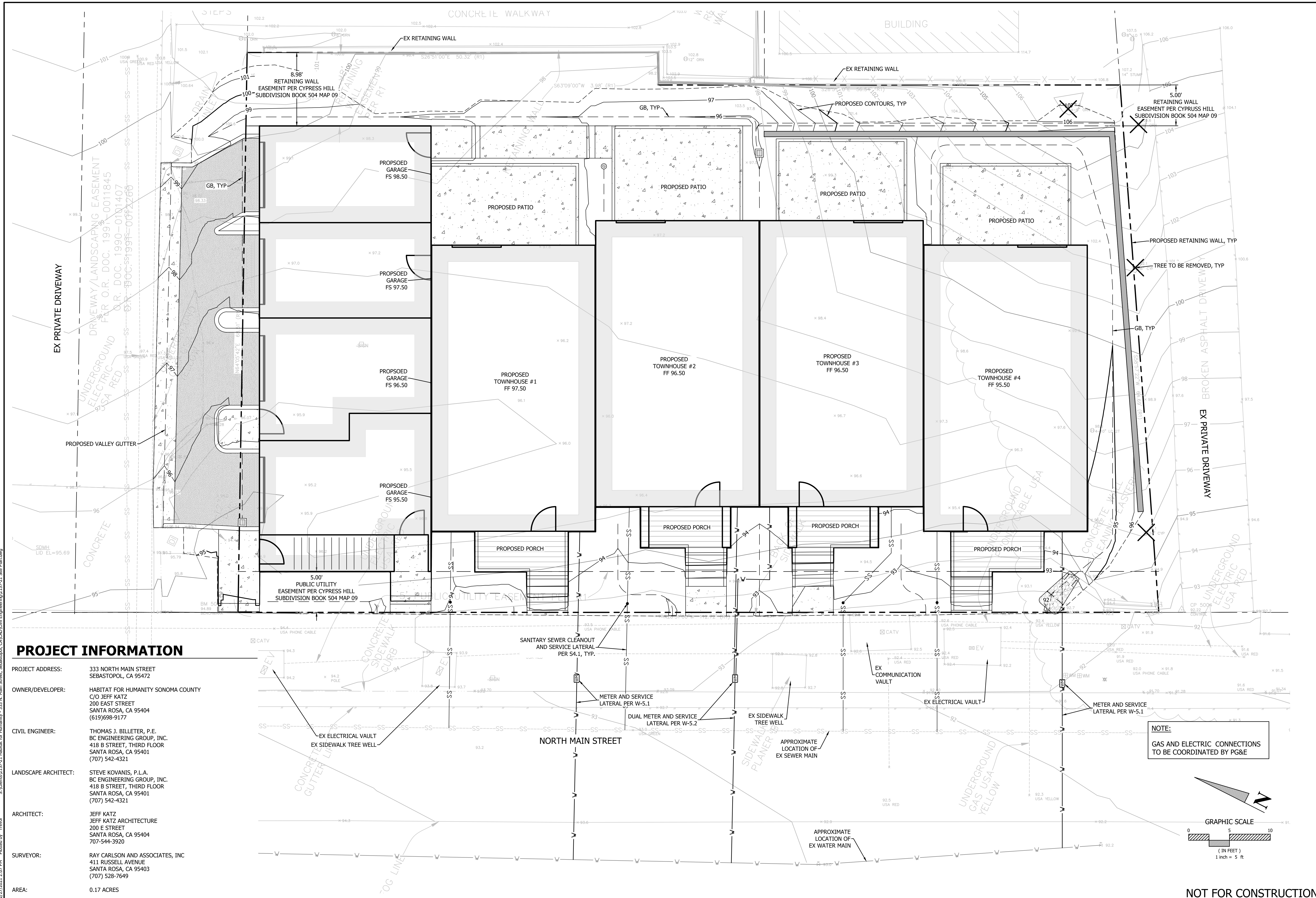
NOT FOR  
CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
TITLE SHEET

SHEET NUMBER:

T-1



**PROJECT INFORMATION**

PROJECT ADDRESS: 333 NORTH MAIN STREET SEBASTOPOL, CA 95472

OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY  
C/O JEFF KATZ  
200 EAST STREET  
SANTA ROSA, CA 95404  
(619)698-9177

CIVIL ENGINEER: THOMAS J. BILLETER, P.E.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

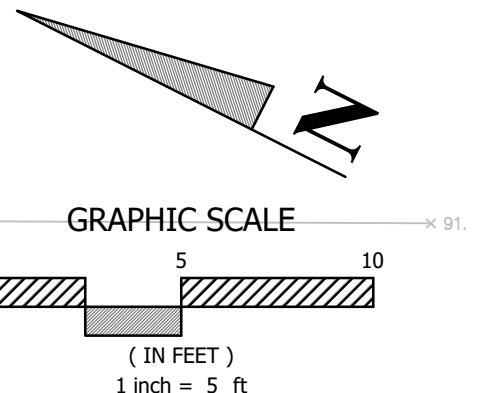
LANDSCAPE ARCHITECT: STEVE KOVANIS, P.L.A.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

ARCHITECT: JEFF KATZ  
JEFF KATZ ARCHITECTURE  
200 E STREET  
SANTA ROSA, CA 95404  
707-544-3920

SURVEYOR: RAY CARLSON AND ASSOCIATES, INC  
411 RUSSELL AVENUE  
SANTA ROSA, CA 95403  
(707) 528-7649

AREA: 0.17 ACRES

**NOTE:**  
GAS AND ELECTRIC CONNECTIONS  
TO BE COORDINATED BY PG&E



REV.	DESCRIPTION	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bcegroup.com  
 Phone: 707.542.4321  
 SANTA ROSA OFFICE:  
 418 B Street, Third Floor, Santa Rosa CA 95401  
 UKAR OFFICE:  
 603 S. State Street, Ukiah CA 95482

HABITAT FOR HUMANITY SONOMA COUNTY  
 SITE PLAN  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

**PRELIMINARY**

Date:	12/27/2021
Job:	2157-21
Drawn:	TSL
Scale:	AS SHOWN
APN:	004-670-022
Permit #:	
Sheet:	<b>C1.00</b> 1 of 1

NOT FOR CONSTRUCTION

12/27/2021 2:07 PM Plotted by: Trevor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Site Plan.dwg

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AREA: 0.17 ACRES

**PRELIMINARY GRADING AND DRAINAGE DRAWINGS FOR  
HABITAT FOR HUMANITY SONOMA COUNTY**

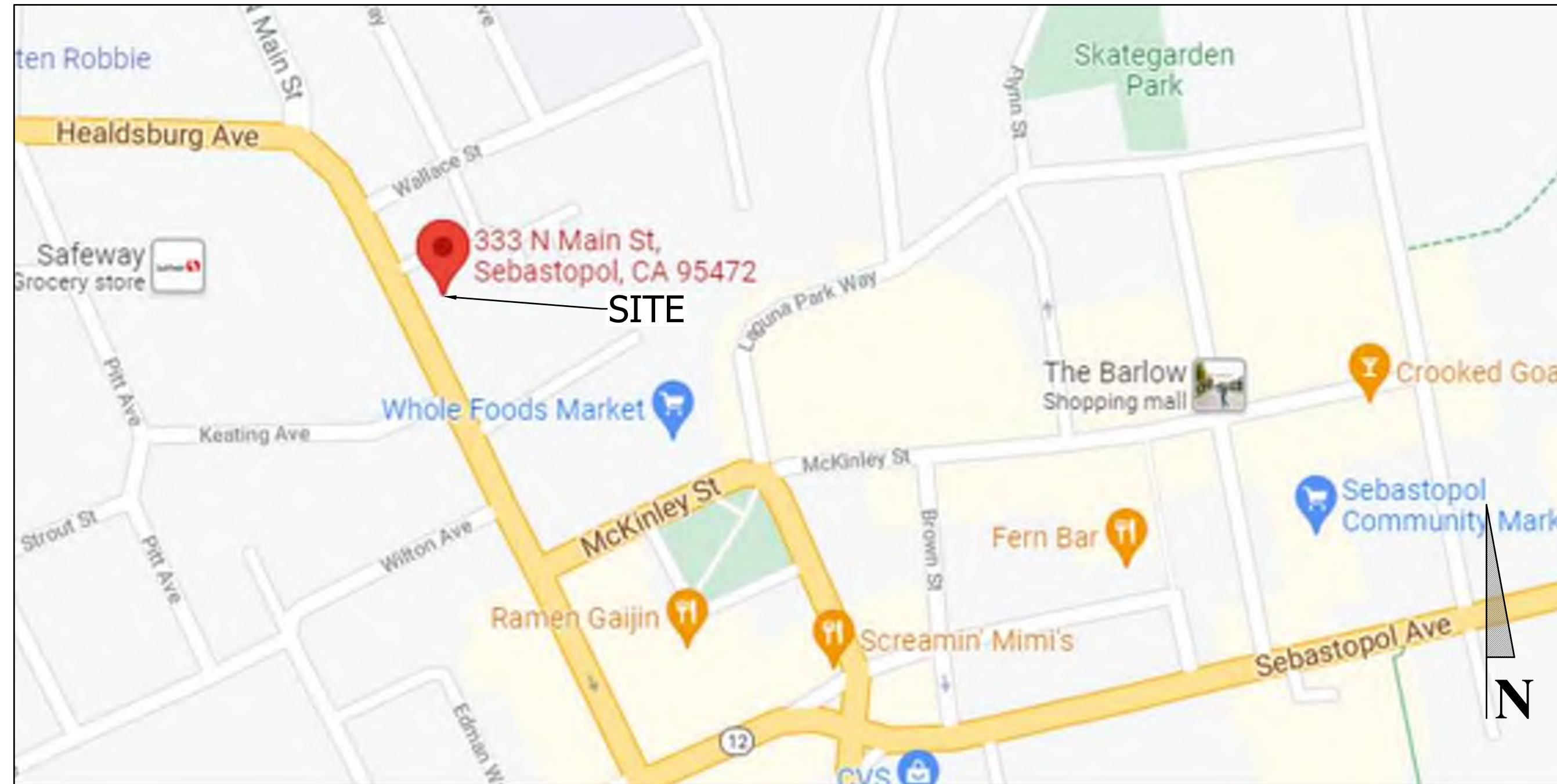
**333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472  
APN: 004-670-022**

**SHEET INDEX**

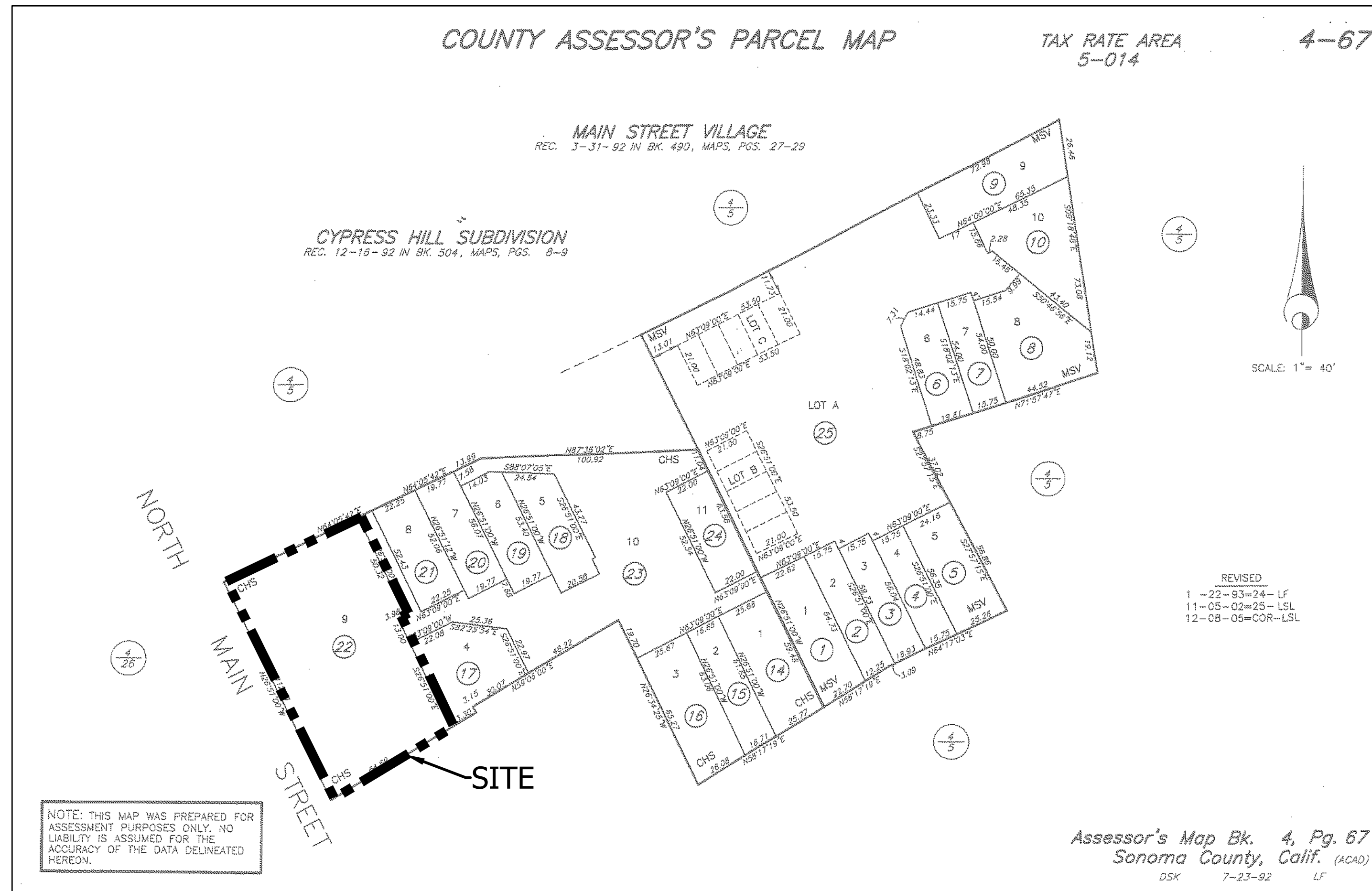
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**ABBREVIATIONS**

&	AND	HP	HIGH POINT
@	AT	HT	HEIGHT
t	CENTERLINE	HWY	HIGHWAY
°	DEGREE	ID	INSIDE DIAMETER
∅	DIAMETER	IG	INVERT GRADE
#	NUMBER	IN	INCH
//	PARALLEL	INT	INTERIOR
%	PERCENT	INV	INVERT
⊥	PERPENDICULAR	IJ	"I" JOIST
±	PLUS OR MINUS	JST	JOIST
AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	ASPHALT CONCRETE	L	LENGTH
AD	AREA DRAIN	LAT	LATERAL
ADDL	ADDITIONAL	LF	LINEAL FOOT
AFF	ABOVE FINISHED FLOOR	LGW	LIMITS OF GRADING WORK
AG	AGGREGATE	MAX	MAXIMUM
ALT	ALTERNATE	ME	MATCH EXISTING
ANCH	ANCHOR	MIN	MINIMUM
APN	ASSESSOR'S PARCEL NUMBER	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MO	MASONRY OPENING
ARCH	ARCHITECT / ARCHITECTURAL	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
AVG	AVERAGE	(N)	NEW
BC	BEGIN CURVE	NTS	NOT TO SCALE
BD	BELOW DECK	OC	ON CENTER
BFF	BELOW FINISHED FLOOR	OD	OUTSIDE DIAMETER OF OUTSIDE FACE
BLDG	BUILDING	OH	OVERHEAD
BLK	BLOCK	OPNG	OPENING
BLKG	BLOCKING	OPP	OPPOSITE
BM	BENCHMARK	ORIG	ORIGINAL
BOF	BOTTOM OF FOOTING	(P)	PROPOSED
BOT	BOTTOM	PCC	POINT OF COMPOUND CURVE
BRG	BEARING	PL	PROPERTY LINE
BSL	BUILDING SETBACK LINE	POC	POINT OF CURVATURE
BT	BEGIN TRANSITION	PRC	POINT OF RETURN CURVE
BTWN	BETWEEN	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL	PVC	POLYVINYLCHLORIDE
CIP	CAST IN PLACE	PVMT	PAVEMENT
CB	CATCH BASIN	R or RAD	RADIUS
CBC	CALIFORNIA BUILDING CODE	RC	RELATIVE COMPACTION
CL	CENTERLINE	REF	REFERENCE
CLR	CLEAR	REINF	REINFORCING
CMU	CONCRETE MASONRY UNIT	REQD	REQUIRED
CONC	CONCRETE	RO	ROUGH OPENING
CONN	CONNECTION	ROW	RIGHT OF WAY
CONST	CONSTRUCTION	RT	RIGHT
CONT	CONTINUOUS	RWD	REDWOOD
CPC	CALIFORNIA PLUMBING CODE	S	SLOPE
CPP	CORRUGATED PLASTIC PIPE	SAD	SEE ARCHITECTURAL DRAWINGS
CRC	CALIFORNIA RESIDENTIAL CODE	SB	SOLID BLOCK
CTR	CENTER	SC	SPIRAL CURVE
CY	CUBIC YARD	SCD	SEE CIVIL DRAWINGS
D	DEPTH	SCH	SCHEDULE
DBL	DOUBLE	SD	STORM DRAIN
DI	DROP INLET	SDCO	STORM DRAIN CLEANOUT
DIA	DIAMETER	SDE	STORM DRAIN EASEMENT
DIAG	DIAGONAL	SDMH	STORM DRAIN MANHOLE
DIM	DIMENSION	SED	SEE ELECTRICAL DRAWINGS
DIST	DISTANCE	SF	SQUARE FEET
DL	DAYLIGHT	SG	SUBGRADE
DN	DOWN	SHT	SHEET
DS	DOWNSPOUT	SHTG	SHEATHING
DWG	DRAWING	SIM	SIMILAR
EACH	EACH	SLAD	SEE LANDSCAPE ARCHITECTS' DRAWINGS
EC	END CURVE	SMD	SEE MECHANICAL DRAWINGS
EE	EACH END	SO	SIDE OPENING
EF	EACH FACE	SPEC	SPECIFICATION
EG	EXISTING GROUND	SPD	SEE PLUMBING DRAWINGS
EL or ELEV	ELEVATION	SQ	SQUARE
ELEC	ELECTRICAL	SS	SANITARY SEWER
EN	EDGE NAILING	SSCO	SANITARY SEWER CLEANOUT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EQPT	EQUIPMENT	STA	STATION
EQ	EQUAL	STD	STANDARD
ES	EACH SIDE	STRUC	STRUCTURAL
ESMT	EASEMENT	SWE	SIDEWALK EASEMENT
ET	END TRANSITION	SYM	SYMMETRICAL
EW	EACH WAY	T&B	TOP AND BOTTOM
EX or (E)	EXISTING	TB	TOP OF BANK
EXC	EXCAVATION / EXCAVATE	TC	TOP OF CONCRETE
EXT	EXTERIOR	TCC	TOP OF CONCRETE CURB
FC	FACE OF CURB	TD	TRENCH DRAIN
FD	FLOOR DRAIN	TG	TOP OF GRATE
FDN	FOUNDATION	THK	THICK
FF	FINISH FLOOR	TOF	TOP OF FOOTING
FG	FINISH GRADE	TOS	TOP OF STEEL / TOP OF STRUCTURE
FIN	FINISH	TOT	TOTAL
FL	FLOWLINE	TP	TOP OF PAVEMENT
FLR	FLOOR	TW	TOP OF WALL
FO	FACE OF	TYP	TYPICAL
FOW	FACE OF WALL	UNO	UNLESS NOTED OTHERWISE
FS	FINISHED SURFACE	VC	VERTICAL CURVE
FT	FOOT / FEET	VERT	VERTICAL
GB	GRADE BREAK OR GRAVEL BASIN	VIF	VERIFY IN FIELD
GR	GRATE	W	WATER / WIDTH
GRD	GRADE	W/	WITH
GRND	GROUND	W/O	WITHOUT
HDPE	HIGH DENSITY POLYETHYLENE	YD, YDS	YARD, YARDS
HORIZ	HORIZONTAL	Z	DITCH SIDE SLOPE



**VICINITY MAP**  
NTS



**ASSESSORS PARCEL MAP**  
NTS

**PRELIMINARY EARTHWORK SUMMARY**

CUT = 560 CY  
FILL = 20 CY  
NET = 540 CY (CUT/FILL)

DISTURBED AREA = 0.19 ACRES W/DID # NA

EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES AREA BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND AND PROPOSED FINISH GROUND AND COULD VARY ACCORDING TO THESE FACTORS. CONTRACTOR SHALL CONFIRM EXISTING TOPOGRAPHY, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S), AND SHALL PERFORM AN INDEPENDENT QUANTITY TAKEOFF AND BID ACCORDINGLY.

**PURPOSE STATEMENT**

THE PURPOSE OF THIS PROJECT IS TO PROVIDE PRELIMINARY GRADING AND DRAINAGE IMPROVEMENTS FOR NEW RESIDENTIAL UNITS AND ASSOCIATED GARAGES TO SUPPORT A DESIGN REVIEW SUBMITTAL.

**SURVEY NOTE**

BENCHMARK NOTE: DESCRIPTION OF BENCHMARK: #3 RABAR AND RED CAP - POINT 5000  
ASSUMED ELEVATION: 94.89 FEET  
CONTOUR INTERVAL = 1 FOOT

**LEGEND**

EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD WIRE)
---	---	GAS LINE
---	---	GATE VALVE
---	---	HYDRANT
---	---	PIPE CAP
---	---	POINT OF COORDINATION
---	---	SANITARY SEWER PIPE
---	---	STORM WATER DRAIN PIPE
---	---	STREET LIGHT
---	---	SUB-DRAIN
---	---	WATER LINE
---	---	BUILDING OVERHEAD
---	---	DAYLIGHT LINE
---	---	DRAINAGE SWALE FLOW LINE
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	FEATURE TO BE REMOVED
---	---	FIBER ROLL
---	---	GRADE BREAK
---	---	LIMITS OF DISTURBANCE
---	---	RETAINING WALL
---	---	ROADSIDE SIGN
---	---	SAWCUT
---	---	TREE TO BE REMOVED
---	---	CONCRETE
---	---	ROCK DISSIPATER/RIP RAP

DATE: \_\_\_\_\_ BY: \_\_\_\_\_ DESCRIPTION: \_\_\_\_\_ REV: \_\_\_\_\_

**BC ENGINEERING GROUP, INC.**  
CIVIL ENGINEERING & LAND PLANNING  
www.bcegroup.com  
Phone: 707.542.4321  
SANTA ROSA OFFICE:  
418 B Street, Third Floor, Santa Rosa CA 95401  
UKAR OFFICE:  
603 S. State Street, Ukiah CA 95482

**HABITAT FOR HUMANITY SONOMA COUNTY**  
PROJECT INFO  
C/O JEFF KATZ  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

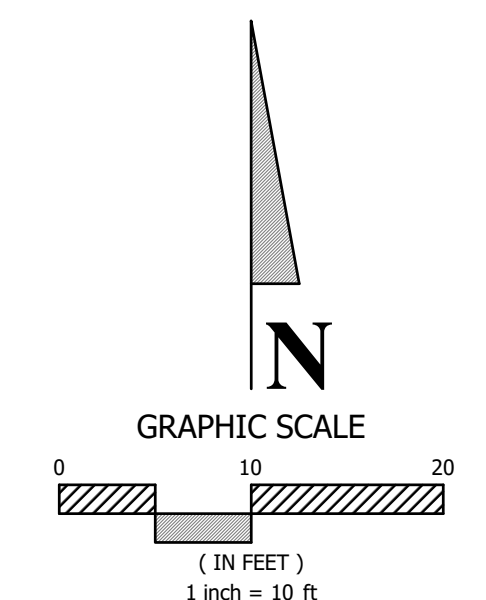
**PRELIMINARY**

Date: 12/27/2021  
Job: 2157-21  
Drawn: TSL / EK / JAB  
Scale: AS SHOWN  
APN: 004-670-022  
Permit #: \_\_\_\_\_  
Sheet: **C1.0**  
1 of 5

NOT FOR CONSTRUCTION

S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Project Info.dwg  
12/27/2021 2:08 PM  
Plotted by: Trevor


S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Overall Site Plan.dwg  
 12/27/2021 2:08 PM Plotted by Treor

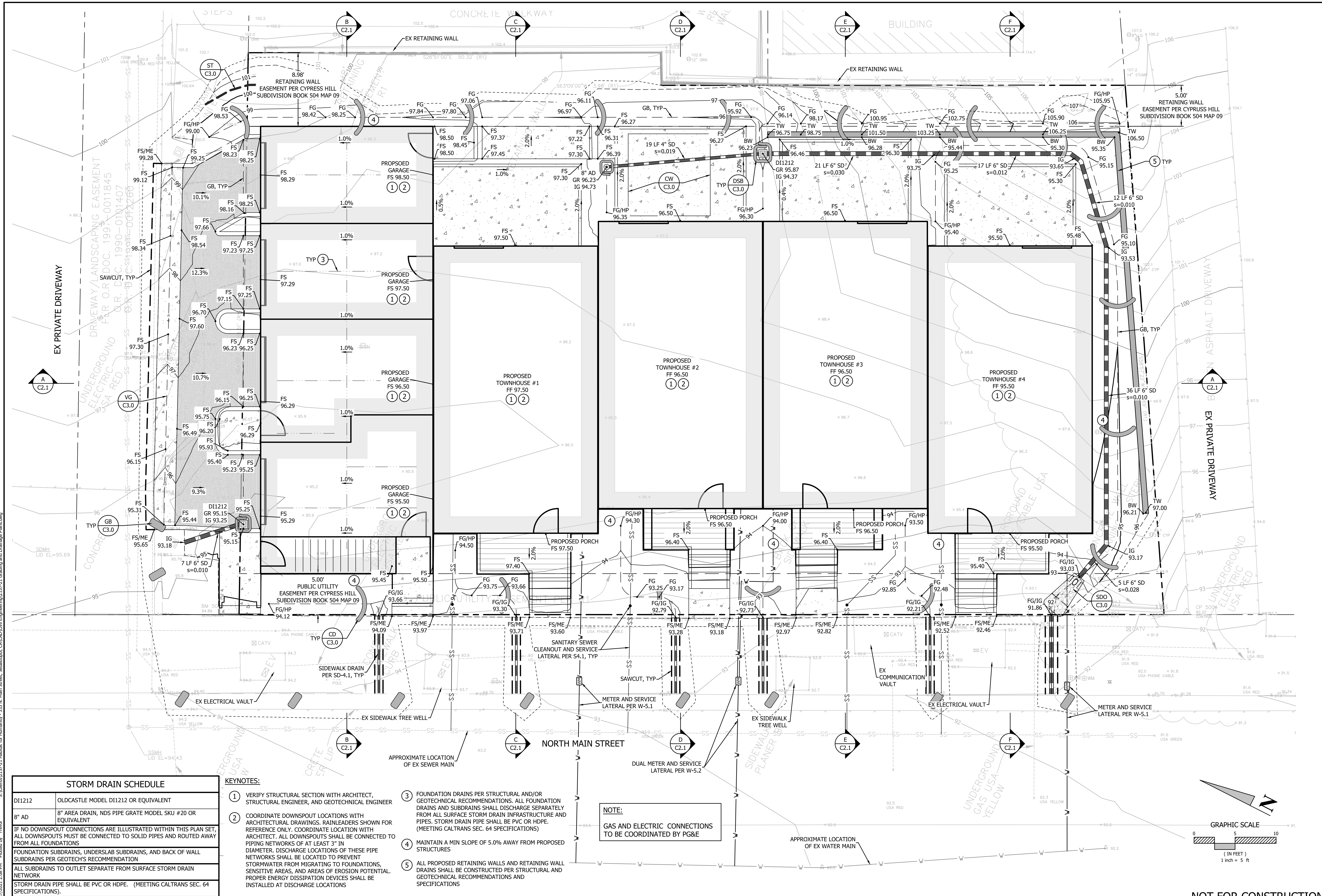


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REV.	DESCRIPTION	BY	DATE

<b>BC ENGINEERING GROUP, INC.</b> <b>CIVIL ENGINEERING &amp; LAND PLANNING</b> www.bcegroup.com Phone: 707.542.4321 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482	
	
<b>HABITAT FOR HUMANITY SONOMA COUNTY</b> OVERALL SITE PLAN C/O JEFF KATZ 333 NORTH MAIN STREET SEBASTOPOL, CA 95472	
PRELIMINARY	
Date:	12/27/2021
Job:	2157-21
Drawn:	TSL / EK / JAB
Scale:	AS SHOWN
APN:	004-670-022
Permit #:	
Sheet:	<b>C1.1</b> 2 of 5



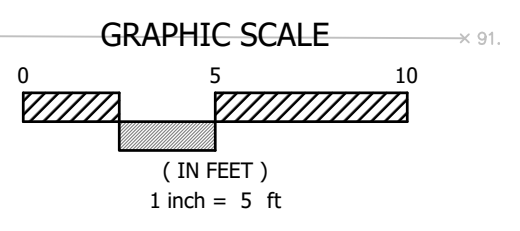
**STORM DRAIN SCHEDULE**

DI1212	OLDCASTLE MODEL DI1212 OR EQUIVALENT
8" AD	8" AREA DRAIN, NDS PIPE GRATE MODEL SKU #20 OR EQUIVALENT
IF NO DOWNSPOUT CONNECTIONS ARE ILLUSTRATED WITHIN THIS PLAN SET, ALL DOWNSPOUTS MUST BE CONNECTED TO SOLID PIPES AND ROUTED AWAY FROM ALL FOUNDATIONS	
FOUNDATION SUBDRAINS, UNDERSLAB SUBDRAINS, AND BACK OF WALL SUBDRAINS PER GEOTECH'S RECOMMENDATION	
ALL SUBDRAINS TO OUTLET SEPARATE FROM SURFACE STORM DRAIN NETWORK	
STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	

**KEYNOTES:**

- VERIFY STRUCTURAL SECTION WITH ARCHITECT, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER
- COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS. RAINFOULERS SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION WITH ARCHITECT. ALL DOWNSPOUTS SHALL BE CONNECTED TO PIPING NETWORKS OF AT LEAST 3" IN DIAMETER. DISCHARGE LOCATIONS OF THESE PIPE NETWORKS SHALL BE LOCATED TO PREVENT STORMWATER FROM MIGRATING TO FOUNDATIONS, SENSITIVE AREAS, AND AREAS OF EROSION POTENTIAL. PROPER ENERGY DISSIPATION DEVICES SHALL BE INSTALLED AT DISCHARGE LOCATIONS
- FOUNDATION DRAINS PER STRUCTURAL AND/OR GEOTECHNICAL RECOMMENDATIONS. ALL FOUNDATION DRAINS AND SUBDRAINS SHALL DISCHARGE SEPARATELY FROM ALL SURFACE STORM DRAIN INFRASTRUCTURE AND PIPES. STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS)
- MAINTAIN A MIN SLOPE OF 5.0% AWAY FROM PROPOSED STRUCTURES
- ALL PROPOSED RETAINING WALLS AND RETAINING WALL DRAINS SHALL BE CONSTRUCTED PER STRUCTURAL AND GEOTECHNICAL RECOMMENDATIONS AND SPECIFICATIONS

**NOTE:**  
GAS AND ELECTRIC CONNECTIONS TO BE COORDINATED BY PG&E



REV.	DATE	DESCRIPTION

**BC ENGINEERING & LAND PLANNING**  
 CIVIL ENGINEERING & LAND PLANNING  
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 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482

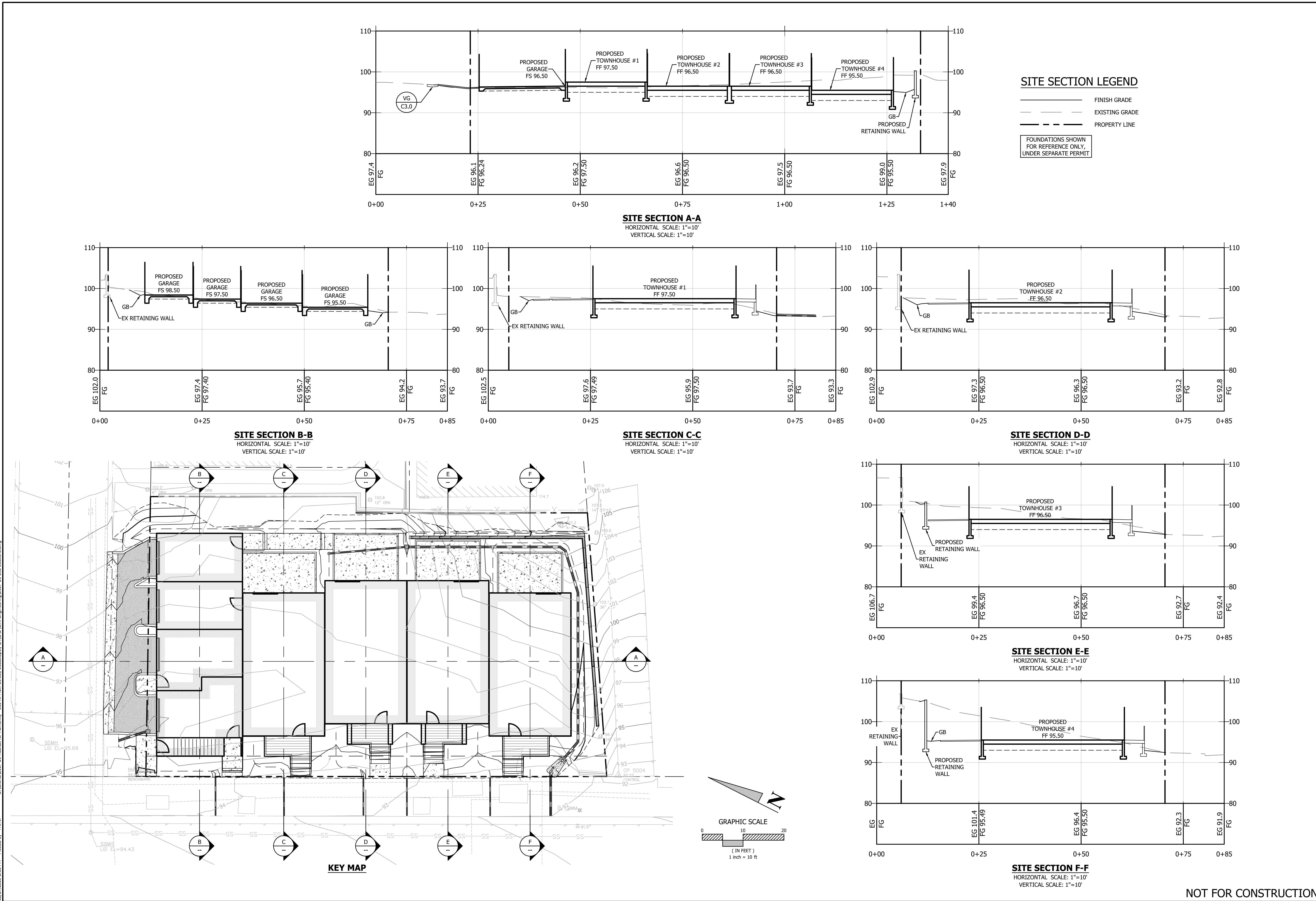
**HABITAT FOR HUMANITY SONOMA COUNTY**  
 PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

**PRELIMINARY**

Date: 12/27/2021  
 Job: 2157-21  
 Drawn: TSL / EK / JAB  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #:  
 Sheet: **C2.0**  
 3 of 5

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12/27/2021 2:08 PM Plotted by Treor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Site Sections.dwg



REV.	DESCRIPTION	BY	DATE

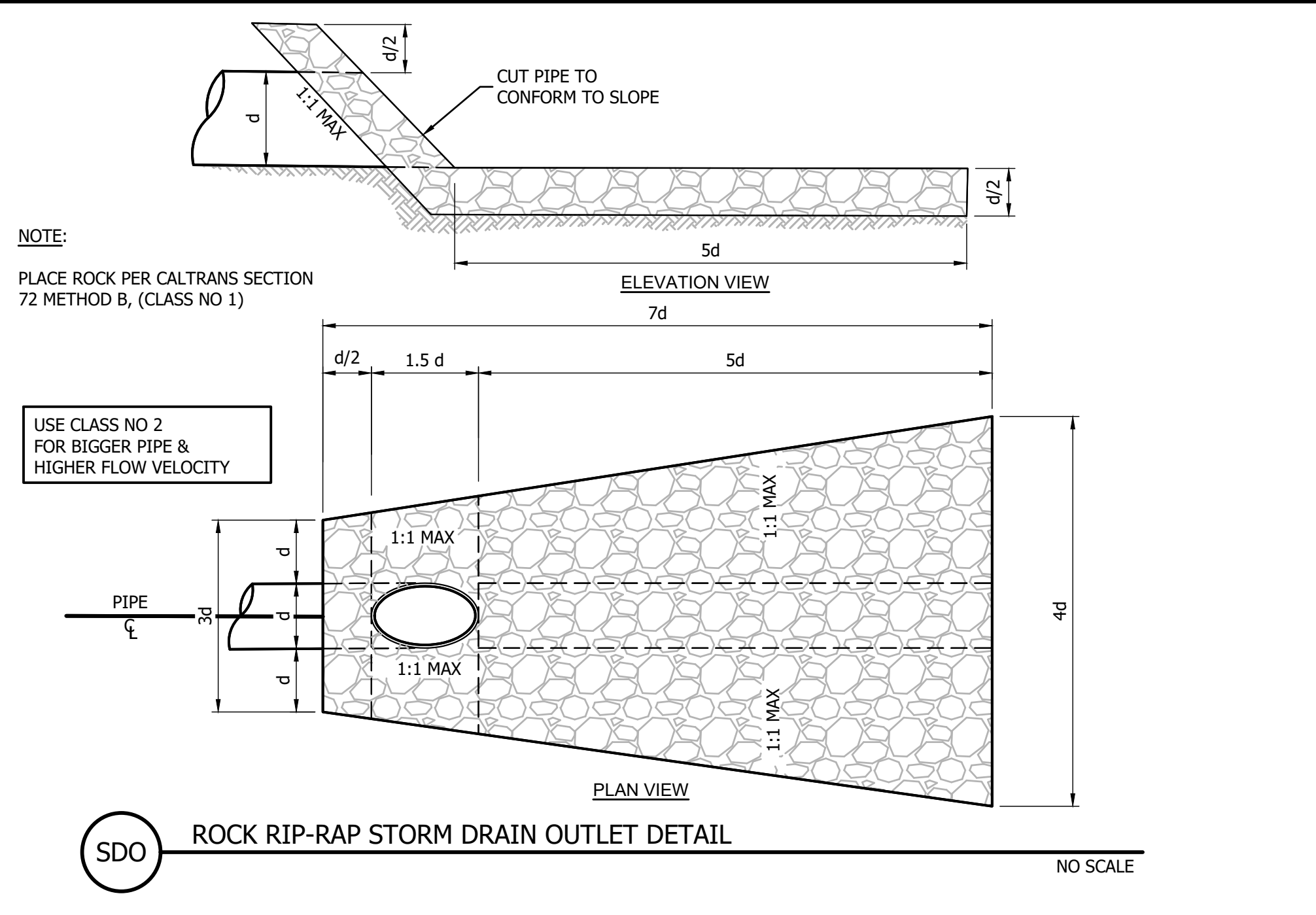
**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bceengineering.com  
 Phone: 707.542.4321  
 54571 ROSA OFFICE:  
 418 B Street, Third Floor, Santa Rosa CA 95401  
 OAKVILLE OFFICE:  
 603 S. State Street, Ukiah CA 95482

**HABITAT FOR HUMANITY SONOMA COUNTY**  
 SITE SECTIONS  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

PRELIMINARY

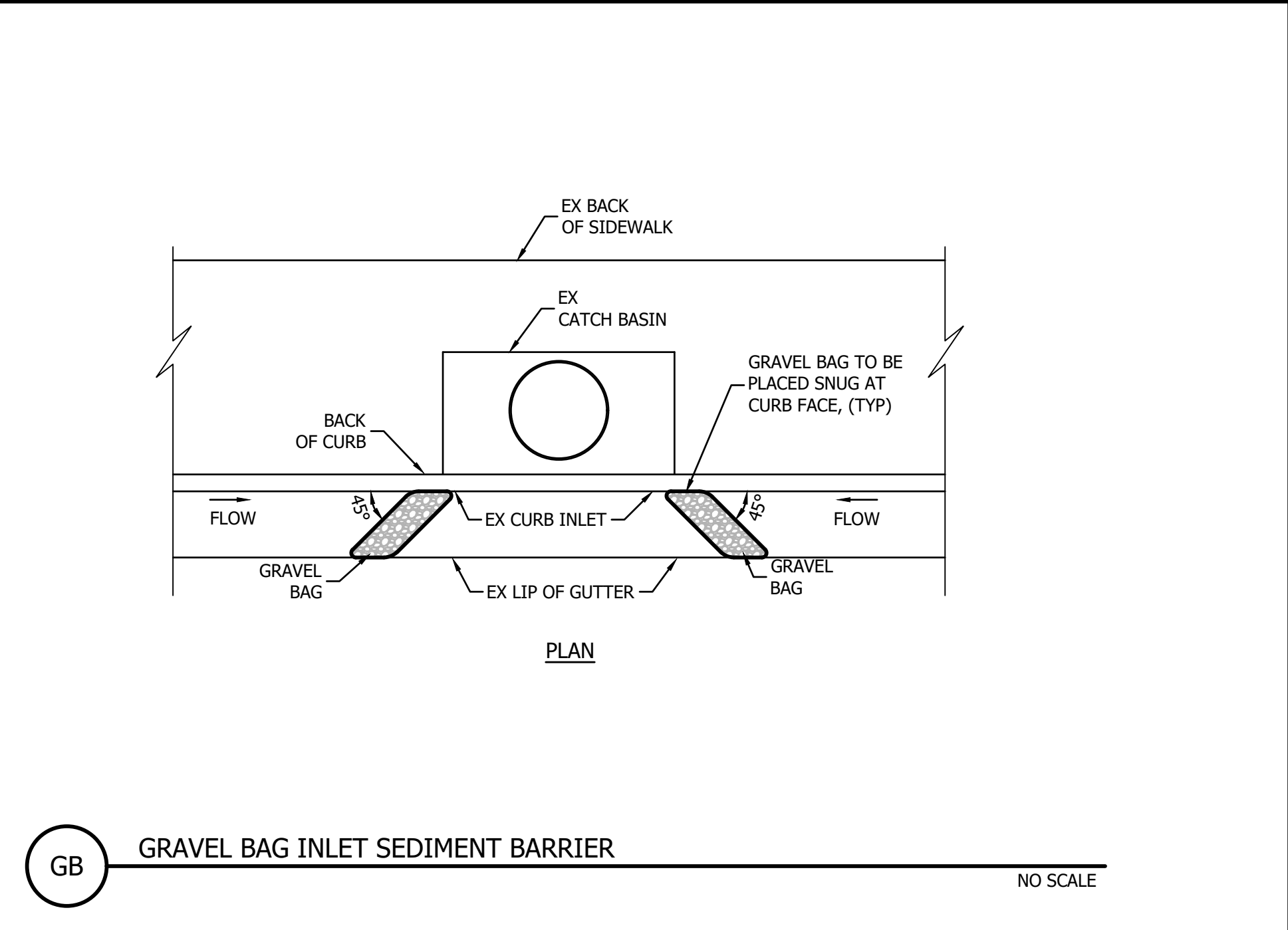
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 Job: 2157-21  
 Drawn: TSL / EK / JAB  
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 APN: 004-670-022  
 Permit #:  
 Sheet: **C2.1**  
 4 of 5

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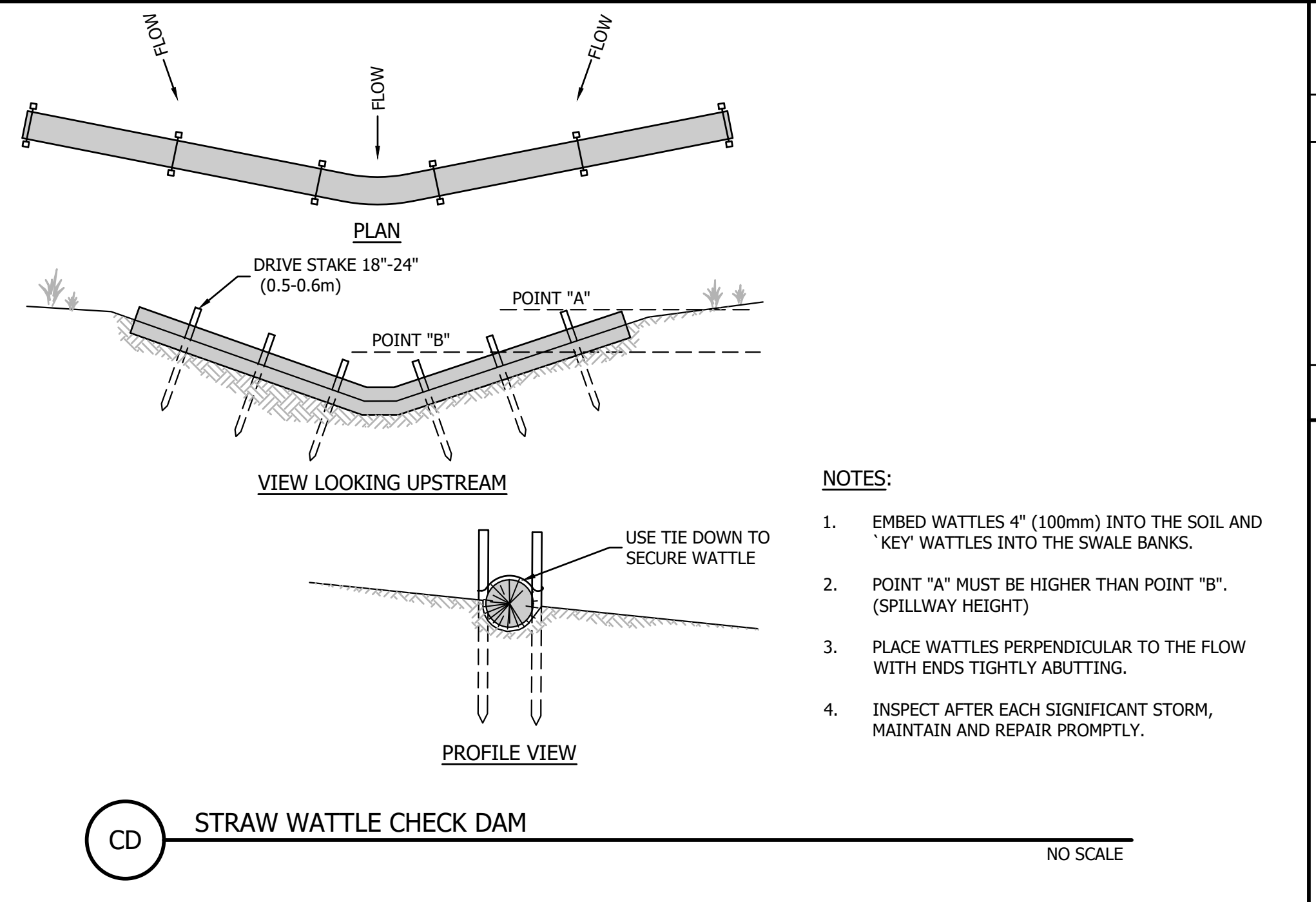
SDO ROCK RIP-RAP STORM DRAIN OUTLET DETAIL

NO SCALE



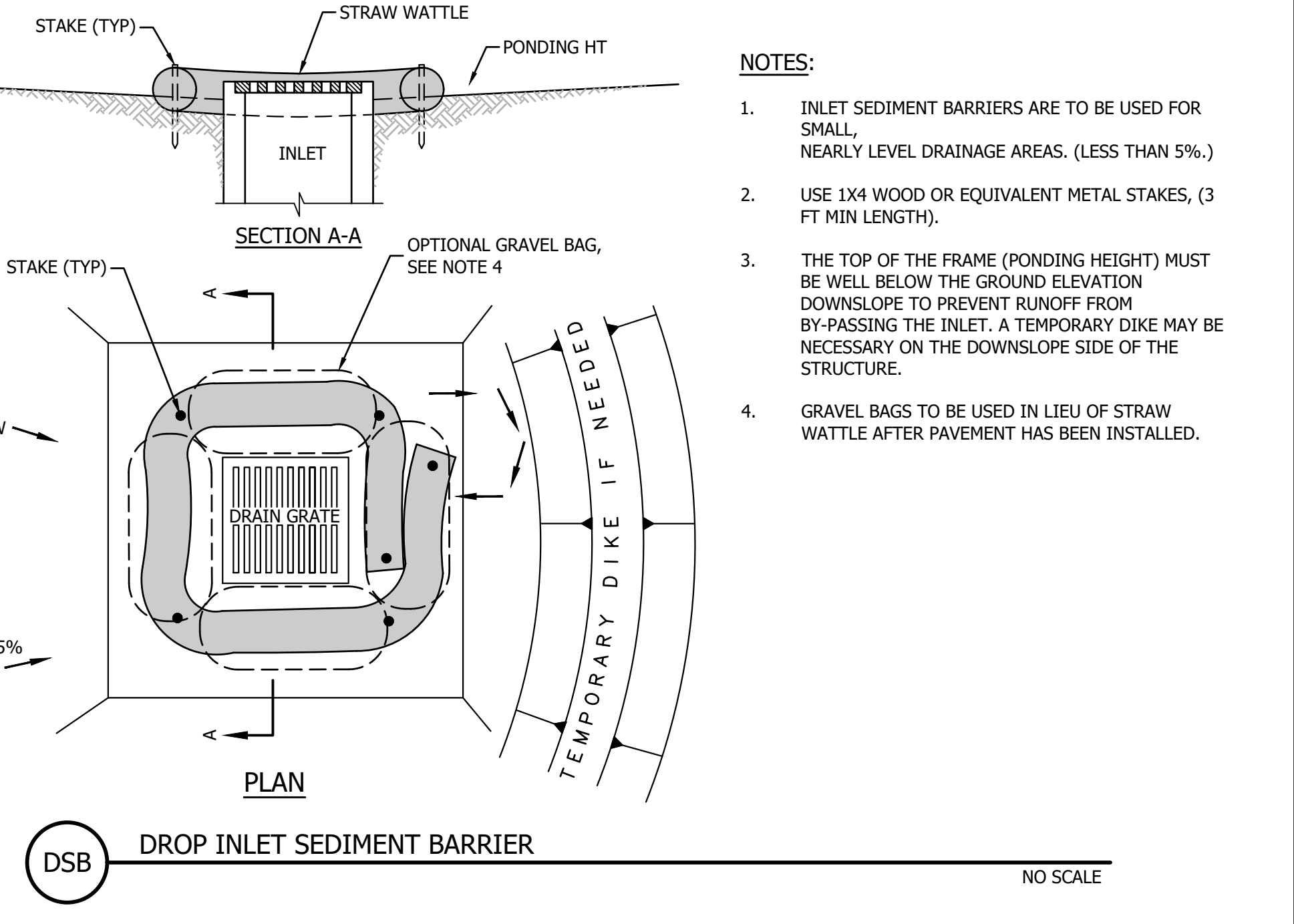
GB GRAVEL BAG INLET SEDIMENT BARRIER

NO SCALE



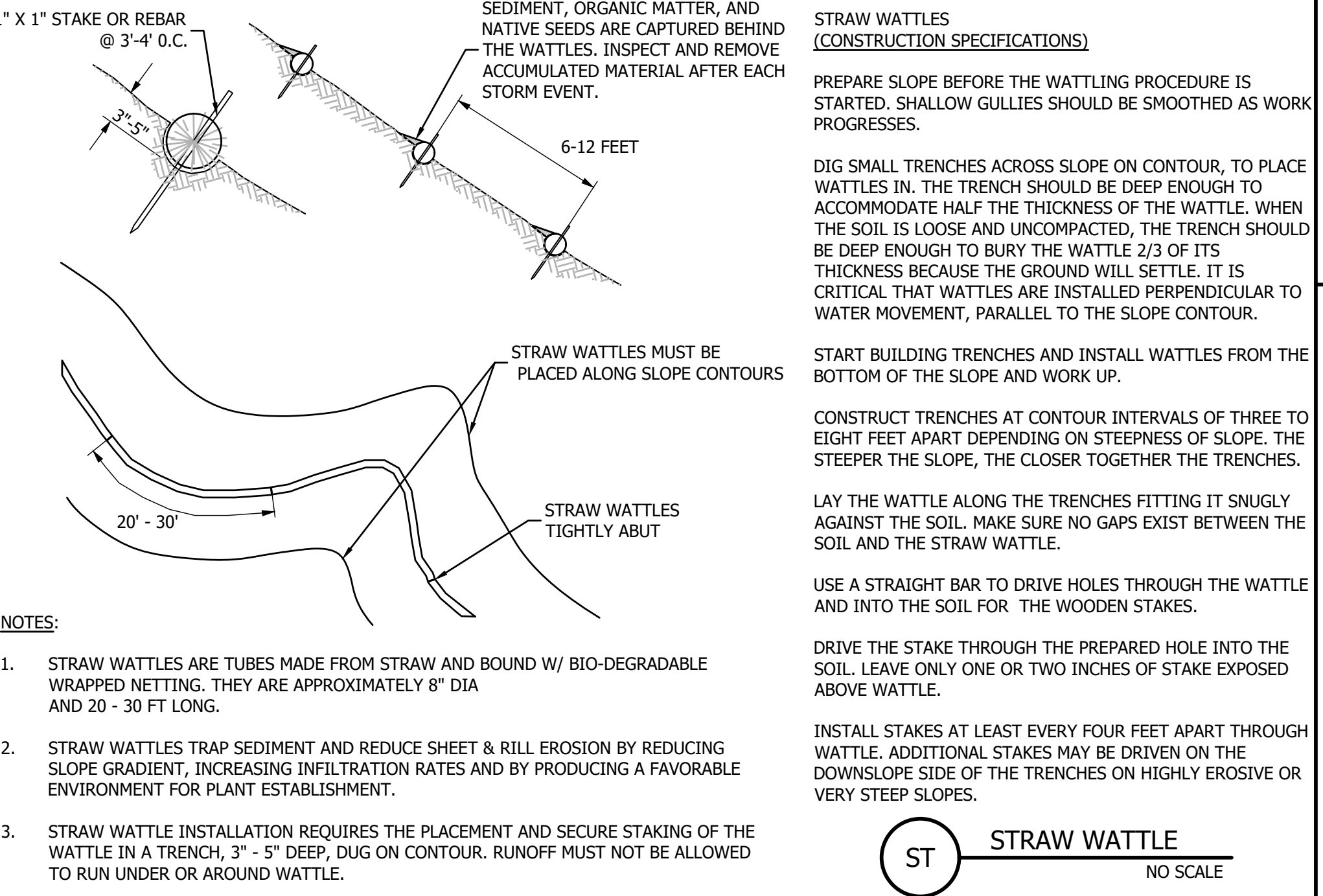
CD STRAW WATTLE CHECK DAM

NO SCALE



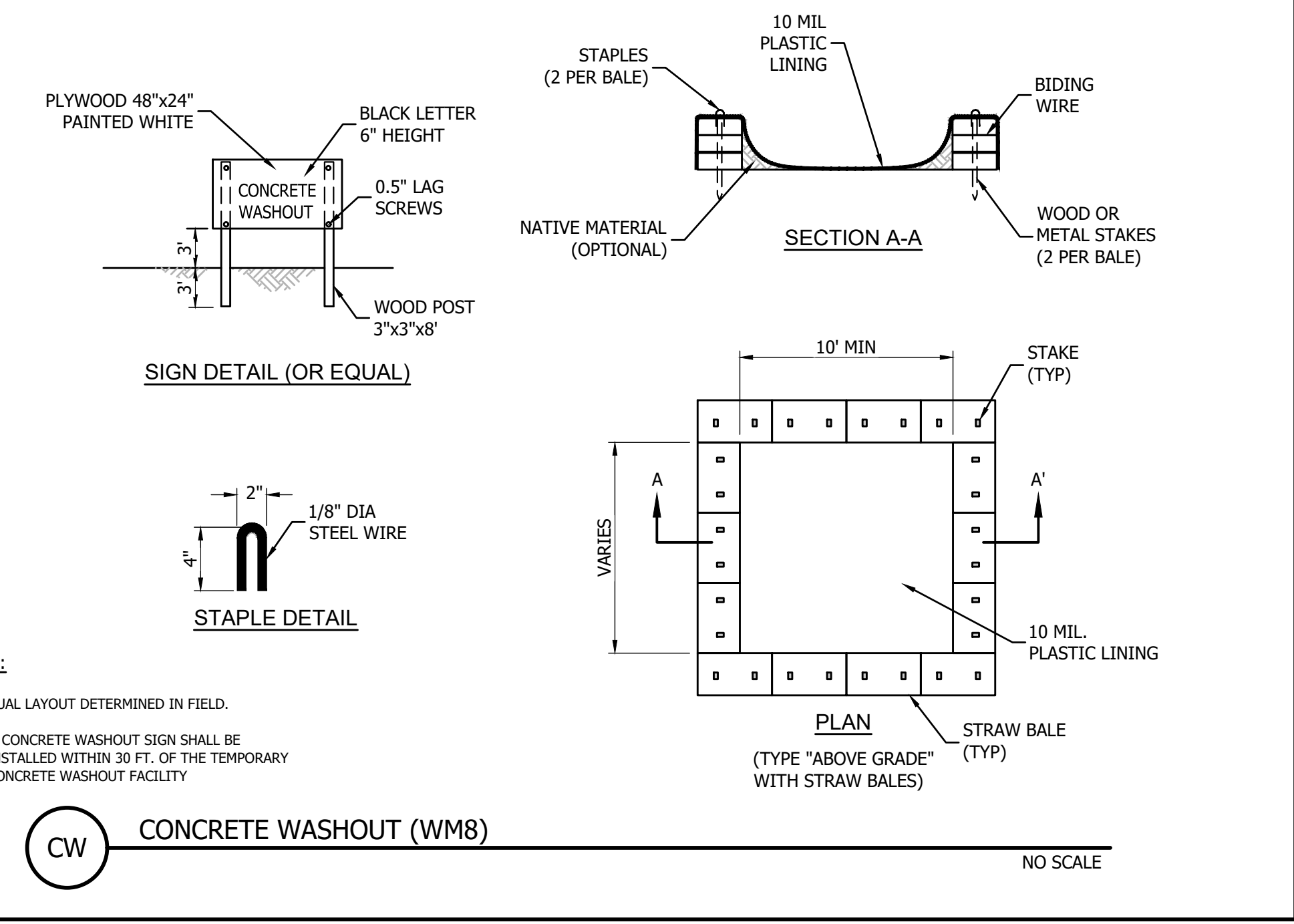
DSB DROP INLET SEDIMENT BARRIER

NO SCALE



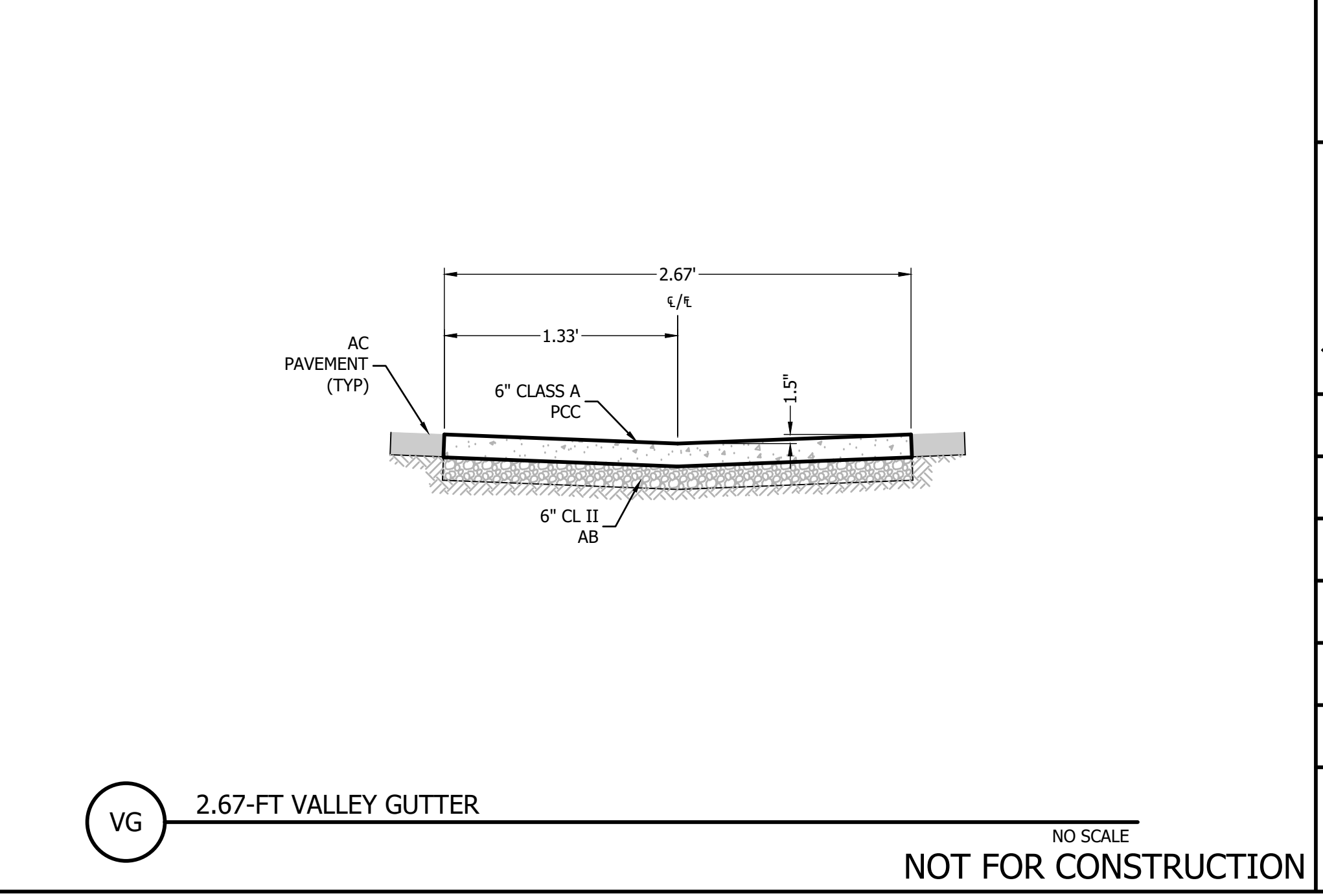
ST STRAW WATTLE

NO SCALE



CW CONCRETE WASHOUT (WM8)

NO SCALE



VG 2.67-FT VALLEY GUTTER

NO SCALE

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REV.	DATE	DESCRIPTION	BY

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**HABITAT FOR HUMANITY SONOMA COUNTY**  
 DETAILS  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

**PRELIMINARY**

Date: 12/27/2021  
 Job: 2157-21  
 Drawn: TSL / EK / JAB  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #:  
 Sheet: **C3.0**  
 5 of 5

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PROJECT:

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

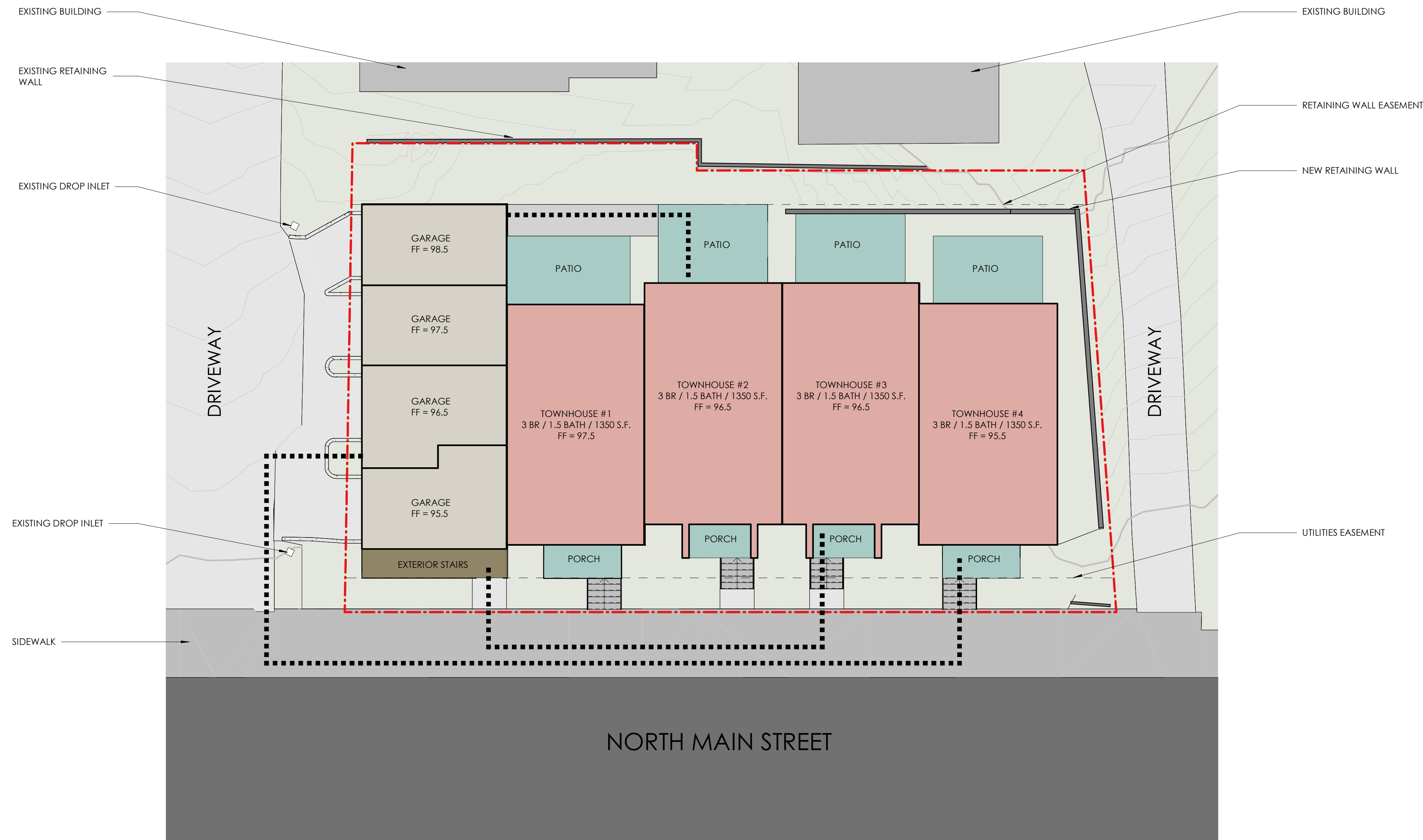
NOT FOR CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**SITE PLAN**

SHEET NUMBER:

**A1.1**





1



2



3



4



5



6



7



8



9

**PHOTOGRAPH DESCRIPTIONS**

1. VIEW FROM NORTHWEST CORNER OF SITE LOOKING SOUTHEAST.
2. VIEW FROM NORTHWEST SIDE OF SITE LOOKING EAST.
3. VIEW FROM VIEW FROM WEST SIDE OF SITE LOOKING EAST.
4. VIEW FROM NORTH SIDE OF SITE LOOKING SOUTH.
5. VIEW FROM NORTHEAST CORNER OF SITE LOOKING SOUTHWEST.
6. VIEW FROM TOP OF DRIVEWAY ON NORTH END OF SITE.
7. VIEW FROM SOUTH SIDE OF SITE LOOKING NORTH.
8. VIEW FROM SOUTHWEST SIDE OF SITE LOOKING NORTHEAST.
9. VIEW FROM SOUTHWEST CORNER OF SITE LOOKING NORTHEAST.

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**PROJECT:**

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:      Date:  
CONCEPTUAL      07/16/21  
PLANNING  
REVIEW  
DESIGN REVIEW      10/15/21  
DESIGN REVIEW      01/10/22  
RESUBMITTAL

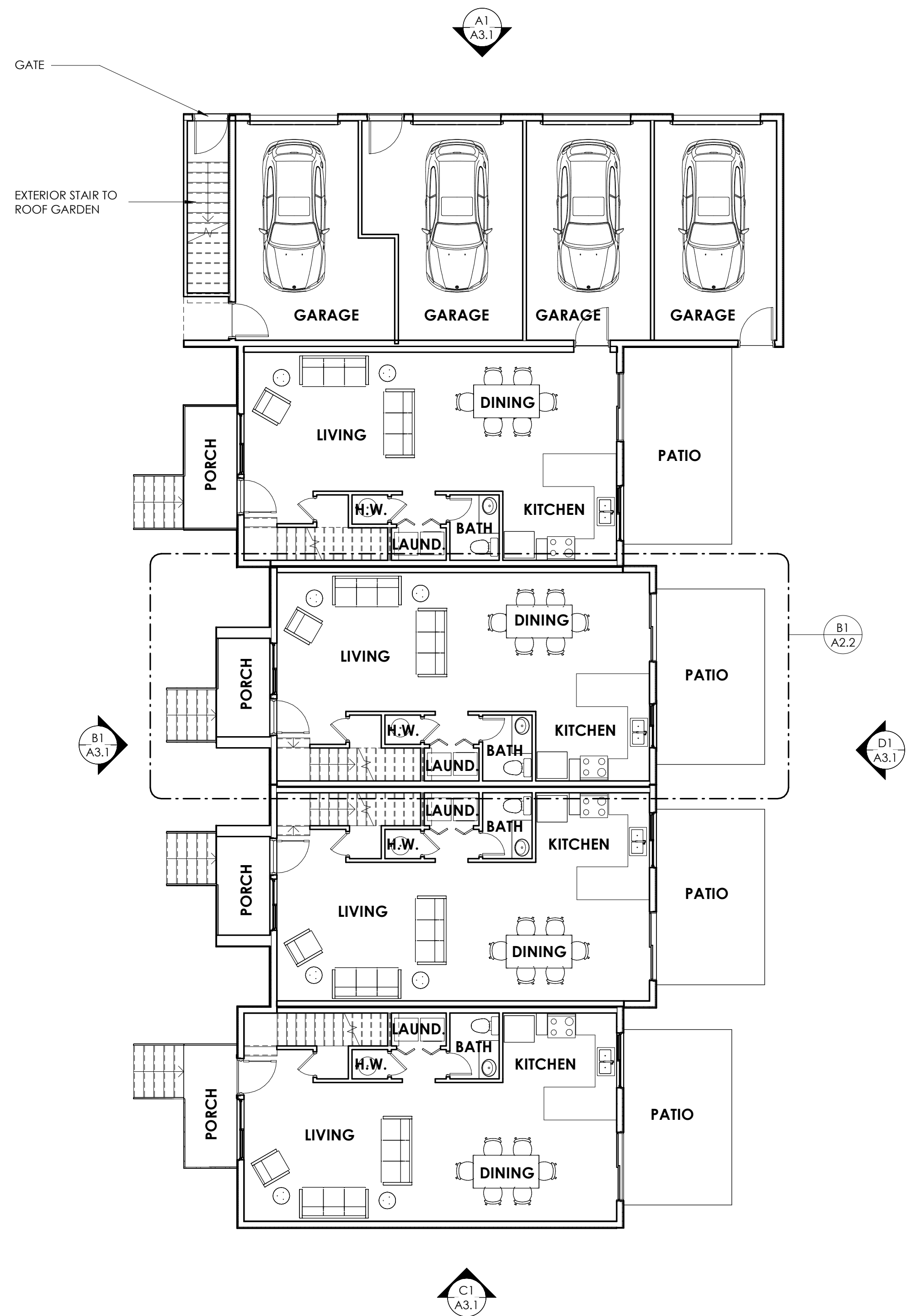
NOT FOR  
CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

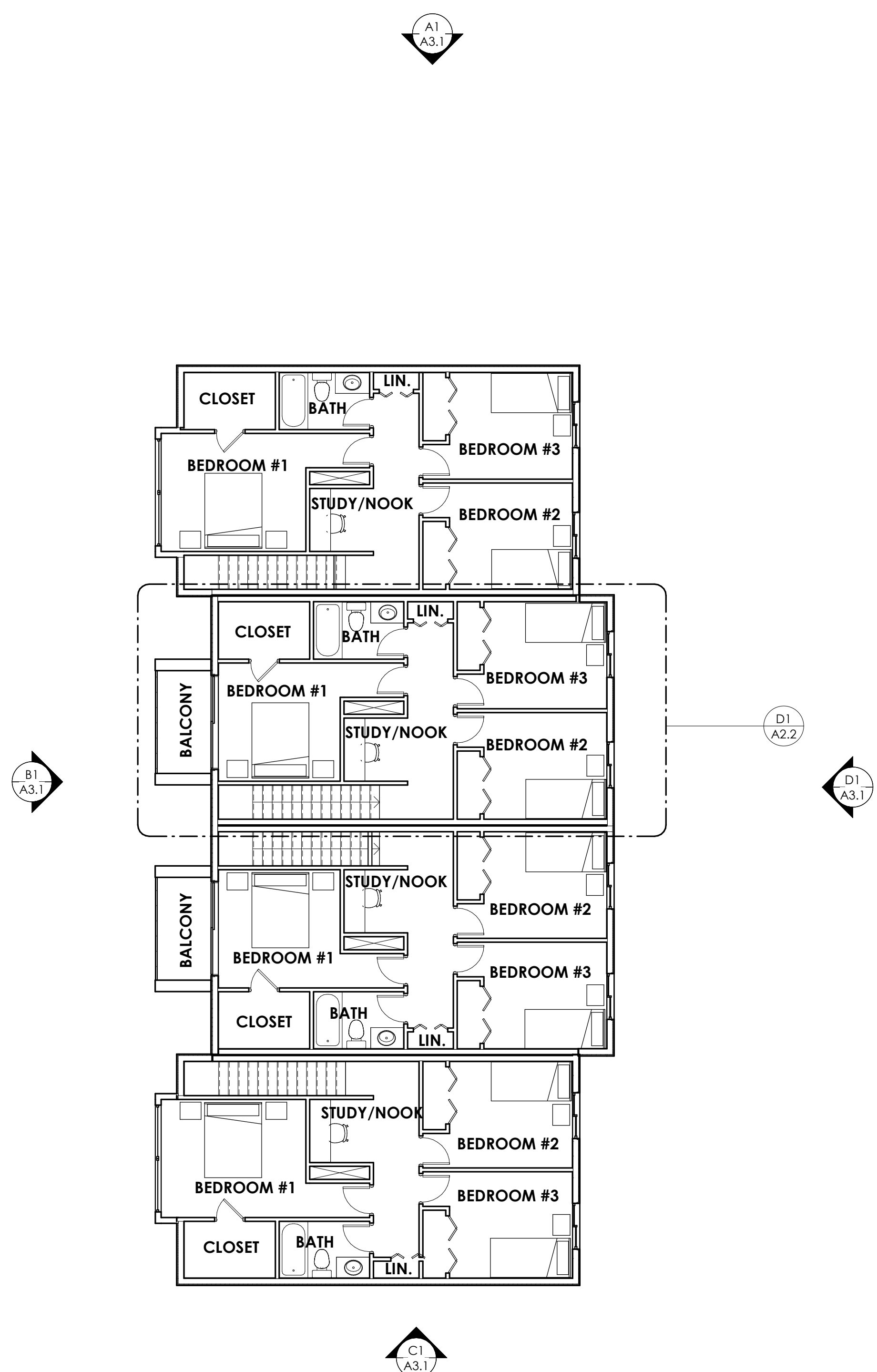
Sheet Title:  
**EXISTING SITE  
PHOTOGRAPHS**

SHEET NUMBER:

**A1.2**



D1 FIRST FLOOR PLAN  
A2.1 SCALE: 1/8" = 1'-0"



D2 SECOND FLOOR PLAN  
A2.1 SCALE: 1/8" = 1'-0"

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PROJECT:  
SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description: Date:  
CONCEPTUAL 07/16/21  
PLANNING  
REVIEW  
DESIGN REVIEW 10/15/21  
DESIGN REVIEW 01/10/22  
RESUBMITTAL

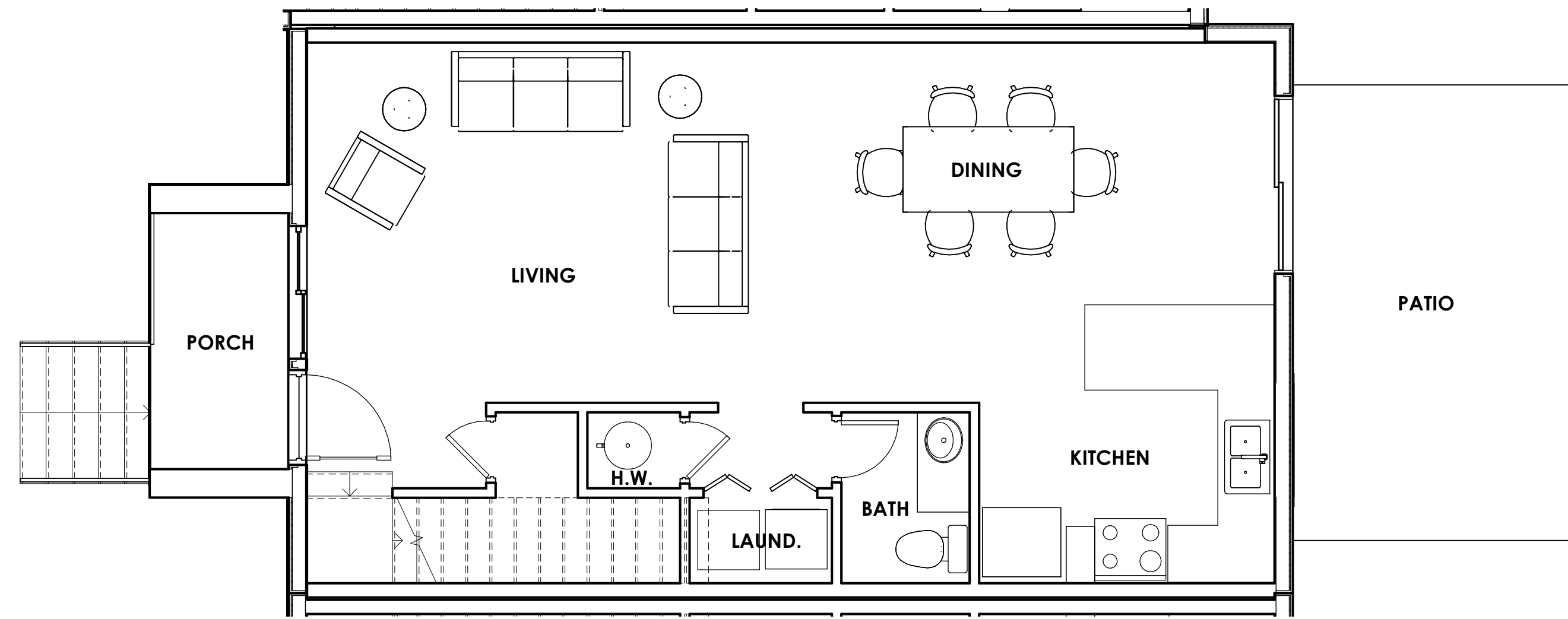
NOT FOR CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
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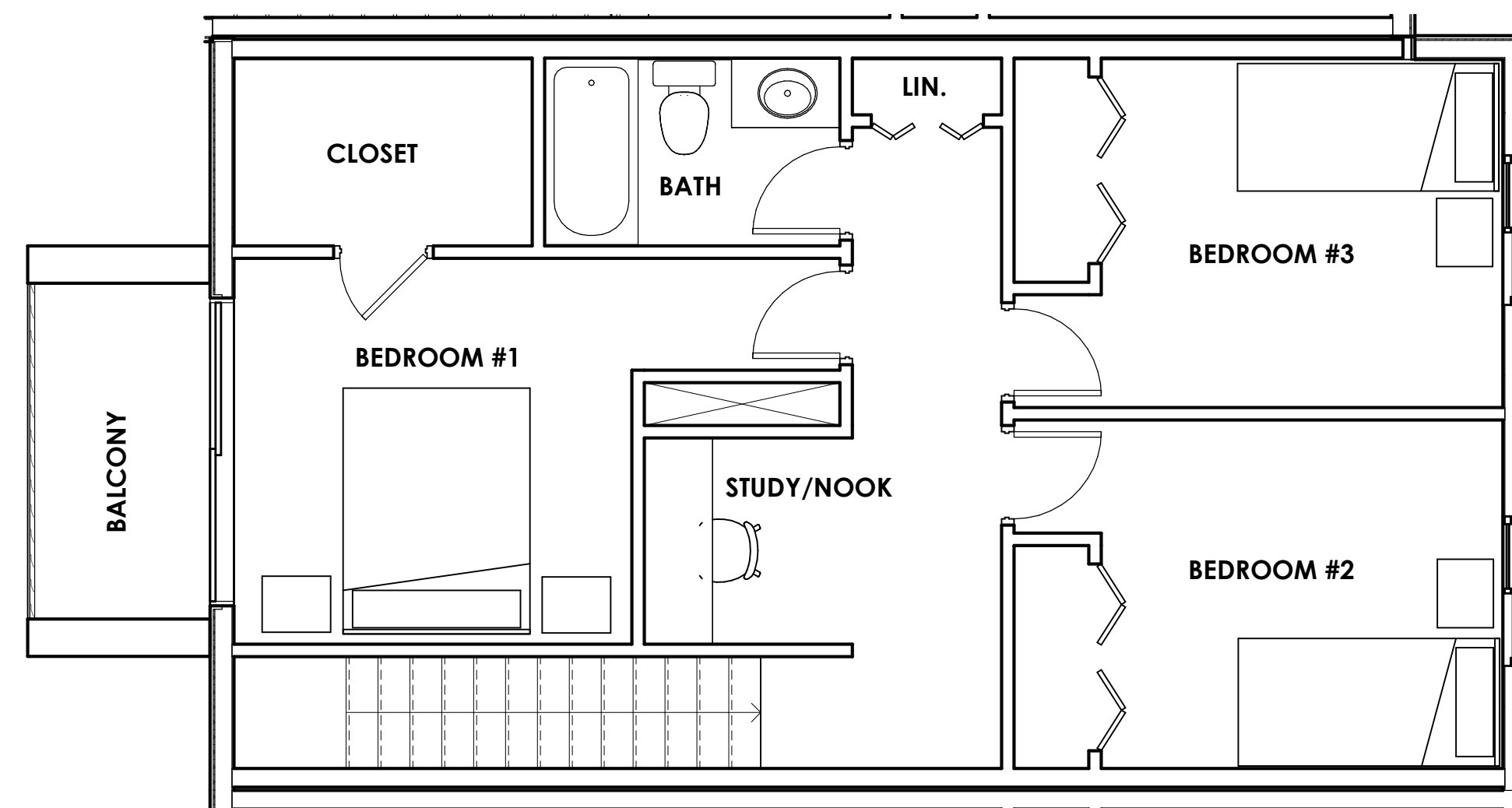
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**ENLARGED  
PLANS**

SHEET NUMBER:

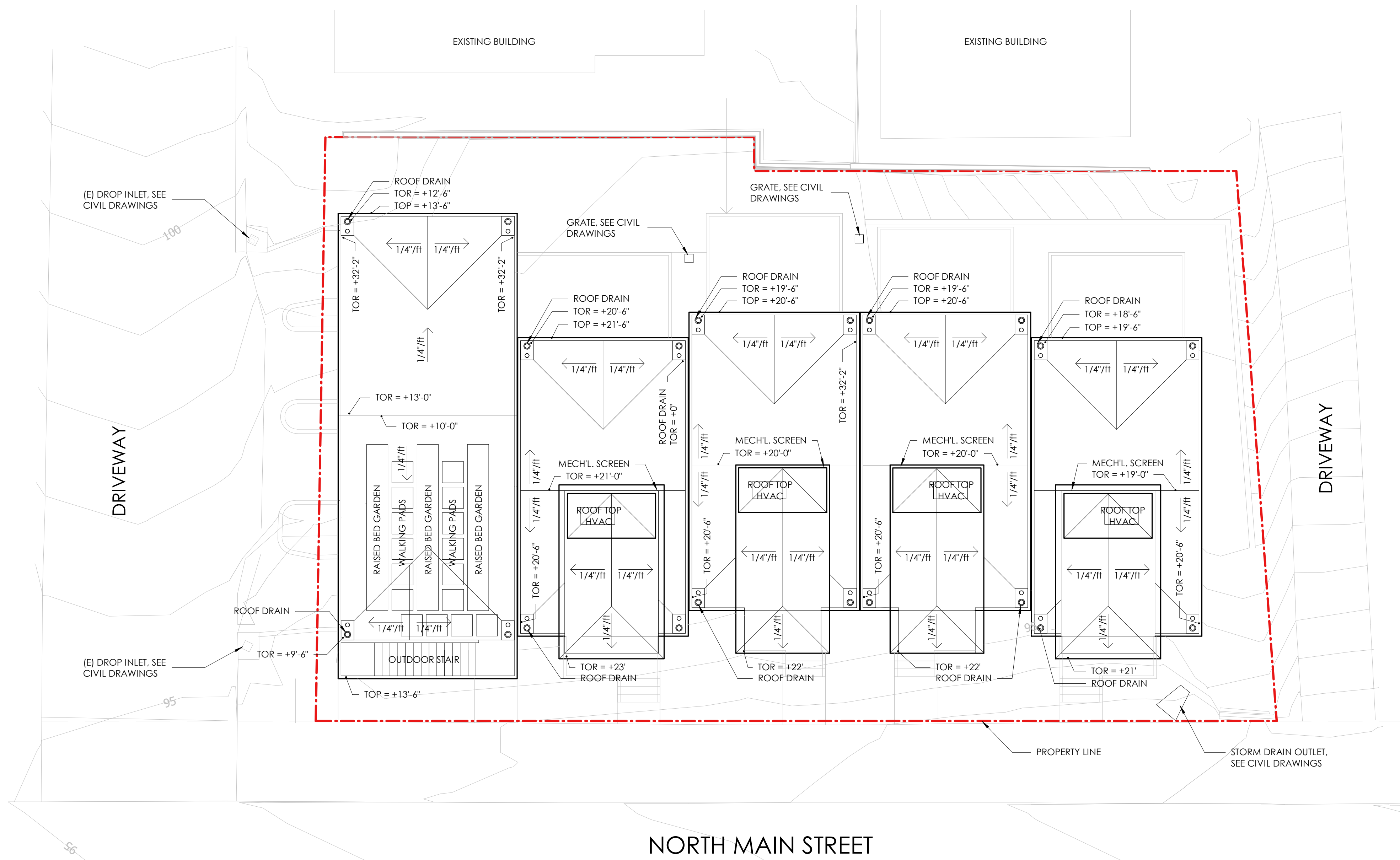
**A2.2**



B1 ENLARGED FIRST FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"



D1 ENLARGED SECOND FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"



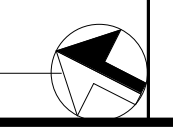
**NOTES**

1. TOP - TOP OF PARAPET
2. TOR - TOP OF ROOFING
3. ALL ELEVATIONS ARE REFERENCED TO FINISH FLOOR OF LOWER FLOOR LEVEL OF LOWEST TOWNHOUSE.
4. ROOF DRAINS TO TERMINATE AT SPLASH BLOCKS & SURFACE DRAIN TO CATCH BASINS OR SIDEWALK DRAINS AS SHOWN ON CIVIL DRAWINGS.
5. ALL ROOFING IS SINGLE PLY MEMBRANE ROOFING.

Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22
DESIGN REVIEW RESUBMITTAL	TBD

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

SHEET TITLE:  
**ROOF PLAN**



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PROJECT:

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

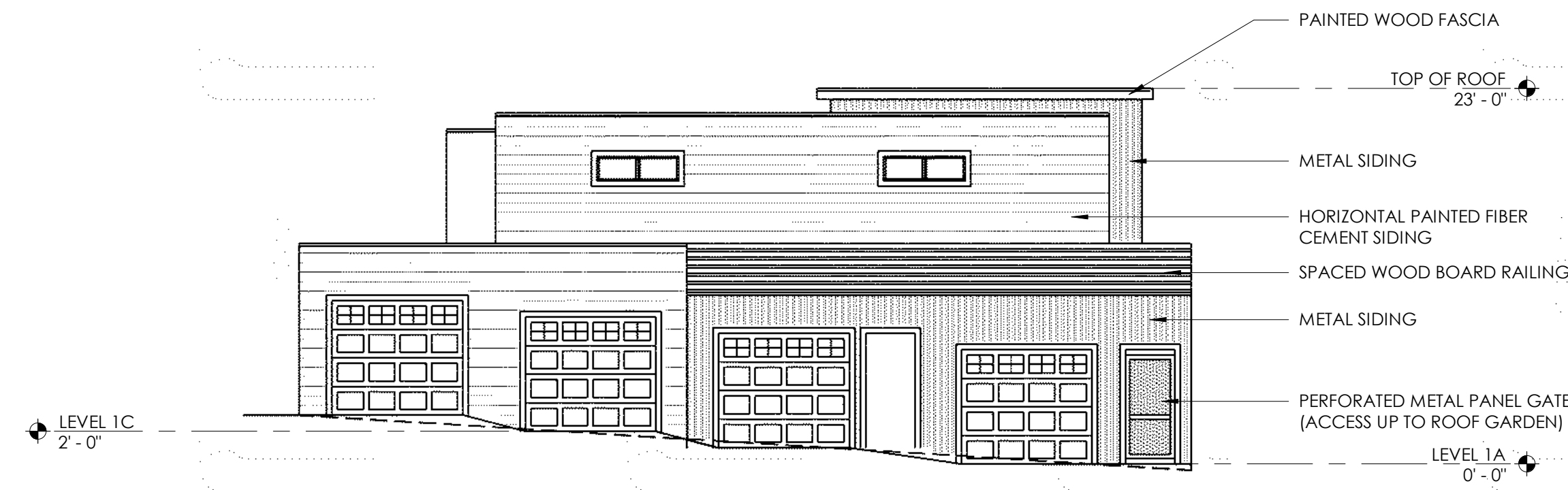
NOT FOR CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:

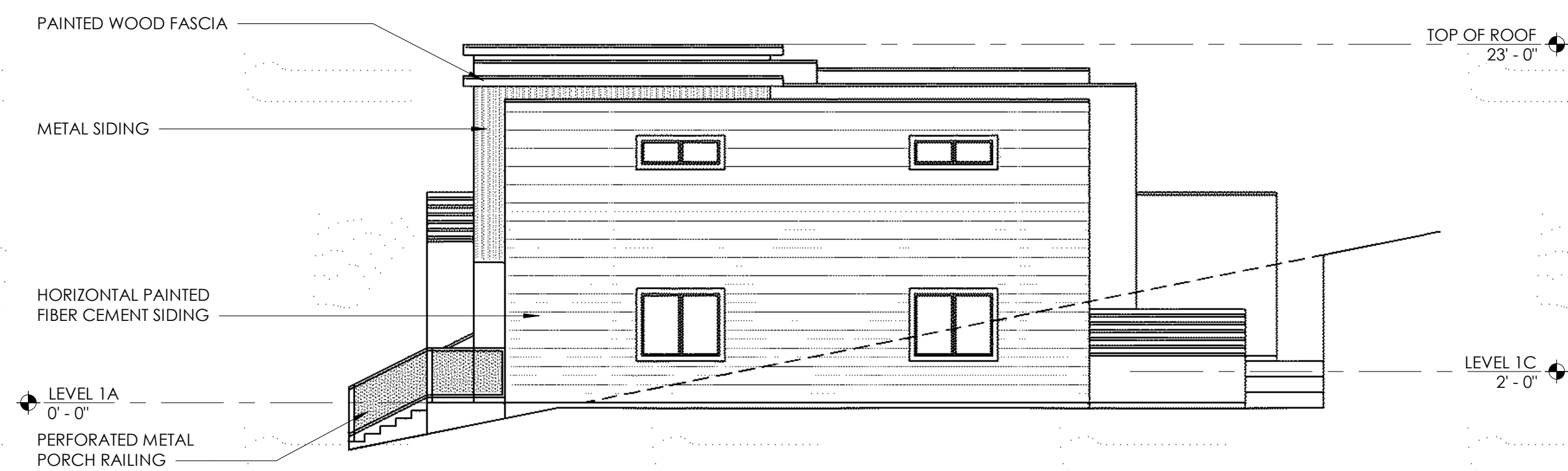
**A3.1**



A1 NORTH BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



B1 WEST BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



C1 SOUTH BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



D1 EAST BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



B1 VIEW FROM NORTH MAIN STREET LOOKING EAST  
A3.2 N.T.S.



D1 VIEW FROM NORTH MAIN STREET LOOKING SOUTHEAST  
A3.2 N.T.S.



D2 VIEW FROM NORTH MAIN STREET LOOKING NORTHEAST  
A3.2 N.T.S.

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PROJECT:

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

NOT FOR CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
SCHEMATIC RENDERINGS

SHEET NUMBER:

A3.2

NOT FOR  
CONSTRUCTION



PROJECT:  
SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22
DESIGN REVIEW RESUBMITTAL	TBD

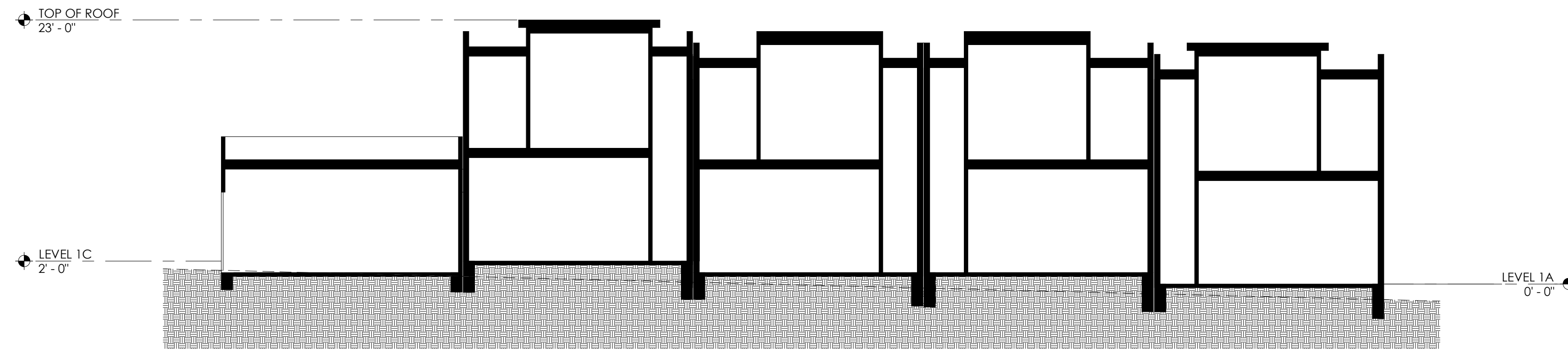
NOT FOR  
CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

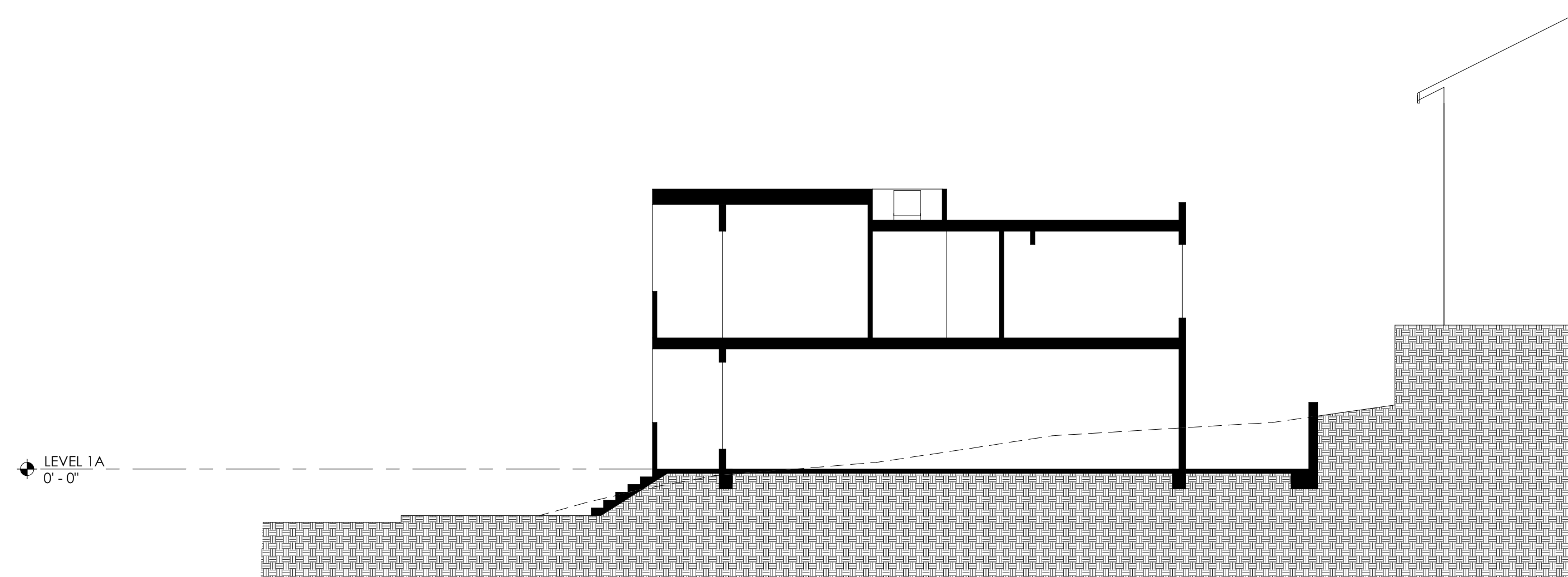
Sheet Title:  
**BUILDING  
SECTIONS**

SHEET NUMBER:

**A4.1**



B1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"



D1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"





# City of Sebastopol

## TREE REMOVAL PERMIT Application and Checklist

The submittal information shall be provided to the Planning Department. All submittal information shall be presented along with the related fees, and any additional information required by the Planning Department before the application can be accepted as complete.

**Planning File #:** \_\_\_\_\_  
**Date Filed:** \_\_\_\_\_  
**Total Fee Paid:** \$ \_\_\_\_\_  
**Received by:** \_\_\_\_\_  
**Date Application Deemed Complete:** \_\_\_\_\_

### PROJECT INFORMATION

**ADDRESS:** 333 North Main Street

**ASSESSOR'S PARCEL #:** 004-670-022000

#### Applicant's Information

**Name:** Jeff Katz Architecture  
**Address:** 200 E Street  
**City, State, Zip:** Santa Rosa, CA, 95404  
**Phone #:** (707) 544-3920  
**Fax #:** \_\_\_\_\_  
**Email:** jeff@jeffkatzarchitecture.com  
**Signature:** \_\_\_\_\_

#### Owner's Information

**Name:** Habitat for Humanities of Sonoma County  
**Address:** 1201 Piner Rd. Suite 500  
**City, State, Zip:** Santa Rosa, CA, 95402  
**Phone #:** (707) 578-7707  
**Fax #:** \_\_\_\_\_  
**Email:** info@habitatsoco.org  
**Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

 03/17/2022

**I certify that this application is being made with my consent**

**Date:**  \_\_\_\_\_

Location Key	Species of Tree	Diameter at 4 ½ feet	Heritage Tree?	Area where tree is to be removed from?	Reason for Removal	Proposed Replacement
A	Monterey Cypress	24"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SW corner	incompatible w/grading	see attached landscape plan
B	Monterey Cypress	36"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	S Property line	incompatible w/grading	see attached landscape plan
C	Ornamental	16"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SE corner	incompatible w/grading	see attached landscape plan
D	Ornamental	6"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	E Property line	incompatible w/grading	see attached landscape plan
E			<input type="checkbox"/> Yes <input type="checkbox"/> No			
F	EXAMPLES LISTED BELOW:		<input type="checkbox"/> Yes <input type="checkbox"/> No			
Sample	(Q. lobata) Valley Oak	22.5"	[xx] Yes <input type="checkbox"/> No	Back Yard near existing house	Large areas of decay in main trunk	4-15 Gallon live oaks, 2 here and 2 in the front yard
Sample	(S. semiperv.)	Multi trunks	<input type="checkbox"/> Yes	Front Yard	Root-sprouted;	2-15 gallon

	Coast Redwood	5" – 9" diameter	[xx ] No		weak; poor specimen/form.	redwoods @ rear property line
--	---------------	------------------	----------	--	---------------------------	-------------------------------

The submittal information shall be provided to the Planning Department. All submittal information shall be presented along with the Planning Application form, related fees, and any additional information required by the Planning Department before the application can be accepted as complete.

Upon receipt of this information the Planning Department has 30 days in which to determine if the application is complete. Once the application has been deemed complete, the project can be scheduled before the Tree Board. The Tree Board meets on the 1<sup>st</sup> and 3<sup>rd</sup> Wednesday of each month at Sebastopol City Hall, 7120 Bodega Avenue, Sebastopol, at 4:00 p.m.

The applicant and/or his representative must be present for any meetings. Failure to do so may result in the application being continued.

**Size Limit:** Plans should not be larger than 30" x 42" trimmed. All plans shall be folded into a 9" x 11" size. **Unfolded plans will not be accepted.**

**Scale:** The scale used on submittal plans shall generally be at a 1/8" = 1'0" for the architectural plans, 1" = 20' for site engineering plans. Include a north arrow, the scale and a bar scale on all plans.

- 1. **Application Form:** .....(1)  
Completed and signed by applicant and property owner.
- 2. **Fee:** As defined on the fee schedule listed on the Master Planning Application. Checks should be made payable to the City of Sebastopol.
- 3. **Location Map:** .....(1)  
Indicate the subject parcel(s) and adjacent streets on an 8 1/2" x 11" map.
- 4. **Written Statement** .....(1)  
Written Statement providing a description of tree(s) proposed to be removed.
- 5. **Site Plans:**.....(1 set)  
Clearly show the location of the tree(s) proposed to be removed on the property.
- 6. **Site Photographs:** .....(1 set)  
Clearly show the views of and from the project, including neighboring development. Include a key map indicating where the pictures were taken from and in what direction they were taken. Label the pictures accordingly. It is often desirable to provide the City with a series of overlapping photographs of the surrounding neighborhood that show a panoramic view. Polaroids or digital photos on a CD are acceptable.

**INDEMNIFICATION AGREEMENT**

"As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect."

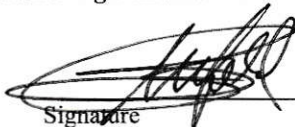
**Applicant's Signature**  **Date Signed** 3-17-2022 **Planning File No.** \_\_\_\_\_

**NOTE:** The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

**NOTICE OF MAILING:**

Effective immediately, email addresses or facsimiles will be used for sending out of staff reports and agendas to applicants, their representatives, property owners, and others to be notified if an email address or facsimile number is available.

**Please sign and acknowledge you have been notified of the Notice of Mailing for applications and have provided an email address or fax number.**



Signature

WAYNE KLEFFEL  
Printed Name

**Public Notification of Tree Removal**

Trees proposed for removal shall be marked by THE APPLICANT with a form prescribed by the City (attached). Notice of a Tree Removal Permit application shall be posted on the subject parcel on affected tree(s), and in at least two public places within 300 feet of the affected trees, at least ten (10) calendar days prior to the date of the Sebastopol Tree Board meeting at which the application will be considered.

**THIS IS TO CERTIFY THAT I, THE APPLICANT, AM RESPONSIBLE FOR POSTING THE TREE(S) PROPOSED FOR REMOVAL WITH THE ATTACHED FORM WITHIN 5 DAYS OF FILING THIS TREE REMOVAL APPLICATION. FAILURE TO POST THE PROPOSED TREE(S), AS REQUIRED, MAY RESULT IN THE APPLICATION BEING CONTINUED OR DENIED.**

If you need help in posting the proposed tree(s), please contact the Planning Department at 707-823-6167

**Please sign and acknowledge you have been notified of the Posting of Tree(s) Requirement**



Signature

WAYNE KLEFFEL  
Printed Name



# City of Sebastopol

## NOTICE OF REQUEST FOR APPROVAL TO REMOVE TREES

Species: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Diameter at Breast Height (per tree): “ d.b.h.  
 Date Posted: \_\_\_\_\_ (5 days from filing of application)  
 Designation: Protected Native or Heritage Size

\*\*\*\*\*

An application has been submitted to the Sebastopol Tree Board to remove a tree(s). Anyone who holds an interest in this tree may call the Sebastopol Planning Department at 707-823-6167.

\_\_\_\_\_ at Sebastopol City Hall, City Hall Conference Room, 7120 Bodega Avenue, Sebastopol at 4:00 p.m.

\*\*\*\*\*

**IT IS A MISDEMEANOR TO DEFACE OR REMOVE THIS NOTICE.**

## **TREE REMOVAL PERMIT WRITTEN DESCRIPTION**

The property at 333 North Main Street is an existing vacant lot.

The proposed project would consist of (4) three-bedroom, two story townhouses with (4) one car garages.

There are (4) trees that are proposed to be removed.

The two larger trees are Monterey Cypress which are not on the list of trees native to Sebastopol. The two smaller trees are ornamentals and not of significance by either size or species.

The City has a preliminary arborist report for the two larger trees near the south property line. One of the two larger trees is on the neighbor's property to the south. The neighbor is in favor of this project and agrees that the tree can be removed.

The proposed landscape plan shows replacing trees with approximately (14) new trees.

The trees are proposed to be removed because the natural grade at the south property edge and the south east corner make the property unfeasible to develop unless grading and retaining walls are utilized there, and this grading and retaining would be incompatible with saving the trees.

**RESOLUTION NUMBER: 6470-2022**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SEBASTOPOL  
ADOPTING AN EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), APPROVE  
THE CONDITIONAL USE PERMIT FOR RESIDENTIAL ONLY IN A COMMERCIAL ZONE; AND, A TENTATIVE  
MAP FOR  
THE PROPERTY AT 333 NORTH MAIN STREET (APN 004-670-022)

WHEREAS, an application for 1) a Conditional Use Permit to allow a residential only development in a Commercial District, 2) Tentative Map for a 4-Unit Townhome project know as Habitat for Humanity Townhomes, and 3) Environmental Review, was filed by Jeff Katz on January 24, 2022 which consists of subdividing a vacant 0.17 acre parcel (APN 004-670-022) into 4 lots to be developed into 4 townhome-style three bedroom units, landscaped areas, private rear yards, front porches, and 4 one car garages (the "Project"); and,

WHEREAS, the Project, as conditioned, is consistent with the Central Core Land Use designation of the General Plan and General Plan goals and policies, in that the Project is consistent with the General Plan as follows:

1. Goal LU1 - Maintain Sebastopol as a unique, charming, and environmentally sensitive small town that provides residents, businesses, and visitors with opportunities to enjoy a high quality of life, *by developing housing opportunities for four families in a townhouse format that fits within the town's character.*
2. Policy LU 1-2: Avoid urban sprawl by concentrating development within the City limits; favor infill development over annexation, *by developing a vacant site within city limits.*
3. Policy LU 5-5: Strongly encourage residential development in a balanced and efficient pattern that reduces sprawl, preserves open space, and creates convenient connections to other land uses, *by developing an existing vacant lot within the central core of the City.*
4. Policy LU 6-2: Promote compact urban form that provides residential opportunities in close proximity to jobs, services, and transit, *in that the projects proposed are townhouse development in the Downtown Core and nearby to employment opportunities, schools, retail, and along the City's main transit corridor.*
5. Policy C-3: The City will encourage long-term and permanent affordability of extremely low, very low, low, and moderate income and special needs housing, *by providing moderate home ownership opportunities. The project also provides affordable housing to a variety of families through the Habitat for Humanity program.*
6. Policy C-4: The City will encourage development of new housing to meet a range of income levels, including market-rate housing, and a variety of housing sizes and types, *by developing four townhome units available to moderate or low income households.*
7. Goal D-1: Promote Housing Affordability for both Renters and Homeowners
8. Policy D-5: The City will promote the ability for lower and moderate-income households to become homeowners, *by the project also provides affordable housing to a variety of families through the Habitat for Humanity program.* And,

WHEREAS, the Project, with the approval of a Conditional Use Permit, would be consistent with the applicable provisions of SMC Chapter 17, Section SMC 17.25.020, Allowed uses, which allows a residential-only use within a Commercial Zoning District with the approval of a Use Permit, and if the Findings can be made that it will not create adverse effects on commercial uses or street-front vitality and that the project will be compatible with nearby uses and development; and,

WHEREAS, granting a Conditional Use Permit for the Project, in that:

1. The establishment, maintenance, and operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area of such use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City as it complies as follows:
  - a. This project, as proposed, will not be detrimental to the health and safety of the community as it will increase the housing stock available to workers in the area, and will develop a vacant lot and provide housing to a variety of income levels.
  - b. The Project meets this finding in that the site is at the end of the Downtown Core district and currently is a vacant lot. The lots around this project are residential multifamily and the Masonic Lodge to the north and as proposed would be compatible with nearby uses. The Project would therefore not be detrimental to the viability of nearby businesses.
  - c. The site would be difficult to develop as a commercial use due to the lot configuration and size, and potential for required parking.

WHEREAS, the Project is consistent with the SMC 17.25.030, Development Standards, in that the Project meets the height, setbacks, minimum Floor Area Ratio (FAR, 1.0 for Downtown Zone), open space, and other provisions of the Downtown Zone and the R7 zoning district (as required for residential-only development) as follows:

1. The project as proposed meets the height requirements in that 40ft is allowed and 23ft is proposed.
2. The project meets the setback requirements as followed
  - Required Front: 0'                      Proposed: 5'
  - Required Side: 0'                      Proposed: 5'
  - Required Rear: 5'                      Proposed: 16.5'
3. The project as proposed meets the FAR of downtown 1.0 when using the Net FAR of the site, with a FAR of 1.09.
4. Four on-site and four off-site parking spaces will be provided. And,

WHEREAS, granting a Tentative Map for the Project is appropriate as it complies with SMC 16.28.070(A) in that:

1. The proposed subdivision, as conditioned, together with the provisions for its design and improvement, is consistent with the General Plan as detailed above, and will be consistent with applicable provisions of SMC Chapter 16 and the State Subdivision Map Act (SMA); and
2. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision, as described in the State Subdivision Map Act and any guidelines promulgated by the City Council.
3. As conditioned, the Project will comply with the California Green Building Standard Code (CalGreen) requirements for energy efficient buildings and appliances, including Tier 1 standards required by the City of Sebastopol (which are higher than the base State requirements for green design). CalGreen Standards require that buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant - emitting finish materials.

WHEREAS, the Project is exempt from the California Environmental Quality Act (CEQA) Guidelines, Section 15303(b) which exempts "A duplex or similar multi-family residential structure, totaling no more than

four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for no more than six dwelling units.” In that;

1. The Project consists of four townhome units on a vacant lot surrounded by developed properties in an urban setting. The Project would be consistent with this exemption as it proposes four attached multi-family residential units and will not create any new environmental impacts as it will be in an already developed area.

WHEREAS, the Planning Commission held a duly noticed preliminary public hearing on September 28, 2021, and provided comments to the applicant about parking concerns, accessory dwelling unit options, and grading requirements; and

WHEREAS, the Design Review Board held a duly noticed preliminary public hearing on November 3, 2021, and provided comments to the applicant on the design of the building, landscaping options, and tree protection options; and

WHEREAS, the Planning Commission held a duly noticed preliminary public hearing on June 14, 2022, heard a staff report, received public testimony, and considered applications for a Conditional Use Permit, Tentative Map, and Environmental Review, and voted unanimously to adopt Resolution 2022-003 recommending the City Council approve the Project; and

WHEREAS, the City Council of the City of Sebastopol held a duly noticed preliminary public hearing on August 2, 2022, heard a staff report, received public testimony, and considered the applications for a Conditional Use Permit, Tentative Map, and Environmental Review.

NOW, THEREFORE, BE IT RESOLVED THAT, the City Council of the City of Sebastopol, California, does hereby find the Project is exempt from the California Environmental Quality Act (CEQA), under CEQA Guidelines, Section 15303(b) which exempts “A duplex or similar multi-family residential structure, totaling no more than four dwelling units.”

NOW, THEREFORE, BE IT FUTHER RESOLVED THAT, the City Council of the City of Sebastopol, California, does hereby approve, based on the findings above and subject to the Specific Conditions of Approval in Exhibit B and Standard Conditions of Approval in Exhibit C:

1. A Conditional Use Permit to permit residential only in the Downtown Commercial (CD) district;
2. The Tentative Map, included in Exhibit A, to subdivide a vacant 0.17-acre parcel into 4 lots and a common area, to be developed with 4 townhome-style studio units, landscaped areas, and parking.

The above and foregoing Resolution was duly passed, approved and adopted at a meeting by the City Council on the 2<sup>nd</sup> day of August 2022.

I, the undersigned, hereby certify that the foregoing Resolution was duly adopted by City of Sebastopol City Council following a roll call vote:

**VOTE:**

Ayes: Councilmembers Glass, Gurney, Rich, Vice Mayor Hinton and Mayor Slayter  
Noes: None  
Absent: None  
Abstain: None



APPROVED:   
Mayor Patrick Slayter

ATTEST:   
Mary Gourley, Assistant City Manager/City Clerk, MMC

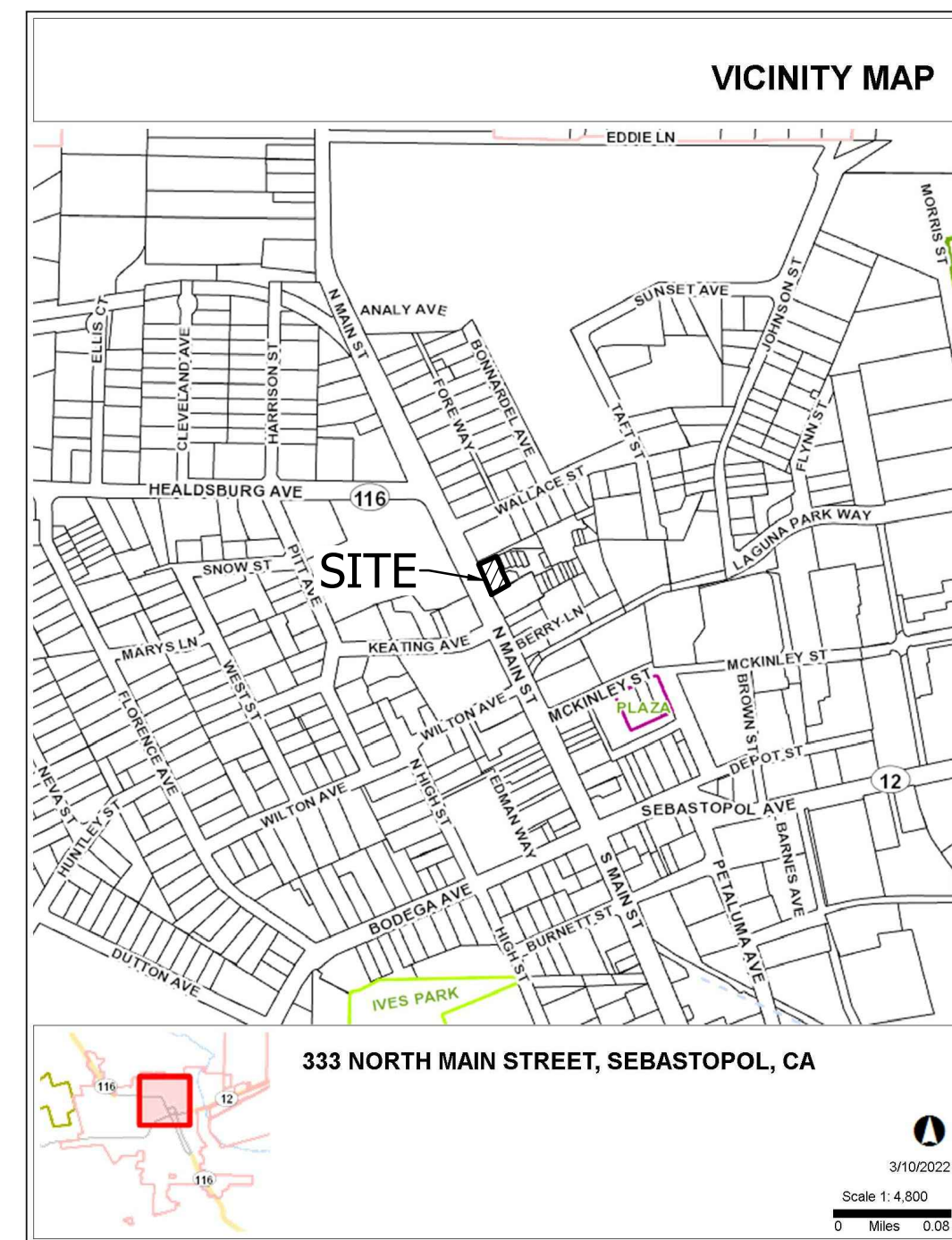
APPROVED AS TO FORM:   
Larry McLaughlin, City Attorney

**PROJECT INFORMATION**

PROJECT ADDRESS: 333 N MAIN STREET SEBASTOPOL, CA  
 PROJECT APN: 004-670-022  
 OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY C/O JEFF KATZ 200 E STREET, SANTA ROSA, CA, 95404  
 CIVIL ENGINEER: THOMAS J. BILLETTER, P.E. BC ENGINEERING GROUP, INC. 418 B STREET, THIRD FLOOR SANTA ROSA, CA 95401 (707) 542-4321  
 SURVEYOR: RAY CARLSON AND ASSOCIATES, INC. 411 RUSSELL AVENUE SANTA ROSA, CA 95403 (707) 528-7649  
 AREA: 0.17 ACRES  
 ZONING: CD (DOWNTOWN CORE)  
 SEWAGE DISPOSAL: CITY OF SEBASTOPOL  
 WATER SUPPLY: CITY OF SEBASTOPOL  
 LAND USE: VACANT COMMERCIAL LND W/UTIL (CENTRAL CORE)  
 FIRE DISTRICT: SEBASTOPOL FIRE DEPARTMENT  
 FIRE PROTECTION RESPONSE AREA: CITY OF SEBASTOPOL

**TENTATIVE MAP DRAWING FOR  
 HABITAT FOR HUMANITY SONOMA COUNTY  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472  
 APN: 004-670-022**

**EXHIBIT A  
 TENTATIVE MAP**



**ABBREVIATIONS**

- AD AREA DRAIN
- APN ASSESSOR'S PARCEL NUMBER
- CB CATCH BASIN
- CL CENTERLINE
- CY CUBIC YARD
- DI DROP INLET
- EG EXISTING GROUND
- EX or (E) EXISTING
- FD FLOOR DRAIN
- FG FINISH GRADE
- FL FLOWLINE
- FS FINISHED SURFACE
- FT FOOT / FEET
- GB GRADE BREAK
- GR GRATE
- HP HIGH POINT
- IG INVERT GRADE
- IN INCH
- INV INVERT
- L LENGTH
- LF LINEAL FOOT/FEET
- MAX MAXIMUM
- ME MATCH EXISTING
- MIN MINIMUM
- (N) NEW
- NTS NOT TO SCALE
- PL PROPERTY LINE
- s SLOPE
- SF SQUARE FEET
- TB TOP OF BANK
- TYP TYPICAL
- YD, YDS YARD, YARDS

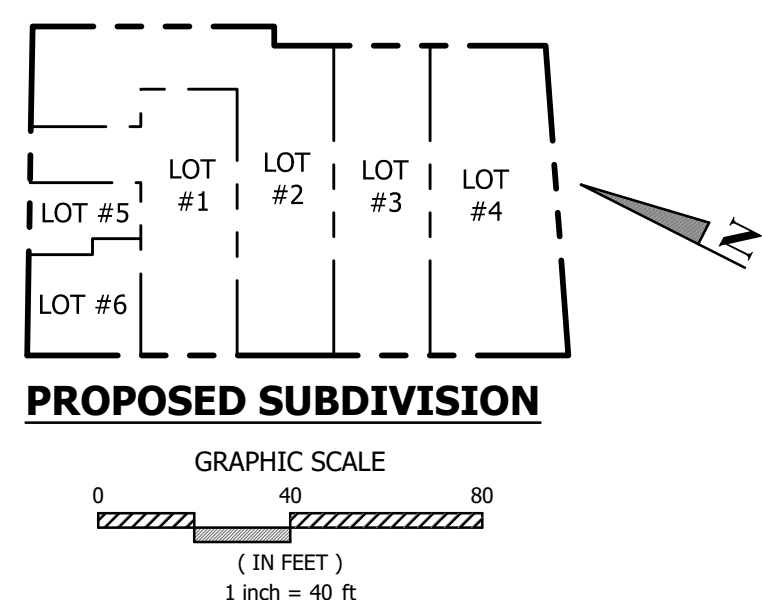
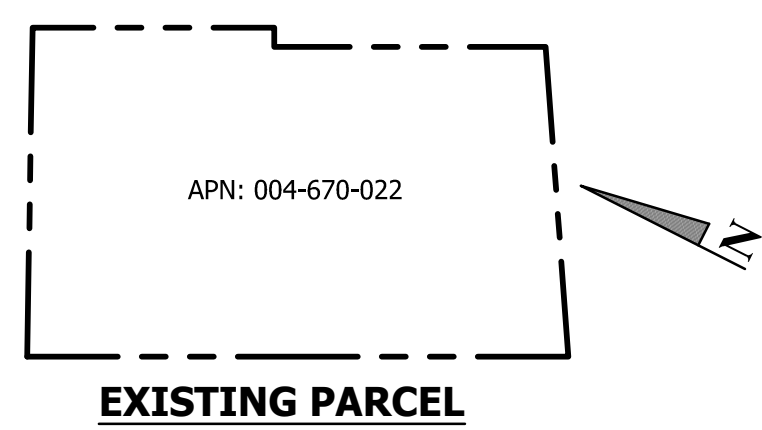
**LINETYPE LEGEND**

- EXISTING STORMWATER PIPE
- PROPERTY LINE
- PROPOSED FLOWLINE
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER PIPE

**HATCH LEGEND**

- CONCRETE
- ASPHALT
- DECK

**VICINITY MAP**  
NTS



**NORTH MAIN STREET**  
APPROXIMATELY 60' WIDE

**TENTATIVE MAP**  
SCALE: 1"=10'

NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DATE

BC ENGINEERING GROUP, INC.  
 CIVIL ENGINEERING & LAND PLANNING  
 www.bcegroup.com  
 Phone: 707.542.4321  
 SANTA ROSA OFFICE:  
 418 B Street, Third Floor, Santa Rosa CA 95401  
 Ukiah OFFICE:  
 603 S. State Street, Ukiah CA 95422



HABITAT FOR HUMANITY SONOMA COUNTY  
 TENTATIVE MAP  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

**PRELIMINARY**

Date: 3/11/2022  
 Job: 2157-21  
 Drawn: TSL  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #:  
 Sheet:

**C1.0**  
1 of 1

3/11/2022 3:21 PM Photo by Trevor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Tentative Map.dwg

**EXHIBIT B**  
**RECOMMENDED CONDITIONS OF APPROVAL**

Habitat For Humanity  
333 North Main Street  
APN 004-670-022, File 2022-006

**Planning Department:**

1. Plans and elevations shall be in substantial conformance with plans prepared by Jeff Katz, Architect, stamped received on March 10, 2022, and on file at the City of Sebastopol Planning Department, except as modified
2. All construction shall conform to the approved plans, unless the design is modified by the Design Review Board. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
3. This approval does not include any signs. Any new signs that will identify the use of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.
4. The Use Permit and Tentative Map shall be in effect unless it is abandoned or closed for 12 months or longer.

**Building Department:**

5. The Planning Conditions of Approval shall be printed on plan sheets in the plan set.
6. The project shall comply with the City's Row Housing Policy.
7. A geotechnical report is required for this project.
8. The project is required to comply with CalGreen and the Tier 1 level excluding Division A4.2 Energy Efficiency, as adopted and amended by the City. The worksheets can be located on the City's website on the Building Department page. The worksheets are to be printed on the plan sheets in the plan set.
9. The project is required to comply with the City's Mandatory Photovoltaic System Requirements.
10. A Boundary and Topographic Survey prepared by a licensed land surveyor or civil engineer shall be provided with the building permit application.
11. Before approval of the foundation inspection: A licensed Land Surveyor or Civil Engineer with proper certification shall conduct a survey of all property lines and install property line markers that can be readily verified by Building Inspection staff to verify setbacks and submit a written (stamped) confirmation to the Building Department that the staking of the property lines has been completed.
12. Before approval of the foundation inspection: The project Geotechnical Engineer shall inspect all foundation, excavations and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

13. Before approval of the foundation inspection: The project structural Engineer, Architect, or Special Inspector shall inspect all foundation reinforcing and related hardware and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
14. Before approval of the framing inspection: The project structural Engineer, Architect, or Special Inspector shall inspect all lateral force resisting elements of the structure and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

**Fire Department:**

15. Automatic Fire Sprinklers Suppression System.
  - a. Audible Fire Bell.
  - b. Sprinkler Backflow Preventer.

**Public Works Department:**

16. Shall have a Passive Purge fire sprinkler system or a Reduced Pressure backflow device on each water service connection.

**Engineering Department:**

Tentative Map – Conditions of Approval

In addition to the Engineering and Public Works Department Standard Conditions of Approval the following conditions of approval shall also apply:

**Final Map**

17. Applicable engineering map review fees will be due and payable at the time of initial submittal of the final map. Except as otherwise stated in these conditions of approval, other Public Works' fees and deposits, including but not limited to engineering plan review, construction inspection and impact fees, will be due and payable at the time of subsequent plan reviews and/or permit issuance.
18. A Final Map prepared by a licensed land surveyor or civil engineer in accordance with the Subdivision Map Act, the approved Tentative Map, and these conditions of approval, shall be submitted to the City Engineer for review.
19. All property corners for each lot shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into ground, except as otherwise expressly permitted in writing by the City Engineer.
20. Complete the required subdivision improvements prior to recordation of the map or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Final Map, agreeing to complete the required subdivision improvements within 24 months after the filing of the map. The Improvement Agreement shall be recorded with the map.

21. Transmit by certified mail a copy of the conditionally approved Tentative Map together with a copy of Section 66436 of the State Subdivision Map Act to each public entity or public utility that is an easement holder of record. Written compliance shall be submitted to the City of Sebastopol.
22. Execute a covenant running with the land on behalf of applicant and its successors, heirs, and assigns agreeing to annex this subdivision into the existing City of Sebastopol Lighting Assessment District.
23. Prepare and submit CC&Rs for the project providing for the maintenance of the private facilities, including, but not limited to, the retaining wall, drainage improvements, common garage structure, roof top community garden and driveway. CC&Rs shall also prescribe and assign one specific and sole single-car garage space to, and for the exclusive use and benefit of, each respective lot with full and complete obligation and responsibility for the upkeep and maintenance thereof, that will endure and run with the land and be binding on all future respective owner(s) of each lot.
24. Private drainage easements over portions of Lots 2, 3 & 4, in favor of respective upstream lot(s) that drain through respective downstream lot(s) shall be established on the Final Map.
25. The Declaration of Restrictions (“Declaration”) recorded October 12, 1990, under document 1990-0101407, Official Records of Sonoma County provides for the installation and maintenance of landscaping, paving, utilities, lighting, drainage and all other improvements on the existing common driveway lot (referred to as Parcel 2 of Parcel Map 126) and two adjacent 16’ wide easements over lands of Masonic Association and said Parcel 2, and the cost thereof to maintain these improvements shall be shared equally by the owners of Parcels 1 and 3 of said Parcel Map 126, or any portion or portions thereof, which includes the applicant’s subject property. Therefore the provisions of said Declaration shall be incorporated into the CC&R’s for the project required under COA 23 herein for the maintenance of the common driveway.
26. The Final Map shall be prepared for the four residential townhouse lot subdivision plus one common lot for the common garage structure with roof top community garden. Lots #1, #2, #3 and #4 shall generally be configured as shown on the approved Tentative Map, except that Lots #1 and #2 shall not include any portion of the common garage structure and roof top community garden within each respective lot’s boundaries.

#### Improvement Plans

27. Improvement Plans prepared by a Registered Civil Engineer shall be submitted for the review and approval of the City Engineer showing all proposed grading, paving, utilities and drainage improvements. Improvements plans shall include but not be limited to street and utility information, all concrete curbs, gutters, sidewalk, walkways, storm drain system, striping and signing, paving, water lines and sewer lines, erosion and sediment control, Storm Water Pollution Prevention Plan, and any necessary transitions for the portion of the public street fronting the project, if applicable. All improvements shall be designed in accordance with the City of Sebastopol Standard Details and Specifications.
28. Improvement Plans for proposed work in State right of way shall also be submitted to Caltrans for Encroachment Permit review. Prior to the City approving Improvement Plans

a Caltrans Encroachment Permit for the proposed work within the State right of way shall first be obtained and a copy shall be provided to the City.

29. A City of Sebastopol encroachment permit for work on City utilities including water supply and sanitary sewer connections.

30. Applicant shall submit to the City Engineer for review and approval, a grading plan conforming to Sebastopol Standard Details and Specifications prepared by a Registered Civil Engineer, obtain a Grading Permit, and shall post sufficient surety guaranteeing completion.

**EXHIBIT C**  
**RECOMMENDED STANDARD CONDITIONS OF APPROVAL**

Habitat For Humanity  
333 North Main Street  
APN 004-670-022, File 2022-006

1. All plans shall include a brief description of the project on the cover sheet.
2. All submitted building permit plan check sets shall include a plan sheet incorporating these conditions of approval.
3. Except as otherwise noted in these conditions of approval, the plans submitted to the Building Department for plan check shall be in substantial conformance to those approved by the review body. If any changes are made to submitted plans which were approved by the review body the applicant shall work with the Planning Department to determine if the changes are significant enough to once again be seen by the review body, or if staff can approve the changes. Any changes that have not been approved by Planning staff are not approved. Construction or demolition work that does not conform to the Planning approval is not valid and shall be subject to stop work orders and may require removal.
4. Site landscaping shall be generally consistent with the Landscape Plan included as part of "Exhibit A" on file with the Sebastopol Planning Department. The final landscape plan shall be stamped by a licensed landscape architect and filed with the Planning Department prior to occupancy. Plans for any irrigation of the site shall be incorporated into the landscape plan. All planting shown on the approved plan shall be installed prior to occupancy of the proposed project. Upon the request of an Applicant to receive a Temporary Certificate of Occupancy and at discretion of the Planning Director, landscape installation may be suitably guaranteed by posting a cash bond equal to 100% of the cost and installation of any landscape improvements.
5. Acceptance of the construction drawings and specifications does not release the applicant and owner from correction of mistakes, errors, or omissions contained therein. If, during the course of construction, the field conditions or other previously unknown conditions require a modification or a departure from the accepted plans, the applicant shall provide the modifications or departure and specify the correction of mistakes errors, or omissions in compliance with the CBC and City Standards.
6. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
7. A Construction Management Plan (CMP) shall be submitted to the City as part of the Building Permit and/or Grading Permit and shall be incorporated into the plans, unless waived by staff. The City's CMP template, provided by the Planning Department, may be used for small, infill projects. Revisions to the CMP to increase or add on time to the construction timeline shall be coordinated with the Building Official and any additional requests will be at the applicant's responsibility.

This CMP shall be a binding document. Failure to adhere to the CMP may result in a

“Stop Work Notice” being placed on the project. An electronic copy of the APPROVED CMP shall be submitted to the City, and may be posted to the city’s website. The CMP shall be updated as project conditions warrant. Updates to the CMP shall be provided to the City for review and approval. The CMP shall include but not be limited to:

- a) Work schedule (start of construction date, road or lane closure intent/dates, important milestones and proposed final dates)
- b) Construction Hours
- c) Travel routes and turn-around locations with staff approval
  - Impact to state highways
- d) Road and/or lane closures (Applicant to provide information on how many anticipated road closures, and the reasons for each road closure).
- e) Worker auto parking space locations/construction parking
- f) Phasing (if applicable)
- g) If construction improvements are located in areas of slopes 15% or greater, the Contractor shall provide safe temporary hard surface stair access to the improvements, unless waived by the Building Official. This access shall be shown on the CMP.
- h) Projects that require a grading permit shall comply with the City’s grading ordinance.

The CMP may be more stringent if the project is located close to schools or in impacted neighborhoods. A CMP may be required to be modified if a neighborhood becomes “impacted” during the course of the construction. Impacted neighborhoods are defined as areas in geographic proximity (i.e. using the same streets for access) with a significant number of simultaneous construction projects.

The hours of construction activity shall be limited 7:00 a.m. to 8:00 p.m., Monday through Friday, 8:00 a.m. to 5:00 p.m. on Saturdays with staff approval, depending on scope of work being done, or unless modified by a project’s Specific Conditions of Approval.

A 24-inch by 36-inch weatherproof copy with items A-F posted on site. The remaining Construction Management Plan shall be made available on site. The Construction Management Plan shall be posted on the site as part of the job site signage and should include:

- a) Address of the project site.
  - b) Permitted hours of construction and of deliveries/off-haul.
  - c) Name, e-mail address and direct phone number of the General Contractor.
  - d) Name, e-mail address and direct phone number of the person responsible for managing the project.
  - e) Name and direct phone number of the party to call in case of an emergency.
  - f) City of Sebastopol Building Department (707-823-8597).
8. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Public Works Department prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way. The fee for using the right-of-way for storage of construction materials or equipment is \$10.00 per day. A minimum of 11’ passable auto traffic clearance (paved travel way) shall be maintained at all times along the roadway. The placing of portable restroom facilities in the City right-of-way will not be permitted.



9. All portions of the job site shall be maintained in an organized and professional condition. All trash, debris, construction scraps and broken/deteriorated machinery shall be removed from the site by the end of each week. If off loaded construction materials are not used within 2 weeks, they shall be screened from public view. All sidewalks, driveways and public/private roadways fronting the subject site shall be broom cleaned at the end of each business day.
10. A pre-construction meeting is required with city staff for projects that:
  - a) Require a City encroachment permit, a Caltrans encroachment permit, or a City grading permit; or
  - b) Have 5 dwelling units or more; or
  - c) Have a total of 5,000 square feet of building or more; or
  - d) Have a creek setback requirement; or
  - e) Are required to have a pre-construction meeting under a specific condition of approval.
11. All permits and/or inspection fees required shall be paid in full prior to final occupancy being granted unless otherwise stipulated by the City.
12. All required construction signage and any required tree-protection shall be posted and available for City inspection at the time of the Pre-construction meeting or, if no pre-construction meeting is required, prior to commencing construction. If these measures are not in place at the time of the pre-construction meeting, a re- inspection fee will be required, and issuance of building permit will be delayed.
13. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.

**Planning Department Standard Conditions of Approval:**

14. This approval is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this Use Permit from the Planning Director, pursuant to Zoning Ordinance §17.400.100.
15. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Cut sheets for all exterior lighting shall be submitted as part of the Design Review or other planning application.
16. For projects with new foundations or retaining walls less than 10' away from a required setback property lines shall be physically identified (string line or equal), and the applicant shall submit a letter or certificate from a licensed surveyor that confirms that the structure complies with the approved setbacks prior to placing the foundation. For any project that includes new foundations or retaining walls more than 10' away from a required setback, the applicant may apply for a waiver from this requirement from the City Engineer and Planning Department.
17. For any project that includes new structures within 2 feet of the allowed height limit, a letter or certificate from a surveyor confirming that the height of the roof complies with the approved plans shall be submitted to the Planning Department at the earliest point possible.

18. All landscape and irrigation plans must be designed in accordance with the most current City of Sebastopol landscape requirements. Prior to providing water service for new landscape areas, or improved or modified landscape areas, the Planning Department must review and approve the project's working drawings for planting and irrigation systems. Any question regarding the City of Sebastopol current water conservation and Landscape Ordinance should be directed to the Planning Department.

New construction and rehabilitated (renovations or changes made to sites with an existing irrigation system) landscape projects will be affected by these requirements if the altered landscape area is greater than 500 square feet.

19. For any new housing unit development, the developer/owner shall submit the total amount of fees and exactions associated with the project prior to issuance of certificate of occupancy or final inspection.

#### **Engineering and Public Works Department Standard Conditions of Approval:**

20. All projects are subject to Impact Fees as adopted by the City Council, which are due at the time of issuance of the Building Permit unless otherwise stipulated by the City.
21. An Encroachment Permit is required from the Public Works Department for any and all work within the public right-of-way. If the work is within a CalTrans right-of-way, an Encroachment Permit from CalTrans shall also be procured by the applicant. Encroachment Permit shall not be issued until the City Engineer approves the applicant's site improvement plans.
22. Construction within the public right-of-way is limited to that necessary to support the lot's use. This may include but is not limited to: driveways, sidewalks and any utility connections. For all improvements within the public right of way, the applicant shall submit plans to adequately describe the work. Plans shall include but not be limited to drainage details, cross-sections, driveway/roadway grades and utility locations as necessary.
23. The applicant shall prepare and submit site improvement plans for the construction of all improvements including water, sanitary sewer, storm drain, water quality facilities, roadway improvements, curbs, gutters, sidewalks, elevated or structural pedestrian walkways, landscaping, landscape irrigation, signing, striping, joint trench and streetlights. All design and construction shall conform to the latest edition of the City of Sebastopol Design and Construction Standards and other applicable codes, standards, guidelines and specifications. Public improvement drawings shall be drafted in the City-approved sheet format.
24. Once approved by the City Engineer, the applicant shall submit PDF files of the signed improvement plans. As-Built record drawings shall also be submitted as PDF files.
25. Deviations from City Standards and applicable Code requirements shall be approved by the City Engineer. The applicant's engineer shall request all design exceptions in writing.
26. Any improvements, public or private, damaged during construction shall be replaced,

by the applicant, in-kind or with new improvements. All cracked, broken, or uplifted sidewalk, driveway and/or curb and gutter fronting the property shall be replaced. Applicant shall coordinate with the Public Works Department prior to the first submittal of project improvement plans to identify the extents and limits of replacement.

27. An erosion and sediment control plan are required as part of the building permit application. The plan shall be prepared by a certified erosion control specialist and in full compliance with CASQA standards, The plan is subject to review and approval by the Engineering Department prior to the issuance of the building or grading permit. No modifications to the approved plans shall be made without approval of the City Engineer.
28. Mailbox plans and locations shall be approved by the Sebastopol Postmaster prior to improvement plan approval. The developer shall provide a letter and exhibit showing mailbox locations from the Sebastopol Postmaster approving mailbox locations.
29. City Public Water and Sewer and Drainage utility easements as required by the City Engineer utility companies shall be provided within the development. Easement locations shall be subject to review and approval by the City Engineer.

***Roadway Improvements:***

30. The improvement plans for the first phase of development shall include and provide for the construction of all offsite improvements as required to support full project build-out. Each subsequent phase of development shall construct sufficient onsite roadway and utility improvements to support the cumulative development proposed to be constructed as approved by the City Engineer.
31. Road closures, if permitted by the Project Approval, will only be permitted with prior authorization from the Public Works Department consistent with the City's road closure policy. Signs containing details of the proposed closure must be posted 48 hours in advance. Coordinate road closures with the Sebastopol Public Works Department. Contact the Public Works Department at 707-823-5331 to obtain a road closure permit.
32. An emergency vehicle access, meeting the requirements of the Sebastopol Fire Department shall be constructed.
33. All private driveway areas less than 24-foot wide shall require the approval of the Sebastopol Fire Department.
34. Sidewalk warps shall be provided to allow a clear five-foot walkway at all locations, including areas where mailboxes, street furniture, streetlights, street signs and fire hydrants are to be installed, or as otherwise approved by the City Engineer.
35. The structural section of all public road improvements shall be designed using a soil investigation which provides the basement soils R-value and expansion pressure test results. A copy of Geotechnical report and structural section calculations shall be submitted with the first improvement plan check.
36. The structural section of the private on-site drive aisles and parking areas shall meet the requirements and recommendations of the geotechnical report for the project.
37. Retaining walls and retaining curbs may be required to protect damage to trees as determined by a licensed Arborist. All retaining structures shall be designed and

constructed to minimize damage to trees.

38. Pedestrian curb ramps, meeting City standards and current accessibility requirements, shall be provided at all intersections and crosswalks where sidewalks are proposed.

***Drainage Improvements:***

39. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed by a Civil Engineer registered in the State of California in accordance with the Sonoma County Water Agency's Flood Management Design Manual (FMDM). Public and private drainage improvements shall be shown on the improvement plans and the City Engineer may require the applicant to acquire the review and recommendations by the Sonoma County Water Agency (Sonoma Water) prior to approval by the City Engineer. Private storm drain easements will be required for any portions of the private storm drain not entirely located with the lot being served or for any portion of a private utility located on an adjacent parcel.
40. No lot-to-lot drainage will be allowed between the project site and any adjacent parcels. No concentrated drainage may discharge across sidewalks. All site drains must be connected to the public storm drain system or discharged through the face of curb or to an established waterway.
41. Plans and certifications shall demonstrate compliance of all improvements, including building finished floor elevations, with the City's Flood Ordinance, to the satisfaction of the Building Official and City Engineer. Building finished floor elevations shall be constructed at a minimum of 2 foot above the 100-year storm event water surface elevation as determined by the City and certified by the project engineer. The Engineer of Record shall provide a signed and stamped letter indicating the project meets the requirements of the Ordinance before plan approval.

***Stormwater Quality:***

42. Projects that create or replace 10,000 square feet or more of impervious surface area are subject to design and construction requirements of the most recent edition of City of Sebastopol Low Impact Development (LID) Technical Design Manual. Improvement plans with required LID design features shall be approved by the City Engineer.
43. Projects that will disturb 1.0 acre or more of developed or undeveloped land shall provide evidence that a Notice of Intent (NOI) has been submitted by the applicant and received by the State Water Resources Control Board for a General Construction Activity Storm Water Permit. Two copies of the project Storm Water Pollution Protection Plan (SWPPP) shall be provided to the City prior to issuing a grading permit, encroachment permit, or building permit.
44. For required LID features constructed on private property or on street frontage, the owner shall provide a Declaration Letter to the City Manager regarding the owner's commitment to ongoing maintenance of said LID features (LID Declaration) prior to occupancy.

***Grading:***

45. The improvement plans shall include a site-grading plan prepared by a Civil Engineer registered in the State of California as part of the required improvement drawings. Lots shall be generally designed to drain to public and private streets or parking areas, unless otherwise approved in the interest of tree preservation or other unusual circumstances.
46. The City of Sebastopol shall require a grading permit for projects that meet these requirements.
  - a) Cut or fill exceeding 50 cubic yards
  - b) Cut or fill greater than 3 feet in depth
  - c) Cut creating a cut slope greater than 5 feet in height and steeper than 2 units horizontal to 1 unit vertical
  - d) Fill intended to support a structure or surcharge greater than 1 foot in depth or placed on terrain with a natural slope steeper than 15 percent
47. When required by the Building Official the applicant shall submit to the City for review and approval, a detailed Geotechnical Report prepared by a Geotechnical Engineer registered in the State of California. The grading plan shall incorporate the recommendations of the approved Geotechnical Report.
48. Where soil or geologic conditions encountered during grading operations are different from those anticipated in the Geotechnical Report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
49. Existing wells, septic tanks and/or underground fuel storage tanks that are defective or will no longer be in use shall be permanently destroyed or removed under permit and inspection by the Sonoma County Permit and Resource Management Department, Well and Septic Division and/or Sonoma County Environmental Health or other designated agency. Underground fuel storage tanks are subject to UST regulations of the State Water Resources Control Board.
50. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved. Should monuments be damaged or destroyed during construction, they shall be replaced by the developer.
51. Improvements plans shall include an erosion control (winterization) plan. The plan shall include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed.
52. Sewer services and laterals shall be CCTV inspected to determine if the service needs to be removed and replaced. A copy of the CCTV report shall be provided to the City Engineer. A waiver for CCTV inspection may be waived by the City Engineer, if the sewer lateral has been replaced within ten years of the submittal of the improvement plans. A copy of the documentation evidencing such replacement shall be included in the submittal package.
53. If the proposed project is located in or adjacent to a waterway, within an area

designated as habitat for threatened or endangered species, or other special status area, it possibly falls under the jurisdiction of another agency such as the United States Army Corps of Engineers, the California Regional Water Quality Control, or the California Department of Fish & Wildlife, U. S. Fish & Wildlife Service, etc. These agencies shall be contacted to determine if the project lies within their respective jurisdictions. All necessary permits and/or approvals shall be obtained prior to the City issuing any permits. If permits are not required, a letter stating so shall be submitted to the City as part of the record.

54. Trees and vegetation shall be trimmed according to Section 8.12 of the Sebastopol Municipal Code. Trees and shrubs shall be kept trimmed so that the lowest branches projecting over public properties provide a clearance of not less than eight (8) feet over sidewalks and not less than twelve (12) feet over streets.

**Fire Department. Standard Conditions of Approval:**

55. The address shall be posted in accordance with requirements of the California Building Code and California Fire Code. The Fire Chief shall review and approve all requests for new addresses. Inspection and signoff of address posting shall be coordinated through Building Department.
56. Smoke and CO detectors shall be installed in accordance with the California Building Code. Final inspection and signoff of smoke detectors shall be coordinated through Building Department.
57. Noncombustible roofing shall be provided for:
  - a. All new roofs shall be non-combustible.
  - b. Roof Repairs or replacement:
    - i. Less than 25% - no requirement
    - ii. 25Hr to 50% - Class C minimum
    - iii. 50% or more — Non-Combustible
  - c. In no case shall the roofing material used to be less fire resistive than the existing roof.

NOTE: A "noncombustible" roof is a Class A roof (for other than Group R Occupancies, a Class A or Class A assembly) as defined in the California Building Code and approved by the Building Department.

58. Prior to occupancy, a spark arrester shall be installed on the chimney(s) 3/8" mesh minimum.

**Building Department Standard Conditions of Approval:**

59. All construction shall comply with all applicable Title 24 Codes in effect at the time of building permit submittal. It is the responsibility of the designer(s) to ensure that all applicable Title 24 codes, as well as any applicable Sebastopol Municipal Codes are incorporated into the design.
60. The project shall comply with the Green Building regulations contained in the Sebastopol Municipal Code that are in effect at the time of building permit submittal.

END OF STANDARD CONDITIONS OF APPROVAL

# SONOMA COUNTY HABITAT FOR HUMANITY SEBASTOPOL TOWNHOUSES

333 NORTH MAIN STREET, SEBASTOPOL, CA 95472

NOT FOR  
CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404  
707.544.3920 | www.jeffkatzarchitecture.com



### PROJECT DATA

**PROJECT ADDRESS:** 333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

**ASSESSOR'S PARCEL NO.:** 004-670-022000

**OWNER:** HABITAT FOR HUMANITY OF SONOMA COUNTY  
1201 PINER ROAD, SUITE 500  
SANTA ROSA, CA 95402

**GOVERNING AGENCY:** CITY OF SEBASTOPOL PLANNING DEPARTMENT  
7120 BODEGA AVENUE  
SEBASTOPOL, CA 95472

**GOVERNING CODES:** CITY OF SEBASTOPOL ZONING ORDINANCE  
2019 CALIFORNIA BUILDING CODE

**SCOPE OF WORK:** THE PROJECT AT 333 NORTH MAIN STREET CONSISTS OF (4) THREE BEDROOM, TWO STORY TOWNHOUSES WITH (4) ONE CAR GARAGES. THE FRONT ENTRANCES TO THE TOWNHOUSES WILL INCLUDE COVERED PORCHES FACING NORTH MAIN STREET AND EACH TOWNHOUSE WILL HAVE A PRIVATE PATIO AT THE REAR OF THE TOWNHOUSE. THE GARAGES WILL BE ACCESSED FROM A DRIVEWAY THAT IS EXISTING AT THE NORTH EDGE OF THE PROPERTY. THE SITE IMPROVEMENTS WILL INCLUDE A RETAINING WALL, GRADING, LANDSCAPING, PATIOS, WALKWAYS AND UTILITIES. THE TOWNHOUSES WILL BE PRIVATELY OWNED SINGLE FAMILY RESIDENCES.

### LEGAL DESCRIPTION

PARCEL: 004-670-022000

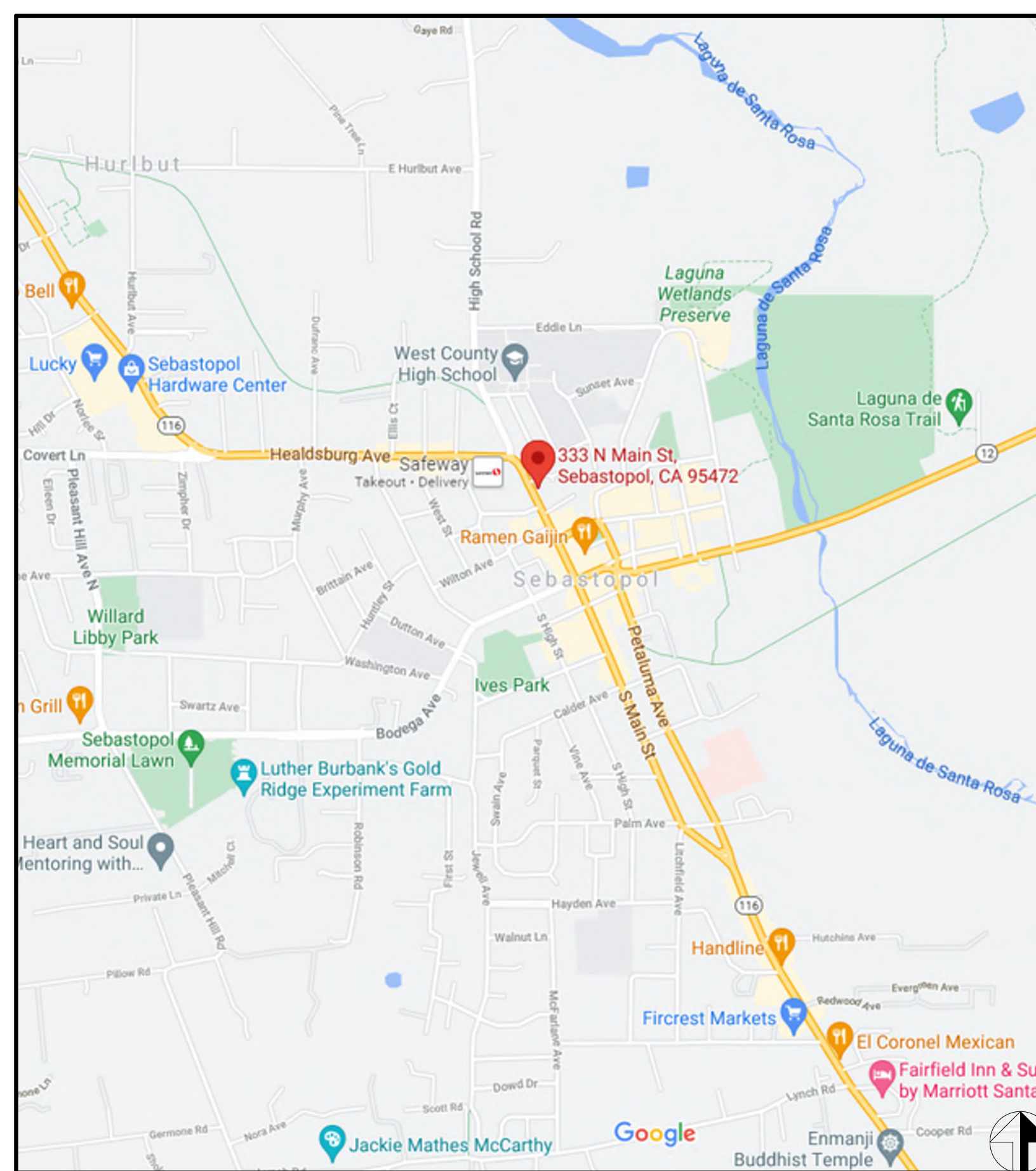
### PROJECT TEAM

**ARCHITECTURE**  
JEFF KATZ ARCHITECTURE  
200 E STREET  
SANTA ROSA, CA 95404  
(707) 544-3920 / (707) 544-2514 (FAX)  
Contact: Jeff Katz, AIA  
jeff@jeffkatzarchitecture.com

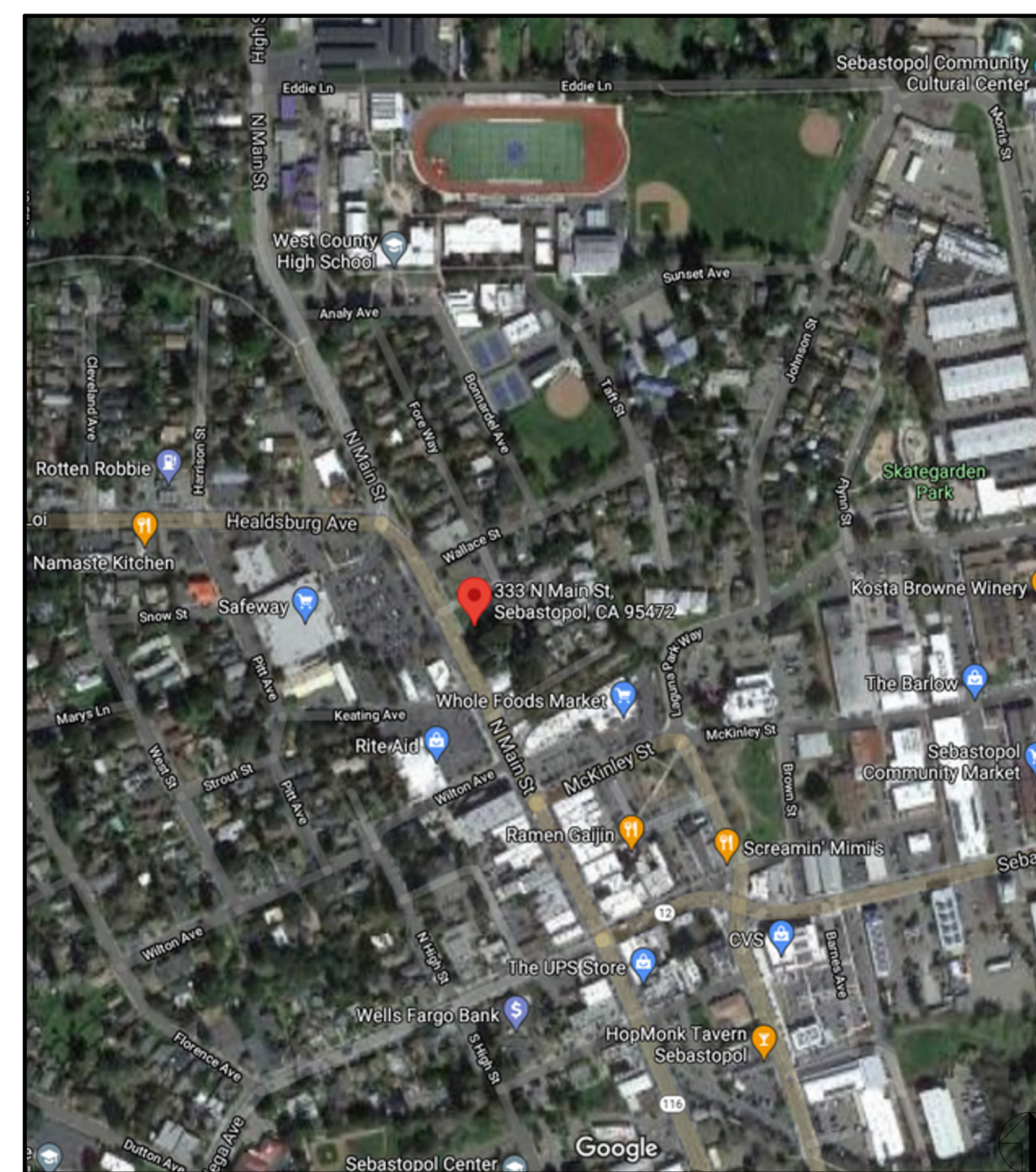
PROJECT:  
SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



### LOCATION MAP



### VICINITY MAP



**OCCUPANCY GROUP:** RESIDENTIAL, R-3 PER CRC

**CONSTRUCTION TYPE:** V-B

**ALLOWABLE BLDG AREA:** RESIDENTIAL, R-3 PER CRC UNLIMITED

**ACTUAL BLDG AREA:** FIRST FLOOR 3,924 S.F.  
SECOND FLOOR 2,600 S.F.  
TOTAL BUILDING AREA 6,524 S.F.

**FLOOR AREA RATIO:** 0.89

**FLOOR AREA RATIO WITH EASEMENT AREAS DEDUCTED:** 1.09

**ZONING:** CD

**SITE AREA:** 7,286 S.F.

**SITE AREA WITH EASEMENT AREAS DEDUCTED:** 5,994 S.F.

**LOT COVERAGE:** 70%

**NUMBER OF STORIES:** 2

**MAX BUILDING HEIGHT ALLOWED:** 40 FT

**ACTUAL BUILDING HEIGHT:** 23 FT

**PARKING REQUIRED:** 8 SPACES

**PARKING PROVIDED:** 4 SPACES

**REQUIRED SETBACKS (PRIMARY BUILDING):** FRONT - 0 FT  
SIDE - 0 FT  
REAR - 5 FT

**REQUIRED SETBACKS (ACCESSORY BUILDING):** FRONT - 0 FT  
SIDE - 0 FT  
REAR - 3 FT

**PROPOSED SETBACKS (PRIMARY BUILDING):** FRONT - 5 FT  
SIDE - 5 FT  
REAR - 16.3 FT

**PROPOSED SETBACKS (ACCESSORY BUILDING):** FRONT - 5 FT  
SIDE - 1.5 FT  
REAR - 9 FT

### SHEET INDEX

No.	Description
T-1	TITLE SHEET
C1.00	SITE PLAN
C1.0	PROJECT INFO
C1.1	OVERALL SITE PLAN
C2.0	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN
C2.1	SITE SECTIONS
C3.0	DETAILS
L1.0	PRELIMINARY LANDSCAPE PLAN
A1.1	SITE PLAN
A1.2	EXISTING SITE PHOTOGRAPHS
A2.1	FIRST AND SECOND FLOOR PLANS
A2.2	ENLARGED PLANS
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	SCHEMATIC RENDERINGS
A4.1	BUILDING SECTIONS

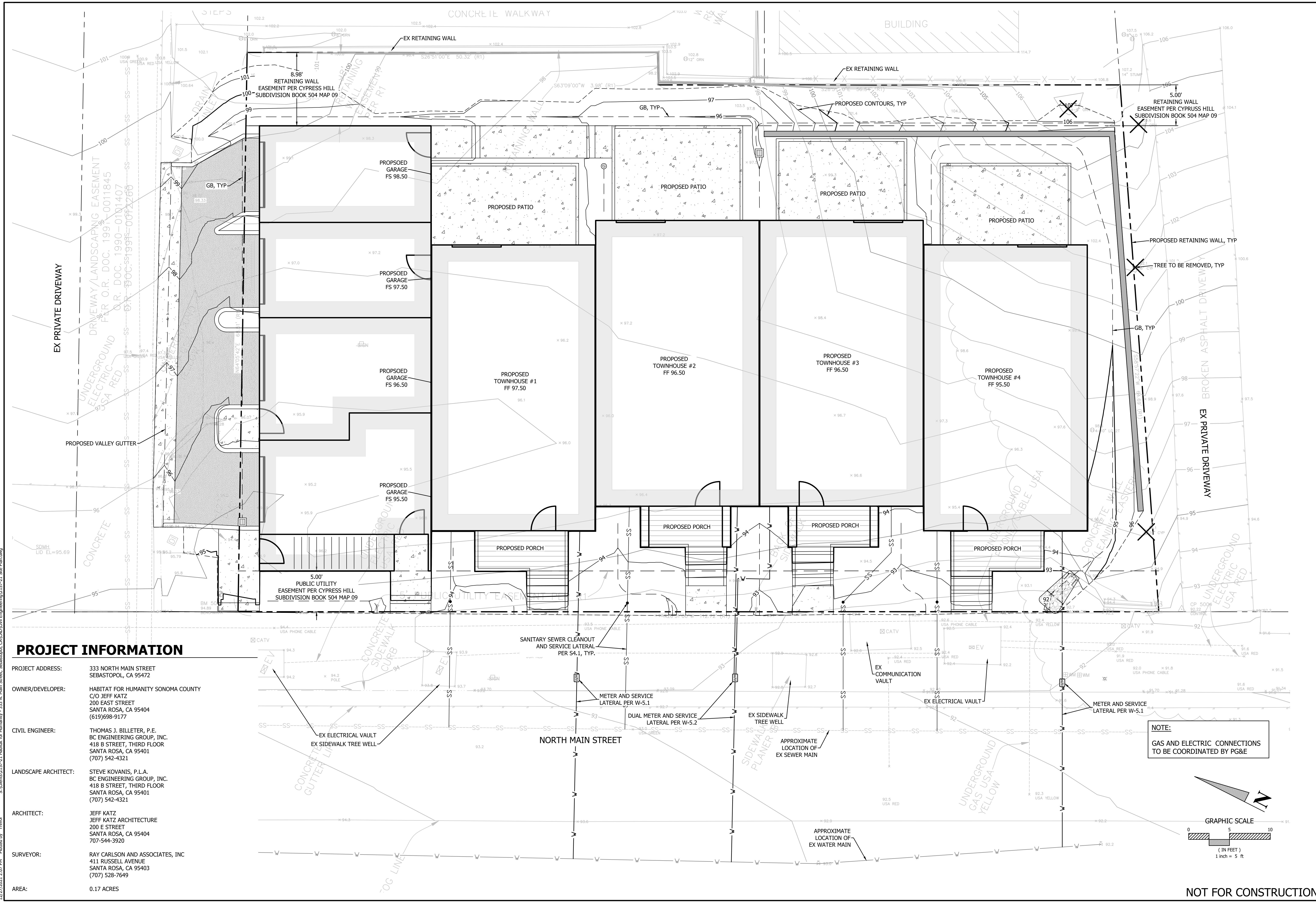
Description: Date:  
CONCEPTUAL PLANNING REVIEW 07/16/21  
DESIGN REVIEW 10/15/21  
DESIGN REVIEW 01/10/22  
RESUBMITTAL

NOT FOR  
CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
TITLE SHEET

SHEET NUMBER:  
T-1



**PROJECT INFORMATION**

PROJECT ADDRESS: 333 NORTH MAIN STREET SEBASTOPOL, CA 95472

OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY  
C/O JEFF KATZ  
200 EAST STREET  
SANTA ROSA, CA 95404  
(619)698-9177

CIVIL ENGINEER: THOMAS J. BILLETER, P.E.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

LANDSCAPE ARCHITECT: STEVE KOVANIS, P.L.A.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

ARCHITECT: JEFF KATZ  
JEFF KATZ ARCHITECTURE  
200 E STREET  
SANTA ROSA, CA 95404  
707-544-3920

SURVEYOR: RAY CARLSON AND ASSOCIATES, INC  
411 RUSSELL AVENUE  
SANTA ROSA, CA 95403  
(707) 528-7649

AREA: 0.17 ACRES

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING GROUP, INC.  
CIVIL ENGINEERING & LAND PLANNING  
www.bcegroup.com  
Phone: 707.542.4321  
SANTA ROSA OFFICE:  
418 B Street, Third Floor, Santa Rosa CA 95401  
UKIAH OFFICE:  
603 S. State Street, Ukiah CA 95482

HABITAT FOR HUMANITY SONOMA COUNTY  
SITE PLAN  
C/O JEFF KATZ  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

**PRELIMINARY**

Date: 12/27/2021  
Job: 2157-21  
Drawn: TSL  
Scale: AS SHOWN  
APN: 004-670-022  
Permit #:  
Sheet: **C1.00**  
1 of 1

NOT FOR CONSTRUCTION

12/27/2021 2:07 PM Photo by Trevor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Site Plan.dwg



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AREA: 0.17 ACRES

**PRELIMINARY GRADING AND DRAINAGE DRAWINGS FOR  
HABITAT FOR HUMANITY SONOMA COUNTY**

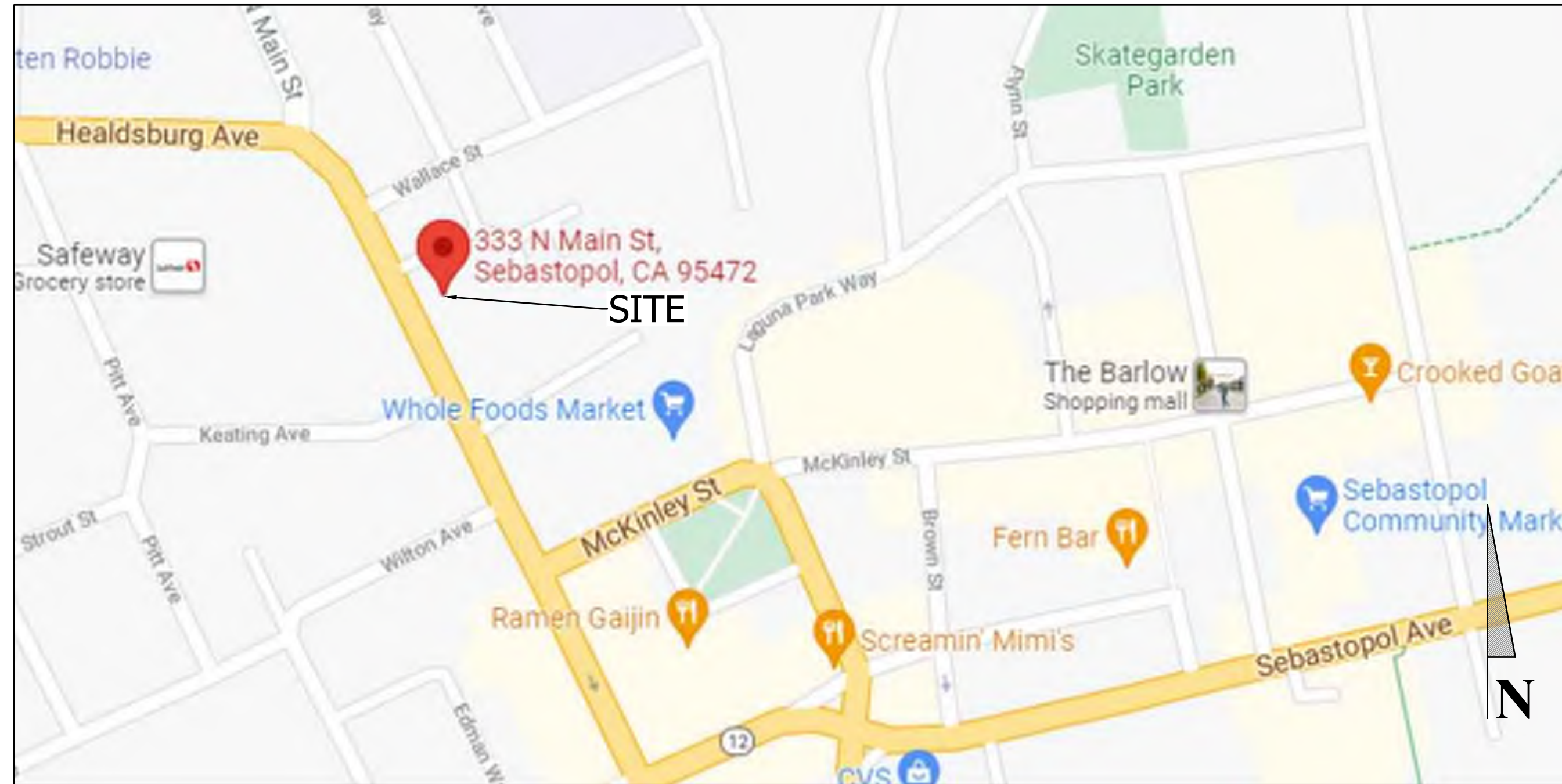
**333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472  
APN: 004-670-022**

**SHEET INDEX**

C1.0	PROJECT INFO
C1.2	OVERALL SITE PLAN
C2.0	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN
C2.1	SITE SECTIONS
C3.0	DETAILS

**ABBREVIATIONS**

&	AND	HP	HIGH POINT
@	AT	HT	HEIGHT
t	CENTERLINE	HWY	HIGHWAY
°	DEGREE	ID	INSIDE DIAMETER
∅	DIAMETER	IG	INVERT GRADE
#	NUMBER	IN	INCH
//	PARALLEL	INT	INTERIOR
%	PERCENT	INV	INVERT
⊥	PERPENDICULAR	IJ	"I" JOIST
±	PLUS OR MINUS	JST	JOIST
AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	ASPHALT CONCRETE	L	LENGTH
AD	AREA DRAIN	LAT	LATERAL
ADDL	ADDITIONAL	LF	LINEAL FOOT
AFF	ABOVE FINISHED FLOOR	LGW	LIMITS OF GRADING WORK
AG	AGGREGATE	MAX	MAXIMUM
ALT	ALTERNATE	ME	MATCH EXISTING
ANCH	ANCHOR	MIN	MINIMUM
APN	ASSESSOR'S PARCEL NUMBER	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MO	MASONRY OPENING
ARCH	ARCHITECT / ARCHITECTURAL	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
AVG	AVERAGE	(N)	NEW
BC	BEGIN CURVE	NTS	NOT TO SCALE
BD	BELOW DECK	OC	ON CENTER
BFF	BELOW FINISHED FLOOR	OD	OUTSIDE DIAMETER OF OUTSIDE FACE
BLDG	BUILDING	OH	OVERHEAD
BLK	BLOCK	OPNG	OPENING
BLKG	BLOCKING	OPP	OPPOSITE
BM	BENCHMARK	ORIG	ORIGINAL
BOF	BOTTOM OF FOOTING	(P)	PROPOSED
BOT	BOTTOM	PCC	POINT OF COMPOUND CURVE
BRG	BEARING	PL	PROPERTY LINE
BSL	BUILDING SETBACK LINE	PQC	POINT OF CURVATURE
BT	BEGIN TRANSITION	PRC	POINT OF RETURN CURVE
BTWN	BETWEEN	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL	PVC	POLYVINYLCHLORIDE
CIP	CAST IN PLACE	PVMT	PAVEMENT
CB	CATCH BASIN	R or RAD	RADIUS
CBC	CALIFORNIA BUILDING CODE	RC	RELATIVE COMPACTION
CL	CENTERLINE	REF	REFERENCE
CLR	CLEAR	REINF	REINFORCING
CMU	CONCRETE MASONRY UNIT	REQD	REQUIRED
CONC	CONCRETE	RO	ROUGH OPENING
CONN	CONNECTION	ROW	RIGHT OF WAY
CONST	CONSTRUCTION	RT	RIGHT
CONT	CONTINUOUS	RWD	REDWOOD
CPC	CALIFORNIA PLUMBING CODE	S	SLOPE
CPP	CORRUGATED PLASTIC PIPE	SAD	SEE ARCHITECTURAL DRAWINGS
CRC	CALIFORNIA RESIDENTIAL CODE	SB	SOLID BLOCK
CTR	CENTER	SC	SPIRAL CURVE
CY	CUBIC YARD	SCD	SEE CIVIL DRAWINGS
D	DEPTH	SCH	SCHEDULE
DBL	DOUBLE	SD	STORM DRAIN
DI	DROP INLET	SDCO	STORM DRAIN CLEANOUT
DIA	DIAMETER	SDE	STORM DRAIN EASEMENT
DIAG	DIAGONAL	SDMH	STORM DRAIN MANHOLE
DIM	DIMENSION	SED	SEE ELECTRICAL DRAWINGS
DIST	DISTANCE	SF	SQUARE FEET
DL	DAYLIGHT	SG	SUBGRADE
DN	DOWN	SHT	SHEET
DS	DOWNSPOUT	SHTG	SHEATHING
DWG	DRAWING	SIM	SIMILAR
EACH	EACH	SLAD	SEE LANDSCAPE ARCHITECTS' DRAWINGS
EC	END CURVE	SMD	SEE MECHANICAL DRAWINGS
EE	EACH END	SO	SIDE OPENING
EF	EACH FACE	SPEC	SPECIFICATION
EG	EXISTING GROUND	SPD	SEE PLUMBING DRAWINGS
ELEV	ELEVATION	SQ	SQUARE
ELEC	ELECTRICAL	SS	SANITARY SEWER
EN	EDGE NAILING	SSCO	SANITARY SEWER CLEANOUT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EQPT	EQUIPMENT	STA	STATION
EQ	EQUAL	STD	STANDARD
ES	EACH SIDE	STRUC	STRUCTURAL
ESMT	EASEMENT	SWE	SIDEWALK EASEMENT
ET	END TRANSITION	SYM	SYMMETRICAL
EW	EACH WAY	T&B	TOP AND BOTTOM
EX or (E)	EXISTING	TB	TOP OF BANK
EXC	EXCAVATION / EXCAVATE	TC	TOP OF CONCRETE
EXT	EXTERIOR	TCC	TOP OF CONCRETE CURB
FC	FACE OF CURB	TD	TRENCH DRAIN
FD	FLOOR DRAIN	TG	TOP OF GRATE
FDN	FOUNDATION	THK	THICK
FF	FINISH FLOOR	TOF	TOP OF FOOTING
FG	FINISH GRADE	TOS	TOP OF STEEL / TOP OF STRUCTURE
FIN	FINISH	TOT	TOTAL
FL	FLOWLINE	TP	TOP OF PAVEMENT
FLR	FLOOR	TW	TOP OF WALL
FO	FACE OF	TYP	TYPICAL
FOW	FACE OF WALL	UNO	UNLESS NOTED OTHERWISE
FS	FINISHED SURFACE	VC	VERTICAL CURVE
FT	FOOT / FEET	VERT	VERTICAL
GB	GRADE BREAK OR GRAVEL BASIN	VIF	VERIFY IN FIELD
GR	GRATE	W	WATER / WIDTH
GRD	GRADE	W/	WITH
GRND	GROUND	W/O	WITHOUT
HDPE	HIGH DENSITY POLYETHYLENE	YD, YDS	YARD, YARDS
HORIZ	HORIZONTAL	Z	DITCH SIDE SLOPE



**VICINITY MAP**  
NTS

**PRELIMINARY EARTHWORK SUMMARY**

CUT = 560 CY  
FILL = 20 CY  
NET = 540 CY (CUT/FILL)

DISTURBED AREA = 0.19 ACRES W/DID # NA

EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES AREA BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND AND PROPOSED FINISH GROUND AND COULD VARY ACCORDING TO THESE FACTORS. CONTRACTOR SHALL CONFIRM EXISTING TOPOGRAPHY, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S), AND SHALL PERFORM AN INDEPENDENT QUANTITY TAKEOFF AND BID ACCORDINGLY.

**PURPOSE STATEMENT**

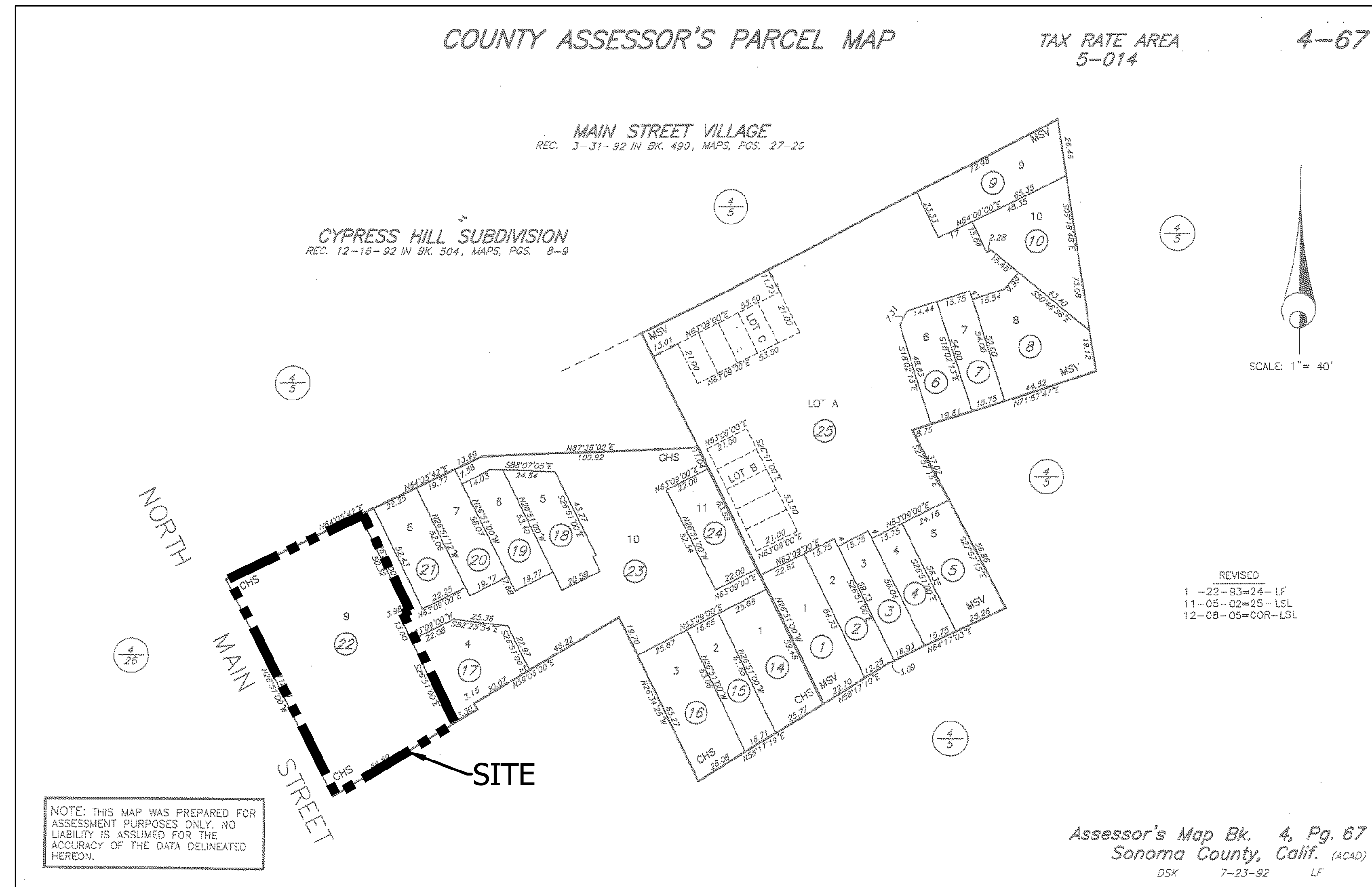
THE PURPOSE OF THIS PROJECT IS TO PROVIDE PRELIMINARY GRADING AND DRAINAGE IMPROVEMENTS FOR NEW RESIDENTIAL UNITS AND ASSOCIATED GARAGES TO SUPPORT A DESIGN REVIEW SUBMITTAL.

**SURVEY NOTE**

BENCHMARK NOTE: DESCRIPTION OF BENCHMARK: #3 RABAR AND RED CAP - POINT 5000  
ASSUMED ELEVATION: 94.89 FEET  
CONTOUR INTERVAL = 1 FOOT

**LEGEND**

EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD WIRE)
---	---	GAS LINE
---	---	GATE VALVE
---	---	HYDRANT
---	---	PIPE CAP
---	---	POINT OF COORDINATION
---	---	SANITARY SEWER PIPE
---	---	STORM WATER DRAIN PIPE
---	---	STREET LIGHT
---	---	SUB-DRAIN
---	---	WATER LINE
---	---	BUILDING OVERHEAD
---	---	DAYLIGHT LINE
---	---	DRAINAGE SWALE FLOW LINE
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	FEATURE TO BE REMOVED
---	---	FIBER ROLL
---	---	GRADE BREAK
---	---	LIMITS OF DISTURBANCE
---	---	RETAINING WALL
---	---	ROADSIDE SIGN
---	---	SAWCUT
---	---	TREE TO BE REMOVED
---	---	CONCRETE
---	---	ROCK DISSIPATER/RIP RAP



**ASSESSORS PARCEL MAP**  
NTS

DATE: 12/27/2021

BY: TSL / EK / JAB

DESCRIPTION: PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

REV.:

BC ENGINEERING GROUP, INC.  
CIVIL ENGINEERING & LAND PLANNING  
www.bcegroup.com  
Phone: 707.542.4321  
SANTA ROSA OFFICE:  
418 B Street, Third Floor, Santa Rosa CA 95401  
UKAR OFFICE:  
603 S. State Street, Ukiah CA 95482

HABITAT FOR HUMANITY SONOMA COUNTY  
PROJECT INFO  
C/O JEFF KATZ  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

**PRELIMINARY**

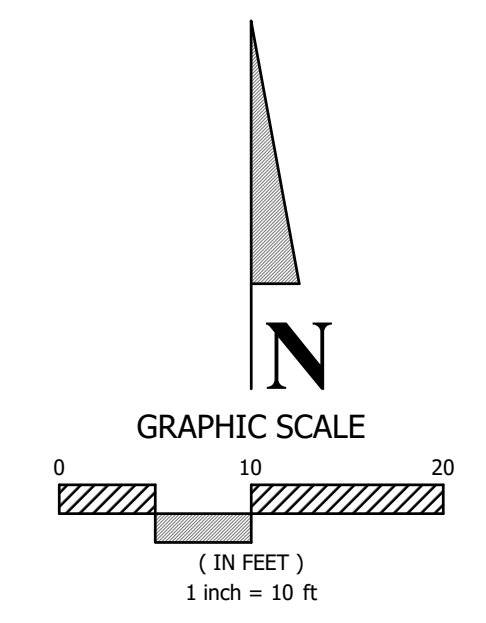
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APN: 004-670-022

Permit #:

Sheet: **C1.0**  
1 of 5


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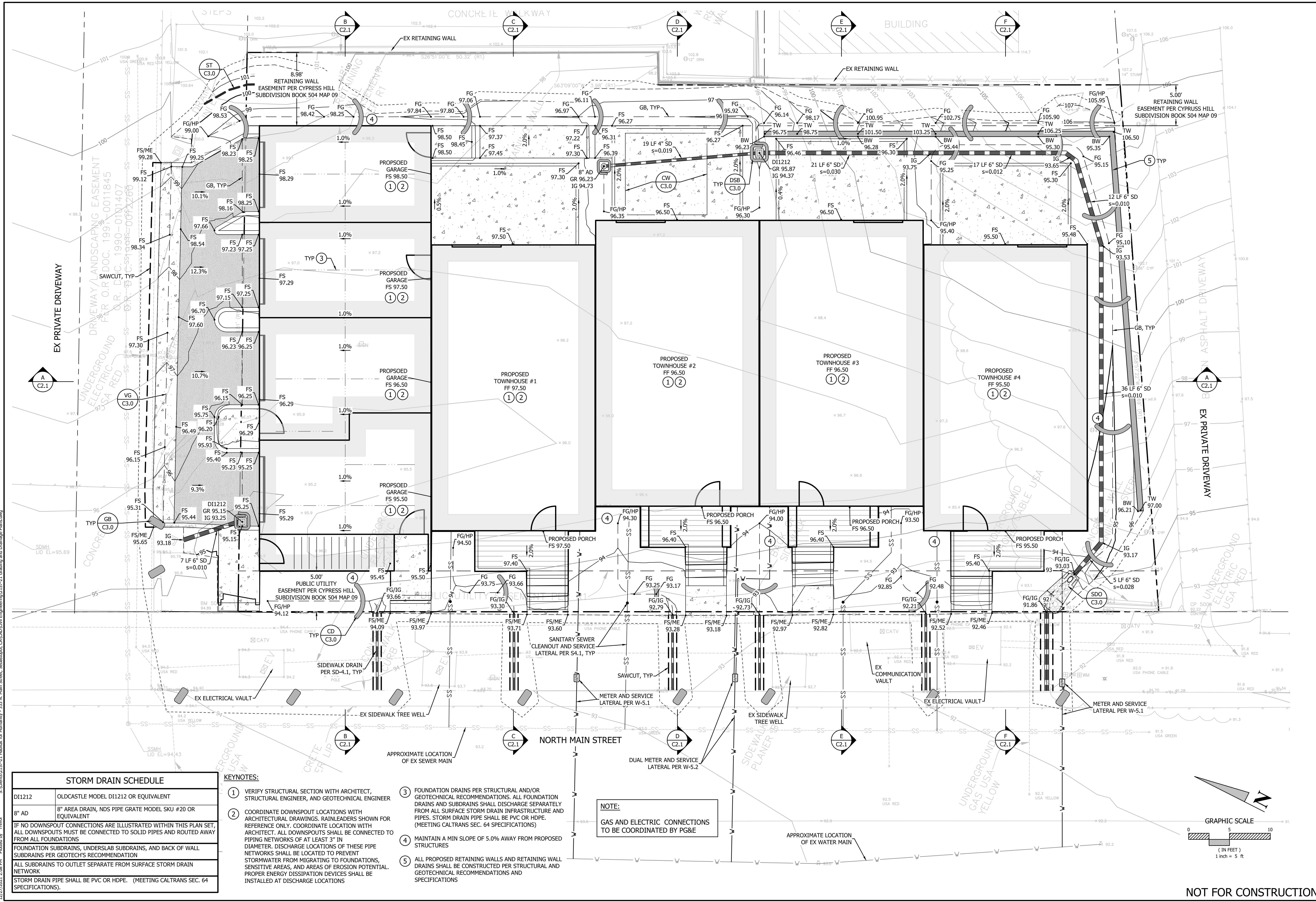
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REV.	DESCRIPTION	BY	DATE

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<b>HABITAT FOR HUMANITY SONOMA COUNTY</b> <b>OVERALL SITE PLAN</b> C/O JEFF KATZ 333 NORTH MAIN STREET SEBASTOPOL, CA 95472	
PRELIMINARY	
Date:	12/27/2021
Job:	2157-21
Drawn:	TSL / EK / JAB
Scale:	AS SHOWN
APN:	004-670-022
Permit #:	
Sheet:	<b>C1.1</b> 2 of 5

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REV.	DESCRIPTION	DATE

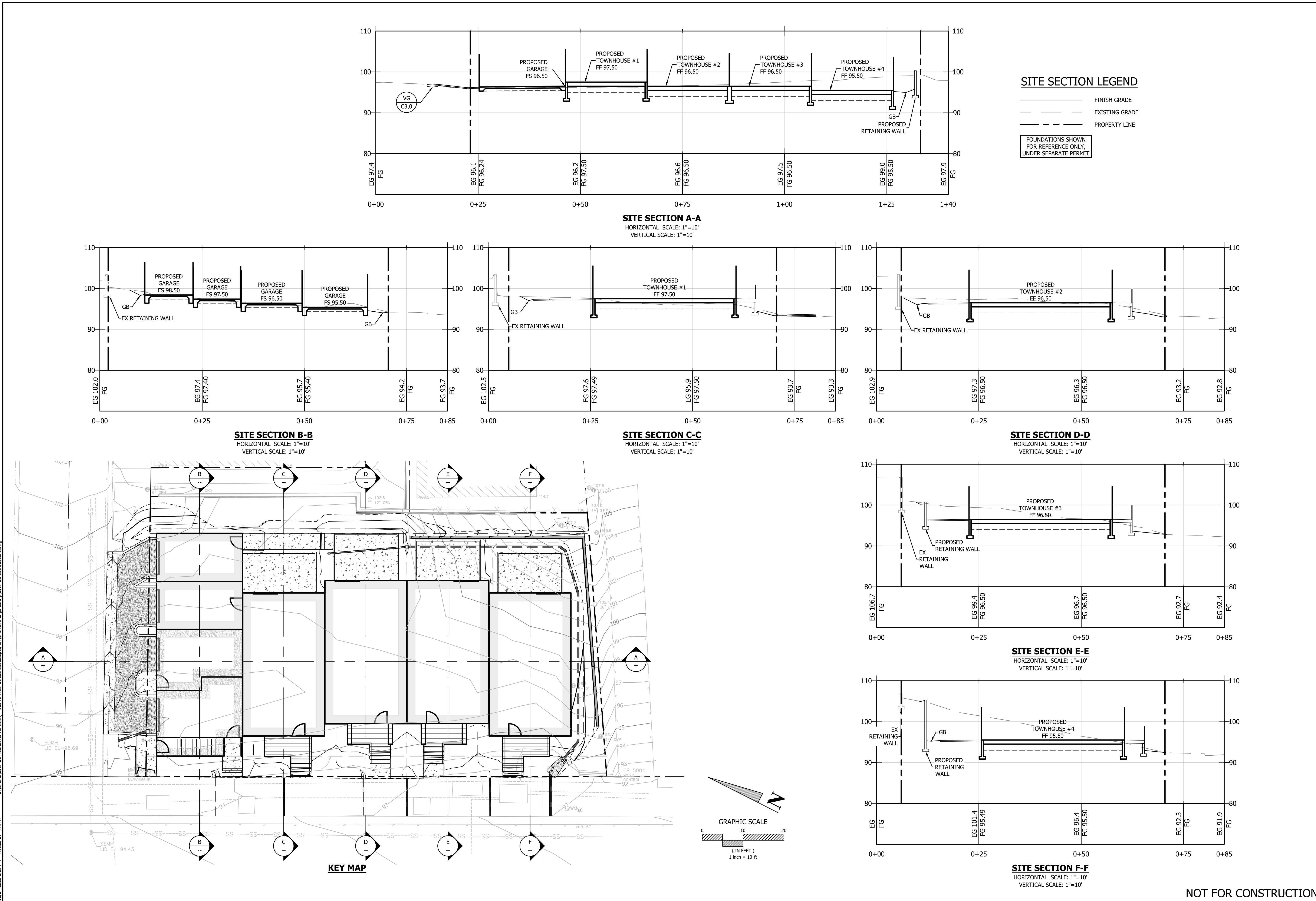
**BC ENGINEERING & LAND PLANNING**  
 www.bceengineering.com  
 Phone: 707.543.4321  
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401  
 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482

**HABITAT FOR HUMANITY SONOMA COUNTY**  
 PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

**PRELIMINARY**

Date: 12/27/2021  
 Job: 2157-21  
 Drawn: TSL / EK / JAB  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #:  
 Sheet: **C2.0**  
 3 of 5

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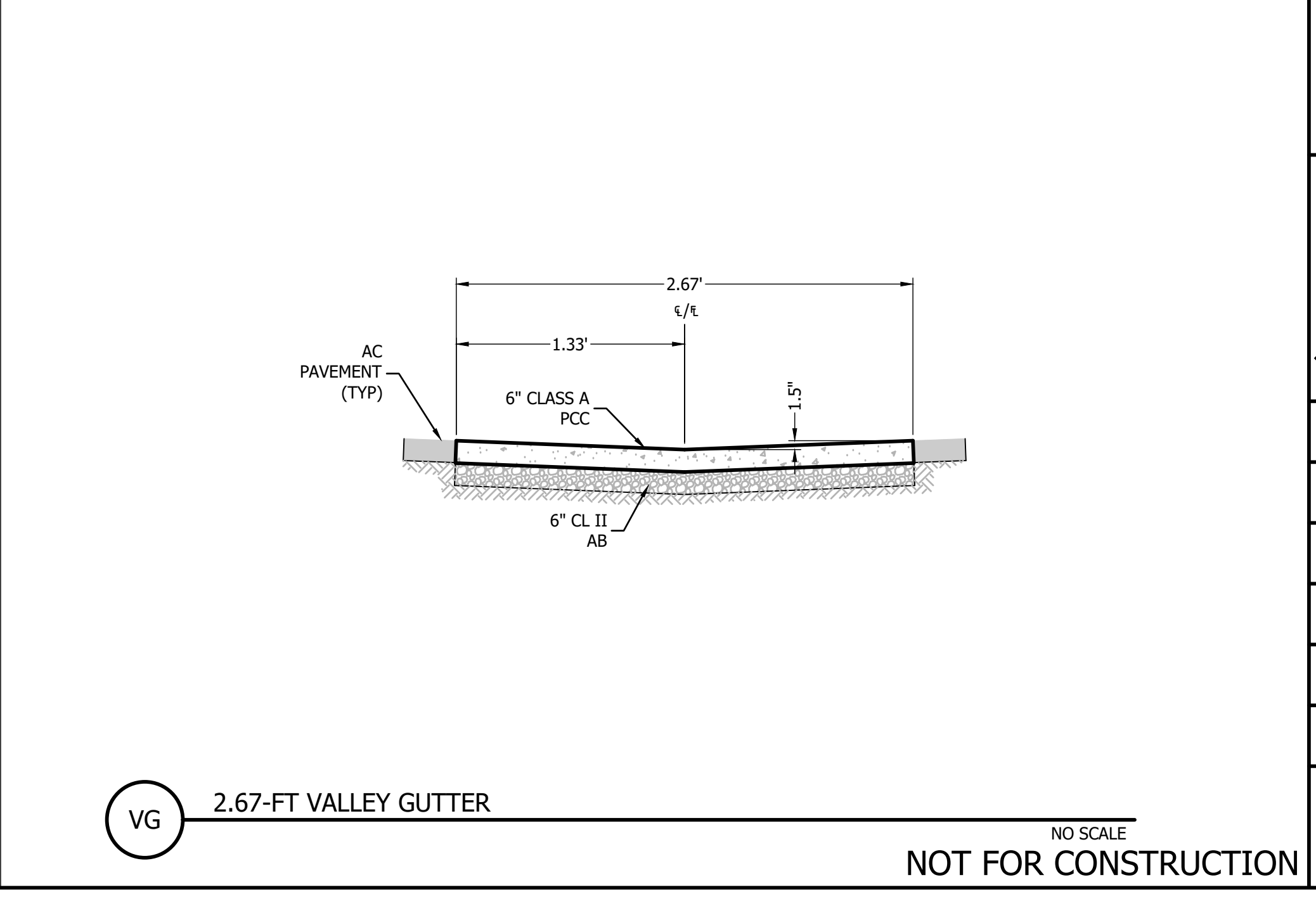
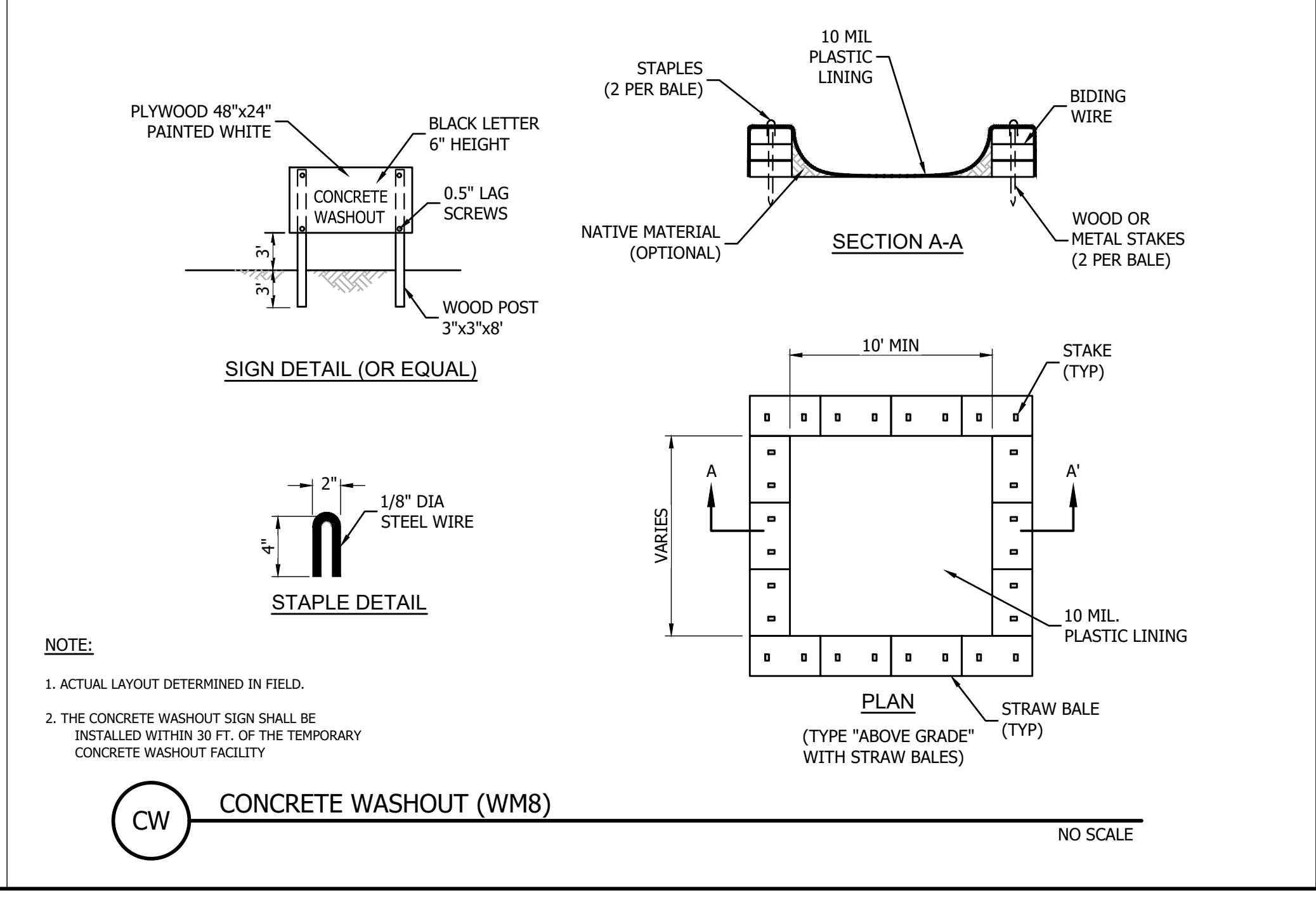
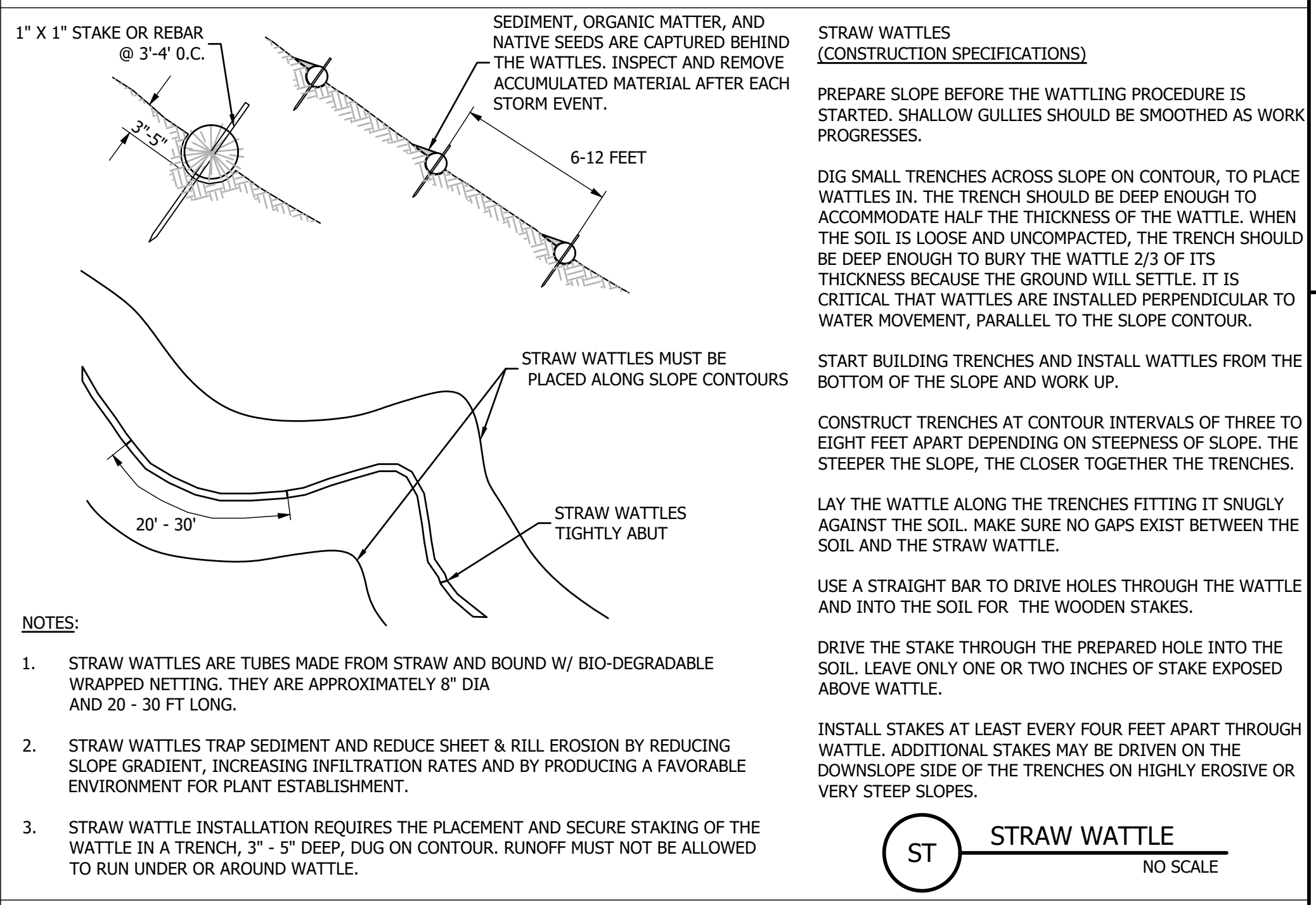
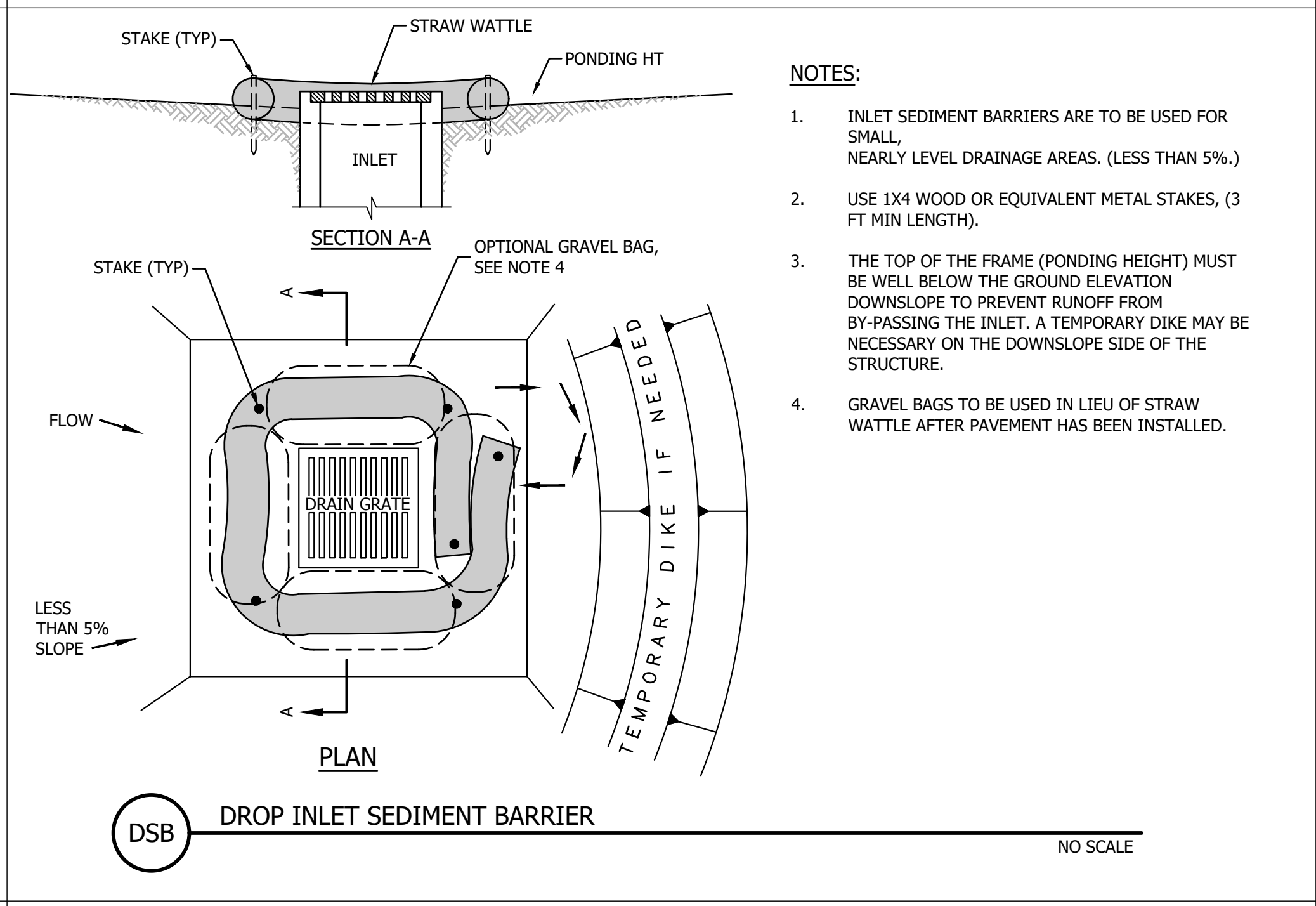
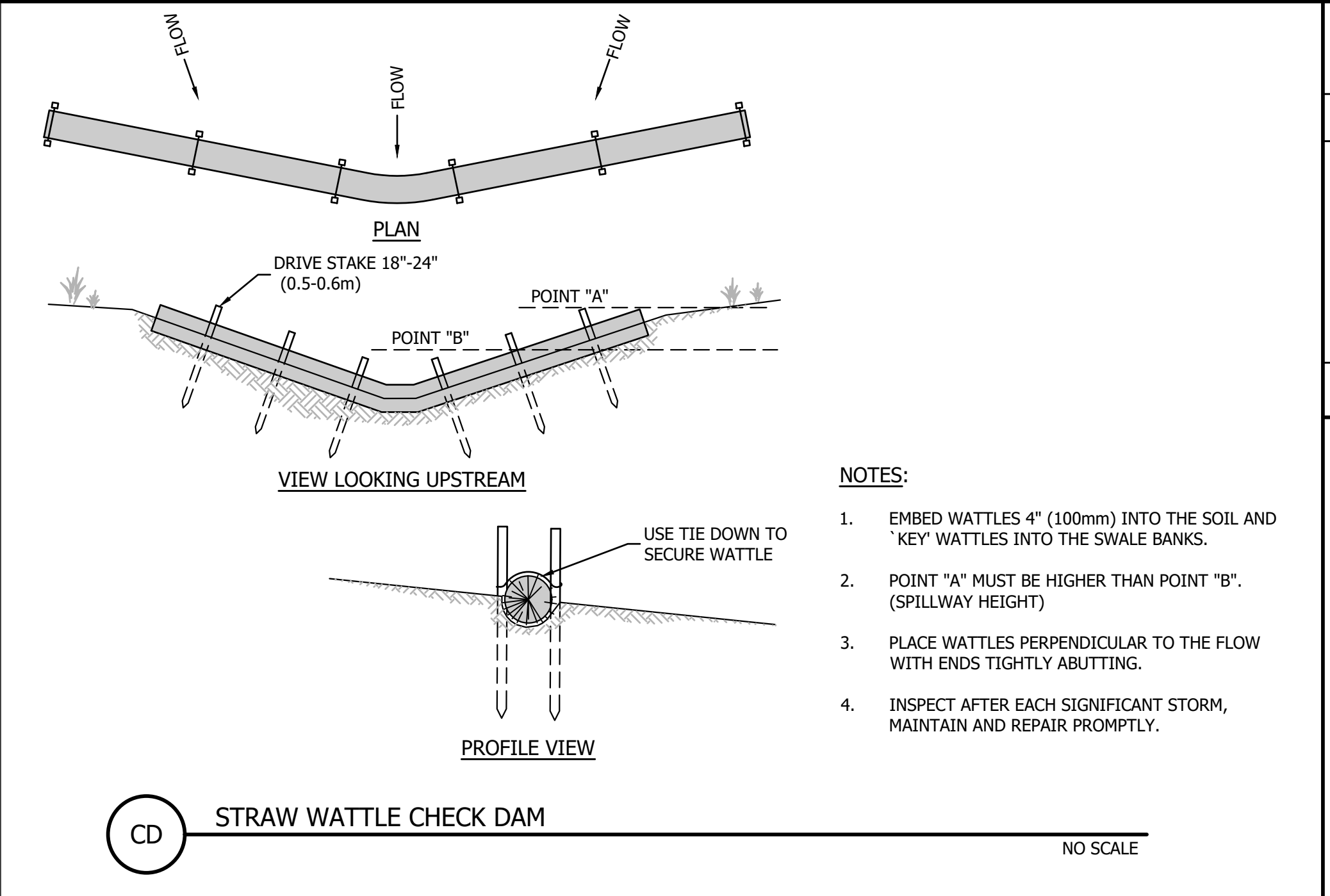
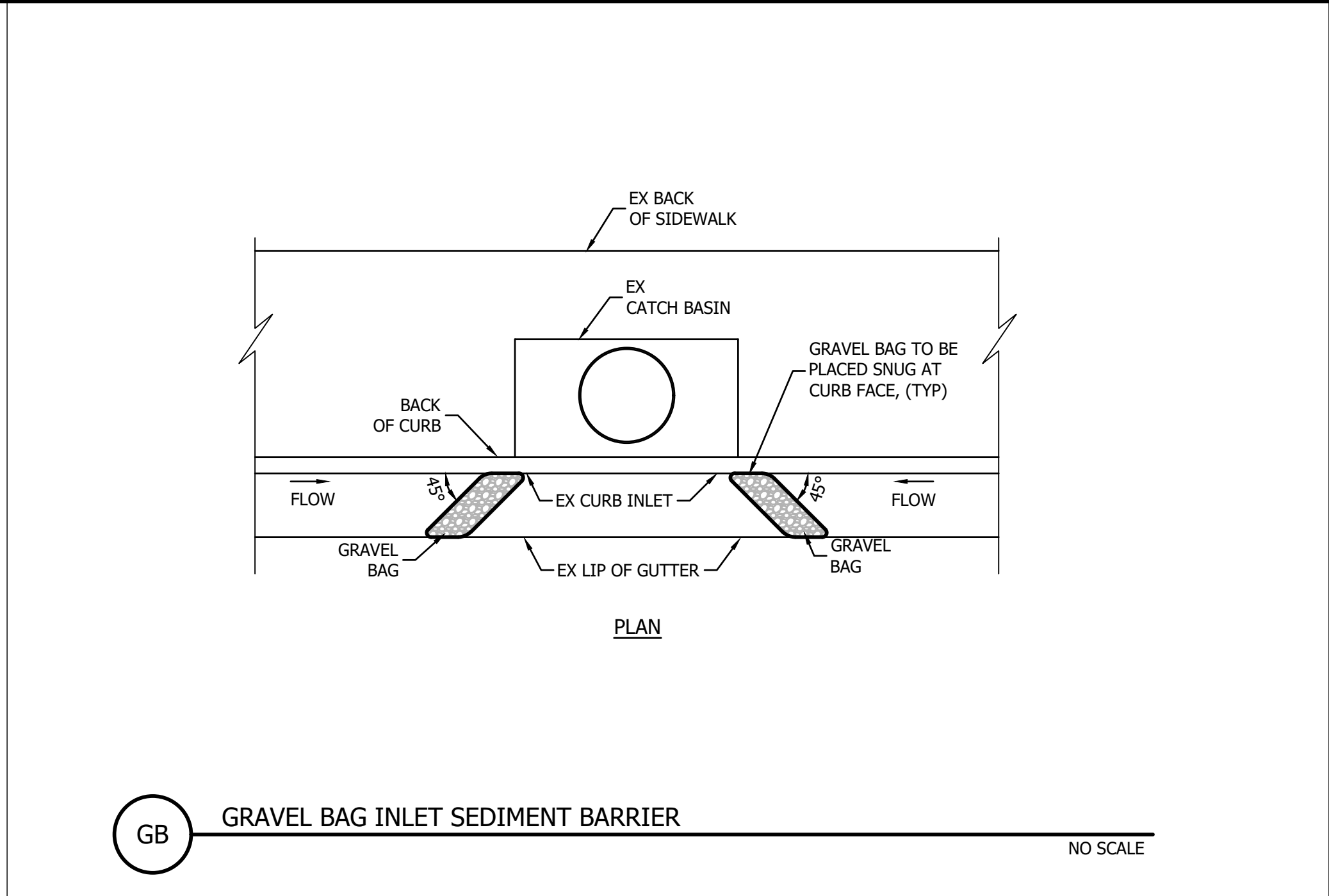
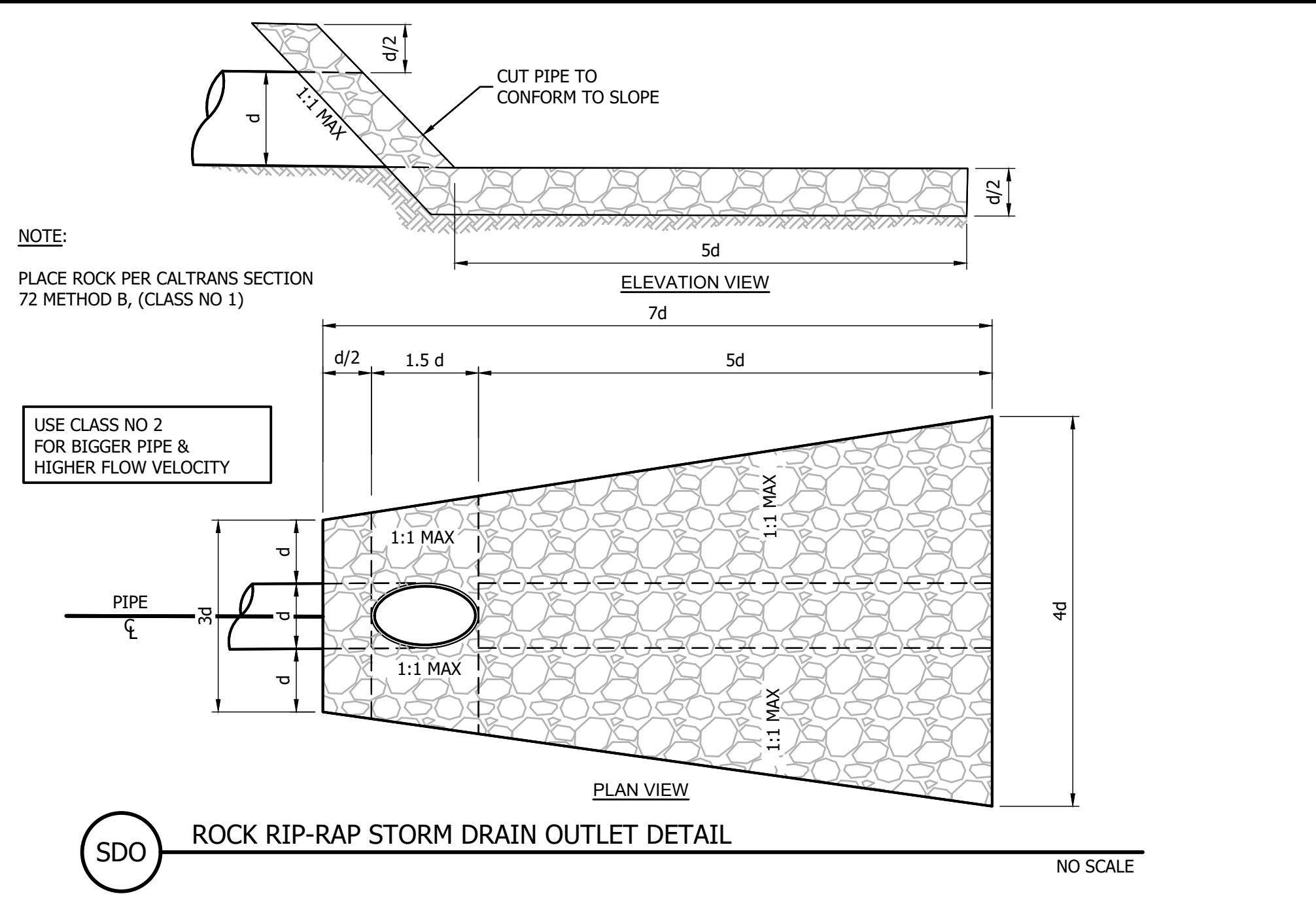
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**HABITAT FOR HUMANITY SONOMA COUNTY**  
 SITE SECTIONS  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

PRELIMINARY

Date: 12/27/2021  
 Job: 2157-21  
 Drawn: TSL / EK / JAB  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #:  
 Sheet: **C2.1**  
 4 of 5

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REV.	DESCRIPTION	BY	DATE

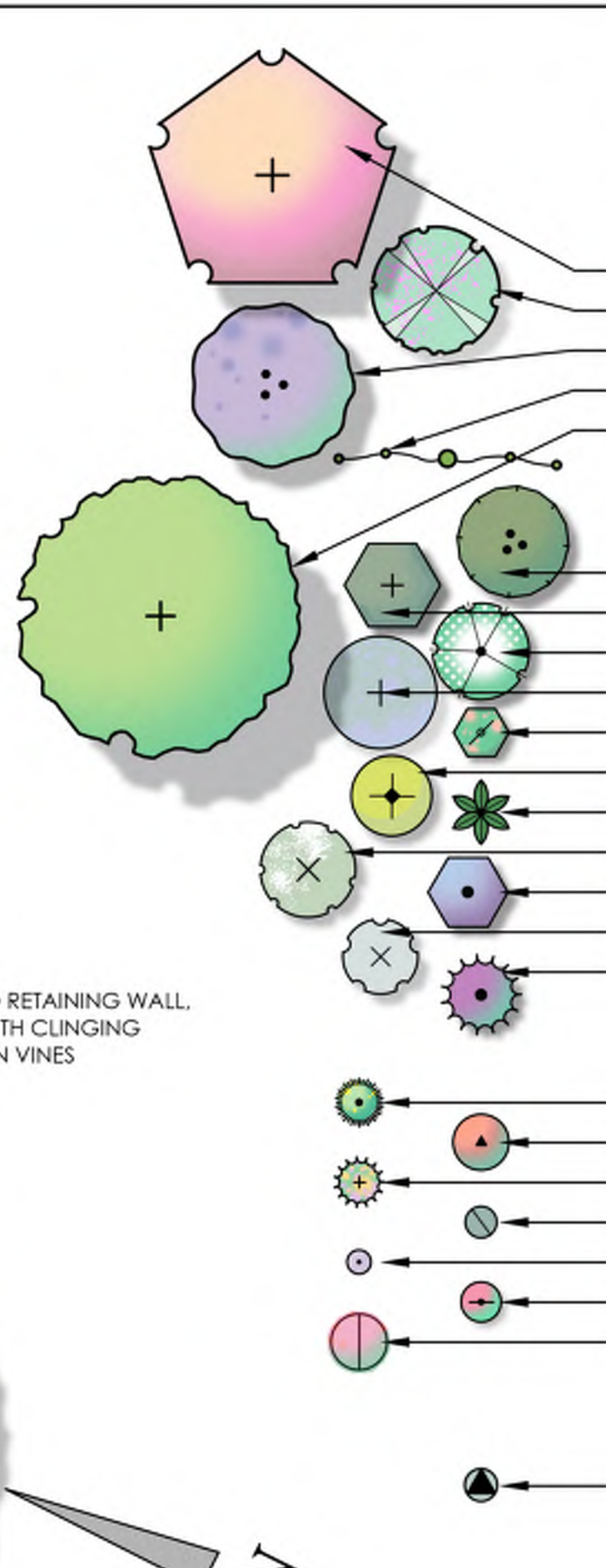
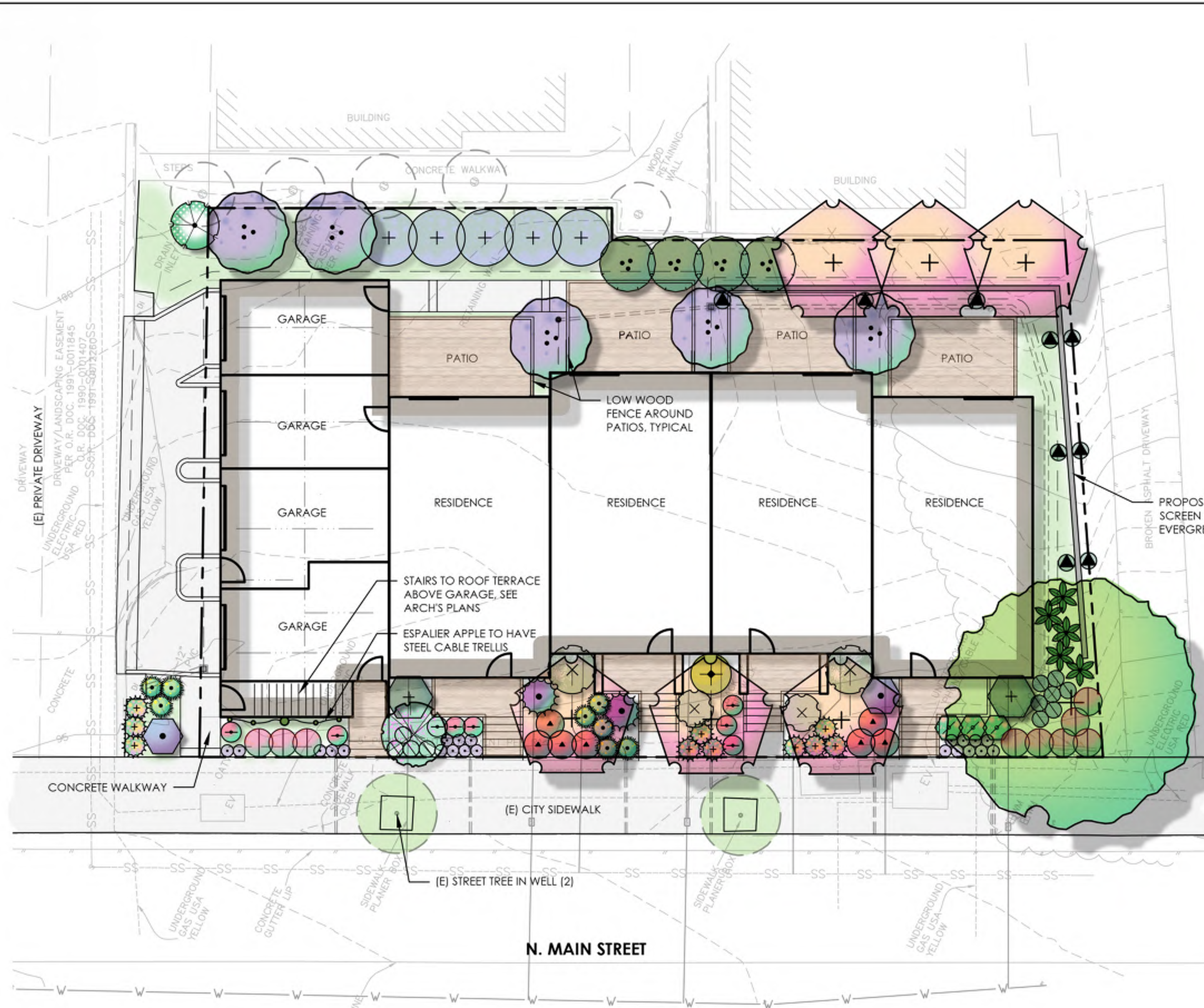
**BC ENGINEERING GROUP, INC.**  
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 OKAR OFFICE:  
 603 S. State Street, Ukiah CA 95422

**HABITAT FOR HUMANITY SONOMA COUNTY**  
 DETAILS  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

**PRELIMINARY**

Date: 12/27/2021  
 Job: 2157-21  
 Drawn: TSL / EK / JAB  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #:  
 Sheet: **C3.0**  
 5 of 5

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### PLANTING LEGEND

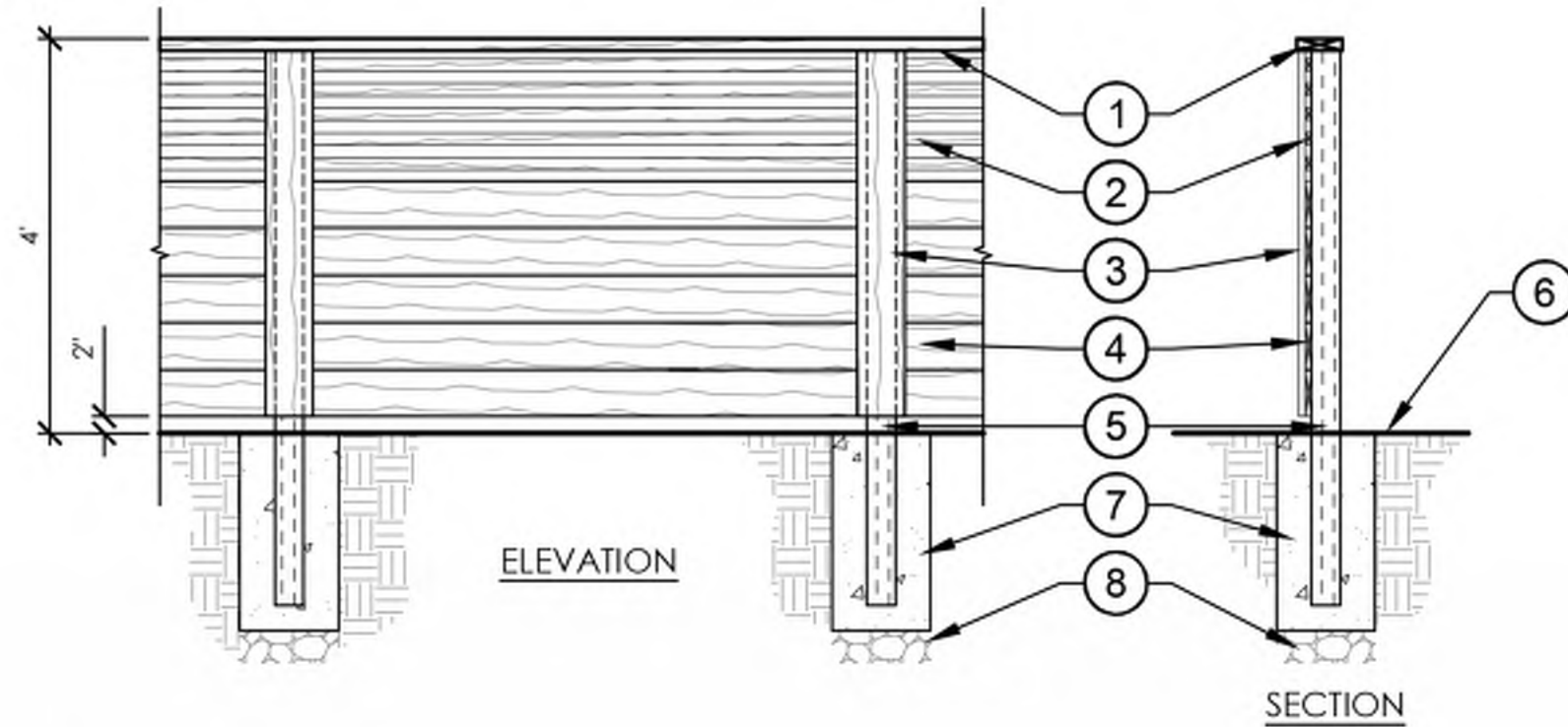
BOTANICAL NAME / COMMON NAME	WUCOLS	CONTAINER SIZE	GROWTH RATE	SIZE IN 3-5 YRS (HxW)	MATURE SIZE (HxW)	QTY.	COMMENTS
<b>TREES</b>							
ACER R. 'ARMSTRONG' / 'ARMSTRONG' RED MAPLE	M	24" BOX	FAST	24x 8'	60'x15'	6	STANDARD TREE FORM
CERCIS OCCIDENTALIS / WESTERN REDBUD	VL	15 GAL	MODERATE	12x12'	12x12'	1	MULTI-TRUNK FORM
LAGERSTROEMIA 'CATAWBA' / 'CATAWBA' CRAPE MYRTLE	L	24" BOX	MODERATE	10x8'	15x10'	5	STANDARD TREE FORM
MALUS 'GRAVENSTEIN' / GRAVENSTEIN APPLE	M	BARE ROOT	MODERATE	6x10'	6x10'	1	ESPALIER ON WALL
QUERCUS KELLOGGII / BLACK OAK	L	24" BOX	MODERATE	18x10'	60x40'	1	STANDARD TREE FORM
<b>SHRUBS</b>							
ARCTOSTAPHYLOS 'AUSTIN GRIFFITHS' / MANZANITA	L	15 GAL	FAST	4x8'	6x12'	4	6' O.C. SPACING
ARCTOSTAPHYLOS 'HOWARD MCMINN' / MANZANITA	L	5 GAL	FAST	4x4'	6x6'	2	6' O.C. SPACING
CARPINTERIA CALIFORNICA / BUSH ANEMONE	M	5 GAL	MODERATE	4x3'	7x5'	1	5' O.C. SPACING
CEANOTHUS 'CONCHA' / 'CONCHA' CA LILAC	L	5 GAL	FAST	6x6'	8x10'	5	6' O.C. SPACING
MIMULUS AURANTIACUS / STICKY MONKEYFLOWER	L	5 GAL	FAST	3x3'	3x3'	3	3' O.C. SPACING
PHYSOCARPUS 'DARTS GOLD' / NINEBARK	L	5 GAL	MODERATE	5x5'	5x5'	1	5' O.C. SPACING
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	M	5 GAL	MODERATE	3x3'	4x6'	5	4' O.C. SPACING
RIBES 'WHITE ICICLE' / 'WHITE ICICLE' FLOWERING CURRANT	L	5 GAL	MODERATE	4x3'	8x6'	2	6' O.C. SPACING
SALVIA 'ALLEN CHICKERING' / 'ALLEN CHICKERING' SAGE	L	5 GAL	FAST	4x4'	5x5'	2	6' O.C. SPACING
SALVIA APIANA / WHITE SAGE	L	5 GAL	FAST	4x4'	4x5'	2	5' O.C. SPACING
SALVIA L. 'MIDNIGHT' / MEXICAN SAGE	L	5 GAL	FAST	3x4'	4x6'	2	5' O.C. SPACING
<b>GROUNDCOVERS &amp; PERENNIALS</b>							
ACHILLEA 'MOONSHINE' / 'MOONSHINE' YARROW	L	1 GAL	FAST	18"x3"	18"x3"	8	3' O.C. SPACING
EPILOBIUM 'EVERETTE'S CHOICE' / CA FUCHSIA	L	1 GAL	FAST	1"x4"	1"x4"	7	3' O.C. SPACING
ERIGERON G. 'WAYNE RODERICK' / 'WAYNE RODERICK' DAISY	L	1 GAL	FAST	1"x3"	1"x3"	10	3' O.C. SPACING
FESTUCA CALIFORNICA / CA FESCUE	L	1 GAL	FAST	2"x2"	2"x2"	11	2' O.C. SPACING
MONARDELLA 'RUSSIAN RIVER' / COYOTE MINT	L	1 GAL	FAST	18"x18"	18"x18"	21	1.5' O.C. SPACING
PENSTEMON 'FIREBIRD' / 'FIREBIRD' BEARDTONGUE	M	1 GAL	FAST	2"x3"	2"x3"	8	2.5' O.C. SPACING
SALVIA SPATHEACEA / HUMMINGBIRD SAGE	L	1 GAL	FAST	1"x3"	1"x5"	9	3' O.C. SPACING
<b>VINES</b>							
FICUS PUMILA / CREEPING FIG	M	5 GAL	FAST	6"x12"	6"x12"	9	3' O.C. SPACING

**MWEO STATEMENT**  
 I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE PLAN.  
 Stephen A. Kovanis  
 REGISTERED LANDSCAPE ARCHITECT #6197  
 DATE: 12/27/2021

**LANDSCAPE AND IRRIGATION CONCEPT STATEMENT**  
 THE PLANT MATERIALS HAVE BEEN CHOSEN TO PROVIDE YEAR-ROUND INTEREST THROUGH COLOR, TEXTURE AND SCENT AND HAVE BEEN PLACED TO ACCENTUATE THE ARCHITECTURE, SITE FEATURES, AND ADJACENT PROPERTIES. THE MAJORITY OF PLANTS ARE CALIFORNIA NATIVES AND WELL ACCUSTOMED TO SEBASTOPOL'S SOIL TYPE AND CLIMATE CONDITIONS. THE DIVERSE PLANT PALETTE WILL INCREASE RESILIENCE AND PROVIDE AN ABUNDANCE OF VISUAL INTEREST FOR RESIDENTS AND PASSERS-BY ALIKE. THE FRONT YARDS OF THE INDIVIDUAL RESIDENTIAL UNITS HAVE BEEN DESIGNED COLLECTIVELY TO MAXIMIZE THE OVERALL VISUAL IMPACT ON NORTH MAIN STREET.  
 A NEW IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED FOR THE PROPOSED LANDSCAPE AND SHALL UTILIZE THE LATEST PRODUCTS AND TECHNOLOGY FOR WATER USE EFFICIENCY. TREES SHALL BE IRRIGATED SEPARATELY FROM THE REST OF THE LANDSCAPING. IRRIGATION SYSTEM COMPONENTS SHALL INCLUDE: LOW VOLUME DRIP IRRIGATION; AN AUTOMATIC WEATHER BASED CONTROLLER WITH WEATHER SENSOR FOR WEATHER-BASED PROGRAM ADJUSTMENTS; A SUBMETER; BACKFLOW PREVENTION DEVICE; AND SHUT OFF VALVES.

- KEY:**
- 1 2x6 REDWOOD CAP
  - 2 1x2 REDWOOD TRELLIS
  - 3 1x6 REDWOOD FENCE BOARD INSTALLED OVER POSTS
  - 4 1x6 REDWOOD FENCE BOARD
  - 5 4x4 PTDG POSTS, BROWN COLOR @ 6' O.C.
  - 6 FINISH GRADE
  - 7 12" Ø x 2' CONCRETE FOOTING, SEE NOTE #4
  - 8 4" CRUSHED DRAIN ROCK

- NOTES:**
1. STAIN & SEAL FENCE WITH OLYMPIC WATERGUARD TRANSPARENT STAIN, MAPLE BROWN COLOR, OR APPROVED EQUAL. PROVIDE SAMPLE FOR ACCEPTANCE BY OWNER PRIOR TO STAINING FENCE
  2. PROVIDE 1-1/2" GAPS BETWEEN TRELLIS BOARDS, 1/4" GAPS BETWEEN FENCE BOARDS
  3. ALL FASTENERS TO BE CORROSION RESISTANT
  4. INSTALL SIMPSON STRONG-TIE POST BASE #PBS44A FOR ALL POSTS
  5. REDWOOD TO BE CONSTRUCTION HEART



**HORIZONTAL BOARD PATIO FENCE**

**PRELIMINARY WATER BUDGET CALCULATIONS**

**WATER EFFICIENT LANDSCAPE WORKSHEET**  
 This worksheet is filed out by the project applicant and it is a required element of the Landscape Documentation Package.

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
Low H2o	0.2	drip	0.81	0.25	1,240	310	8,073
Moderate H2o	0.4	drip	0.81	0.49	350	172	4,479
					Totals (A)	482	(B)
<b>Special Landscape Areas</b>							
					1		
					1		
					0	0	
					Totals (C)	(D)	
						ETWU Total	12,552
						Maximum Allowed Water Allowance (MAWA)	22,773

**ETAF Calculations**  
 Regular Landscape Areas  
 Total ETAF x Area = 482 (B)  
 Total Area = 1590 (A)  
 Average ETAF = B ÷ A = 0.30

**MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((ETAF x SLA))**  
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year; LA is the total landscape area in square feet; SLA is the total special landscape area in square feet; and ETAF is .55 for residential areas and 0.45 for non-residential areas.

Low = 42.0 (0.62) [0.55 \* 1240] = 17,760 gal  
 Moderate = 42.0 (0.62) [0.55 \* 350] = 5,013 gal  
 MAWA = 22,773 gal

**ETAF Calculations**

Regular Landscape Areas	
Total ETAF x Area	482 (B)
Total Area	1590 (A)
Average ETAF	B ÷ A = 0.30
All Landscape Areas	
Total ETAF x Area	(B+D) = 482+0
Total Area	(A+C) = 1590+0
Site-wide ETAF	(B+D) ÷ (A+C) = 0.30

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_  
 REV: \_\_\_\_\_

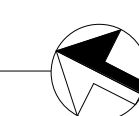
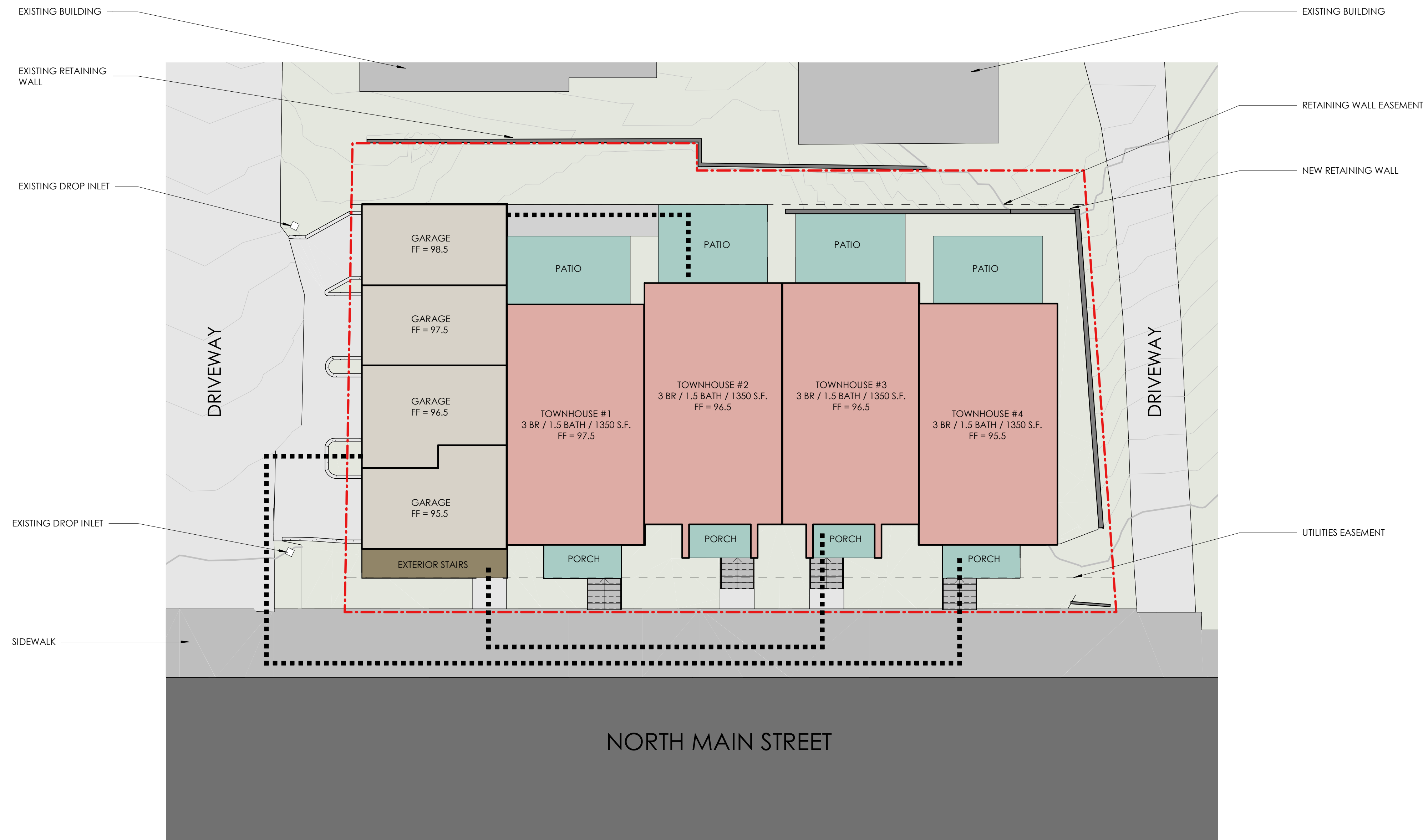
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 CIVIL ENGINEERING & LAND PLANNING  
 www.bceengineeringgroup.com  
 Phone: 707-542-4321  
 418 B Street, Third Floor  
 Santa Rosa, CA 95401

**PRELIMINARY LANDSCAPE PLAN**  
 DESIGN REVIEW  
 SONOMA COUNTY HABITAT FOR HUMANITY  
 SEBASTOPOL TOWNHOUSES  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

Stephen A. Kovanis  
 P.L.A. #6197  
 12/27/2021  
 12/27/2021

Date: 12/27/2021  
 Job: 2157-21  
 Drawn: SK  
 Scale: AS SHOWN  
 APN: 004-670-022  
 Permit #: \_\_\_\_\_  
 Sheet: **L1.0**  
 1 of 1

NOT FOR CONSTRUCTION





1



2



3



4



5



6



7



8



9

**PHOTOGRAPH DESCRIPTIONS**

1. VIEW FROM NORTHWEST CORNER OF SITE LOOKING SOUTHEAST.
2. VIEW FROM NORTHWEST SIDE OF SITE LOOKING EAST.
3. VIEW FROM VIEW FROM WEST SIDE OF SITE LOOKING EAST.
4. VIEW FROM NORTH SIDE OF SITE LOOKING SOUTH.
5. VIEW FROM NORTHEAST CORNER OF SITE LOOKING SOUTHWEST.
6. VIEW FROM TOP OF DRIVEWAY ON NORTH END OF SITE.
7. VIEW FROM SOUTH SIDE OF SITE LOOKING NORTH.
8. VIEW FROM SOUTHWEST SIDE OF SITE LOOKING NORTHEAST.
9. VIEW FROM SOUTHWEST CORNER OF SITE LOOKING NORTHEAST.

NOT FOR CONSTRUCTION



**PROJECT:**

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:      Date:  
CONCEPTUAL      07/16/21  
PLANNING  
REVIEW  
DESIGN REVIEW      10/15/21  
DESIGN REVIEW      01/10/22  
RESUBMITTAL

NOT FOR CONSTRUCTION

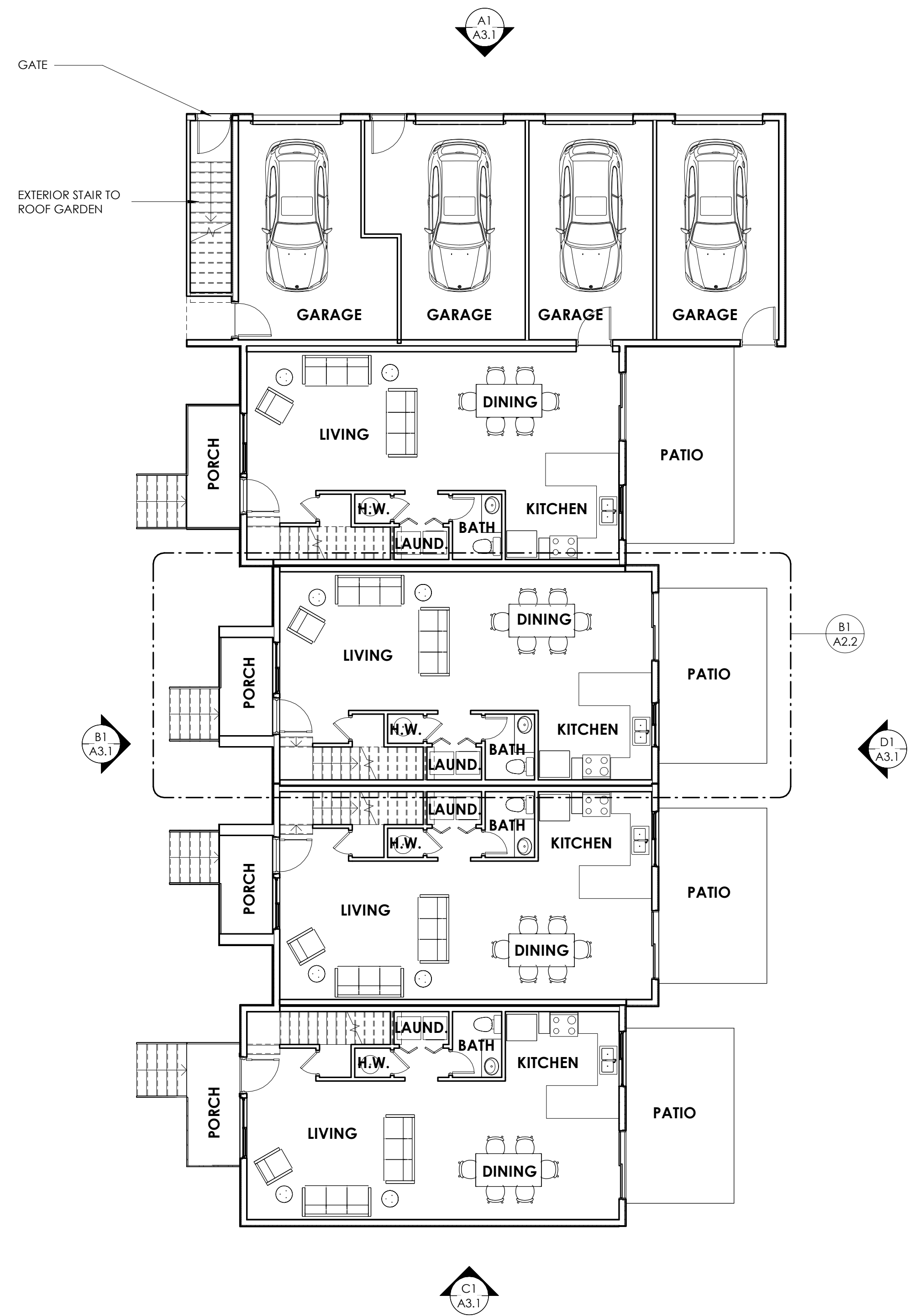
Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**EXISTING SITE  
PHOTOGRAPHS**

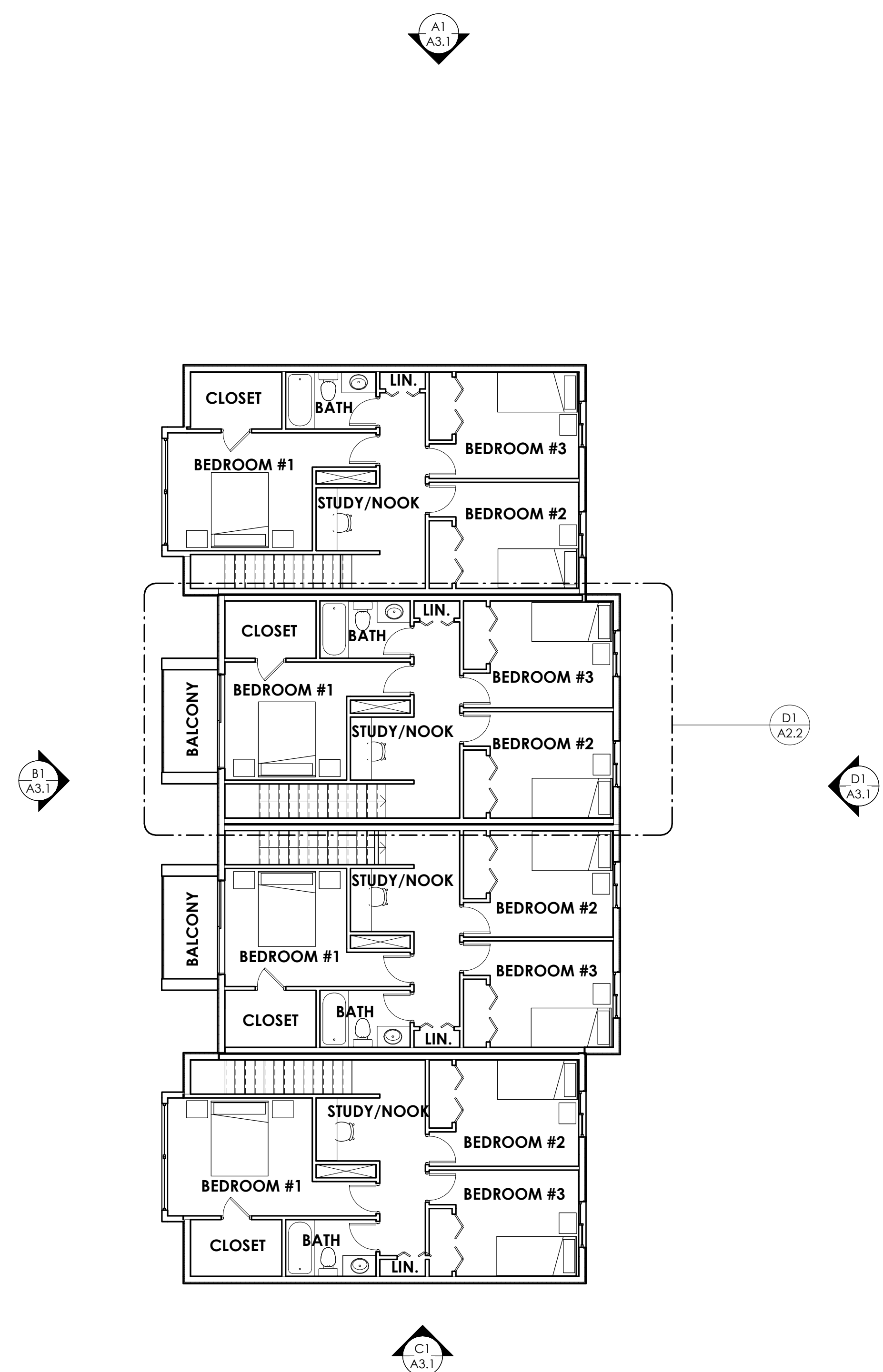
SHEET NUMBER:

**A1.2**





D1 FIRST FLOOR PLAN  
A2.1 SCALE: 1/8" = 1'-0"



D2 SECOND FLOOR PLAN  
A2.1 SCALE: 1/8" = 1'-0"

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PROJECT:

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description: Date:  
CONCEPTUAL PLANNING REVIEW 07/16/21  
DESIGN REVIEW 10/15/21  
DESIGN REVIEW 01/10/22  
RESUBMITTAL

NOT FOR  
CONSTRUCTION

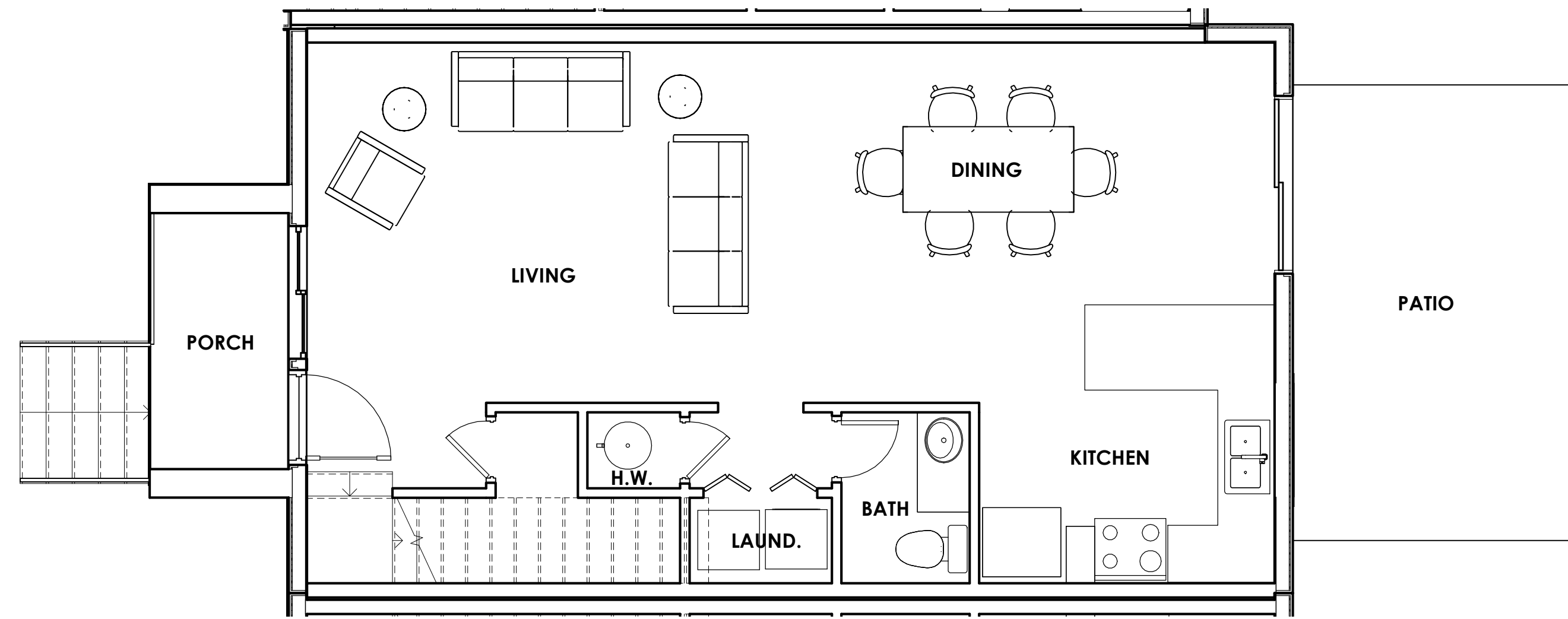
Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:

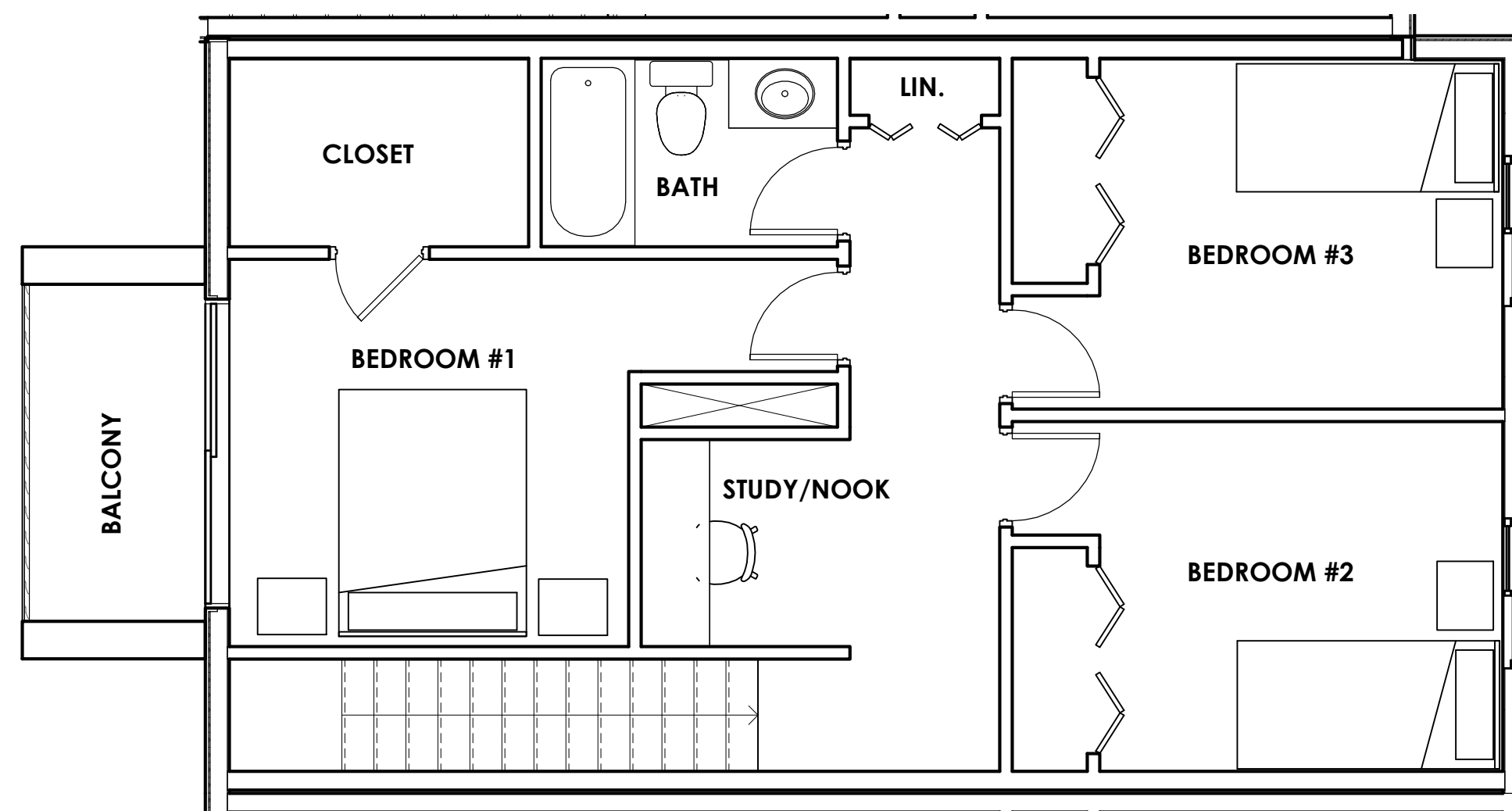
ENLARGED  
PLANS

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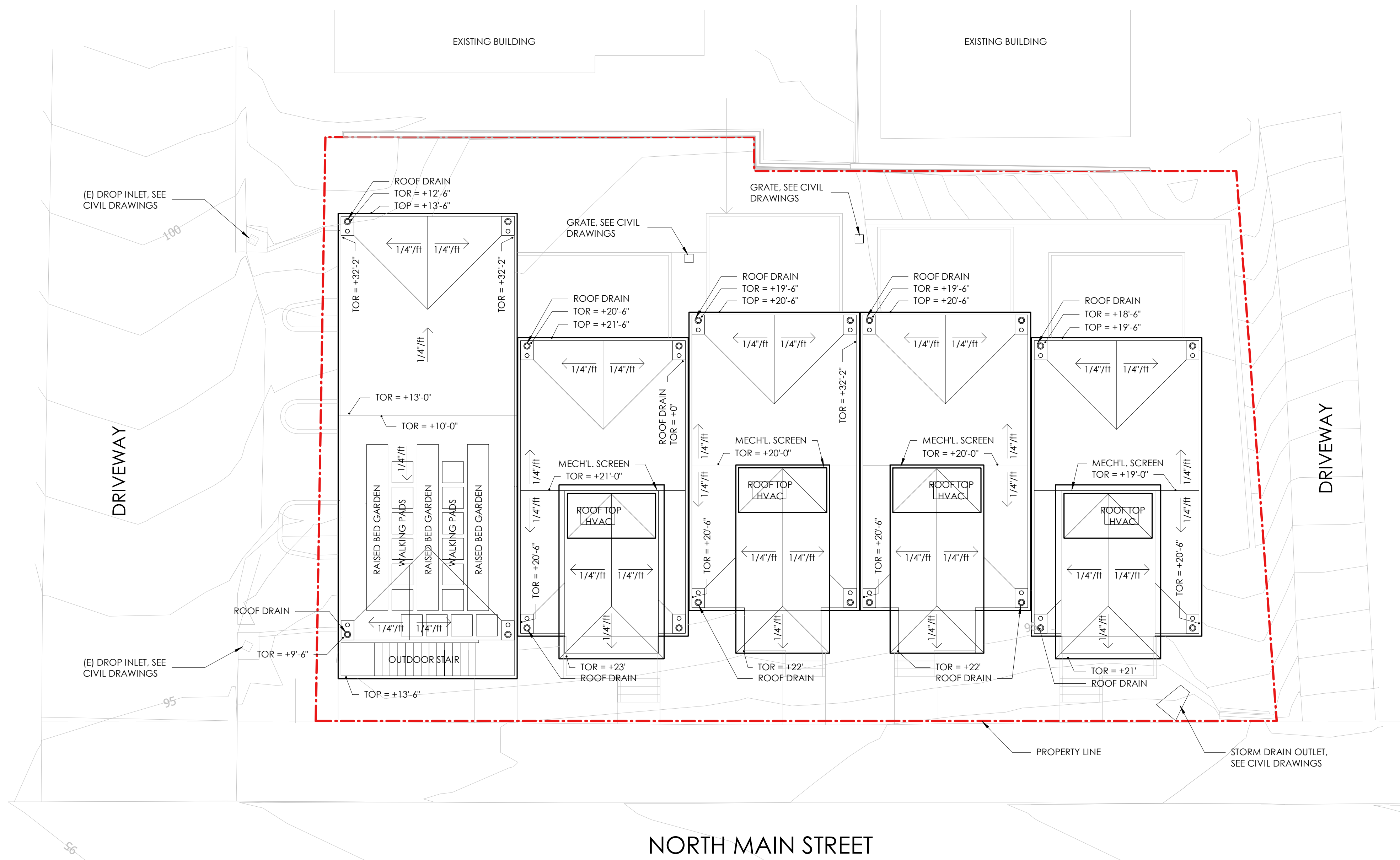
A2.2



B1 ENLARGED FIRST FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"



D1 ENLARGED SECOND FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"



**NOTES**

1. TOP - TOP OF PARAPET
2. TOR - TOP OF ROOFING
3. ALL ELEVATIONS ARE REFERENCED TO FINISH FLOOR OF LOWER FLOOR LEVEL OF LOWEST TOWNHOUSE.
4. ROOF DRAINS TO TERMINATE AT SPLASH BLOCKS & SURFACE DRAIN TO CATCH BASINS OR SIDEWALK DRAINS AS SHOWN ON CIVIL DRAWINGS.
5. ALL ROOFING IS SINGLE PLY MEMBRANE ROOFING.

Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22
DESIGN REVIEW RESUBMITTAL	TBD

Project Number: 210401  
Approved By: JK  
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Sheet Title:  
**ROOF PLAN**

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Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
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DESIGN REVIEW RESUBMITTAL	01/10/22

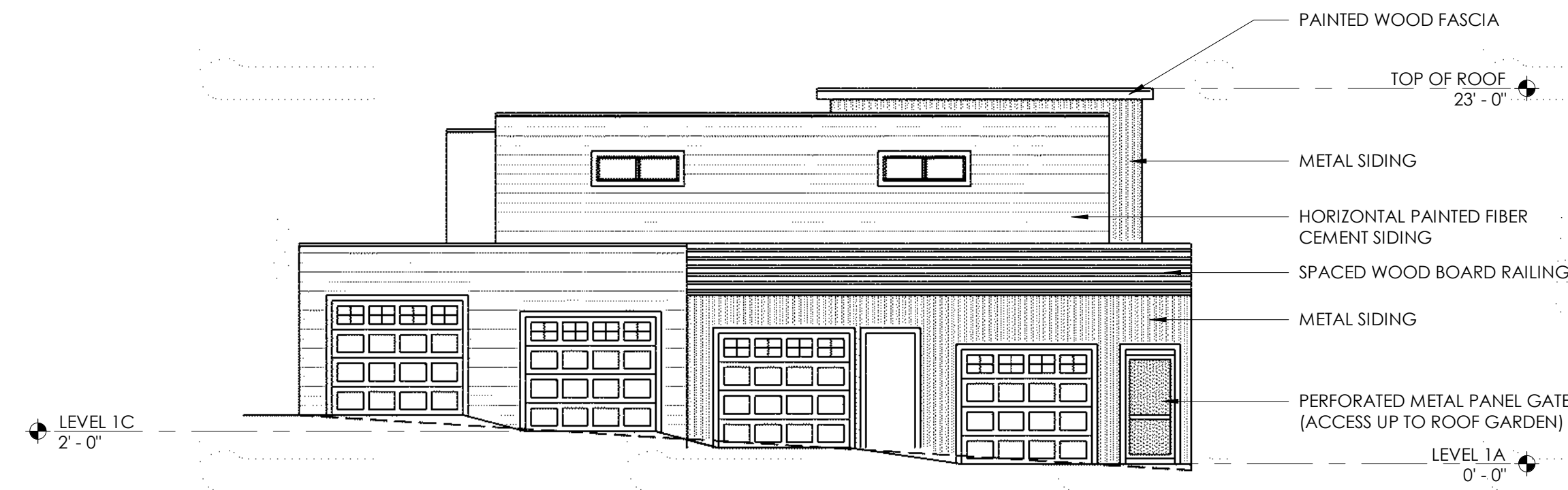
NOT FOR CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:

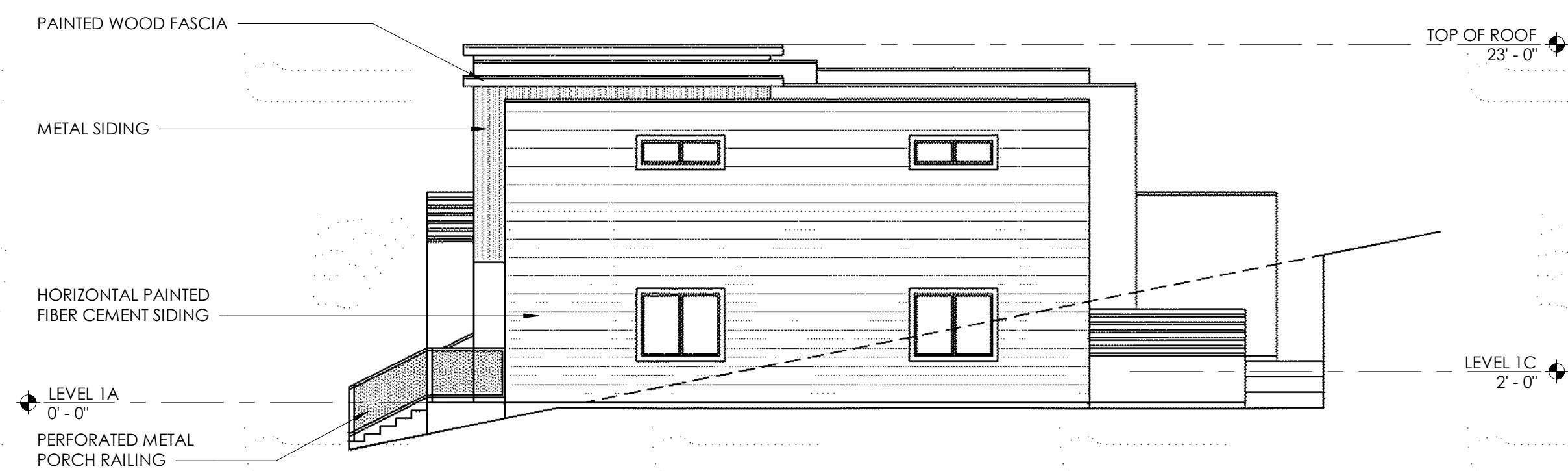
**A3.1**



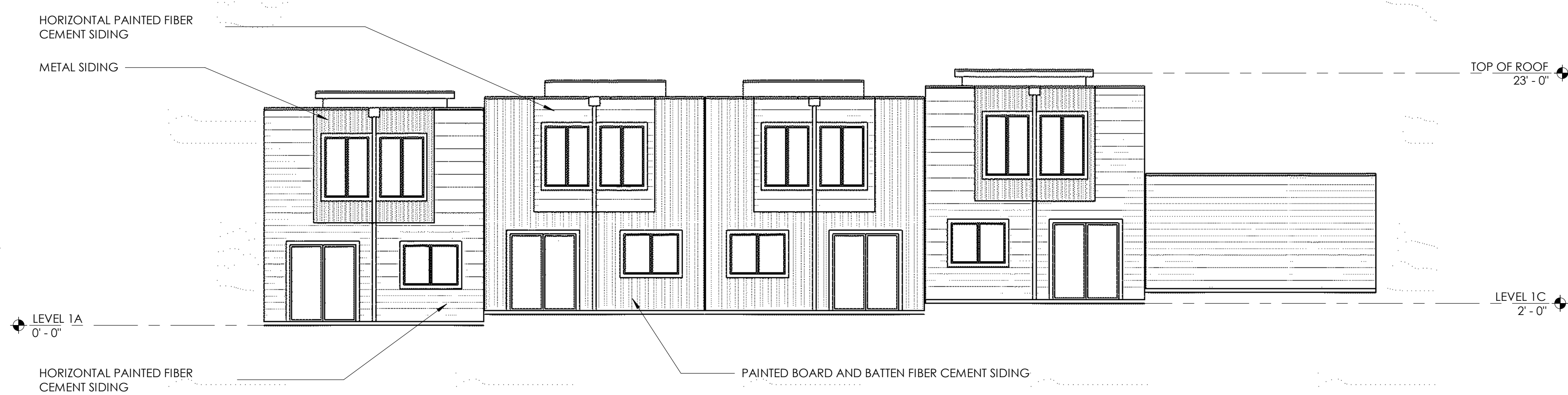
A1 NORTH BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



B1 WEST BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



C1 SOUTH BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



D1 EAST BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"

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B1 VIEW FROM NORTH MAIN STREET LOOKING EAST  
A3.2 N.T.S.

Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

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Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
SCHEMATIC RENDERINGS

SHEET NUMBER:

A3.2



D1 VIEW FROM NORTH MAIN STREET LOOKING SOUTHEAST  
A3.2 N.T.S.



D2 VIEW FROM NORTH MAIN STREET LOOKING NORTHEAST  
A3.2 N.T.S.

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DESIGN REVIEW RESUBMITTAL	TBD

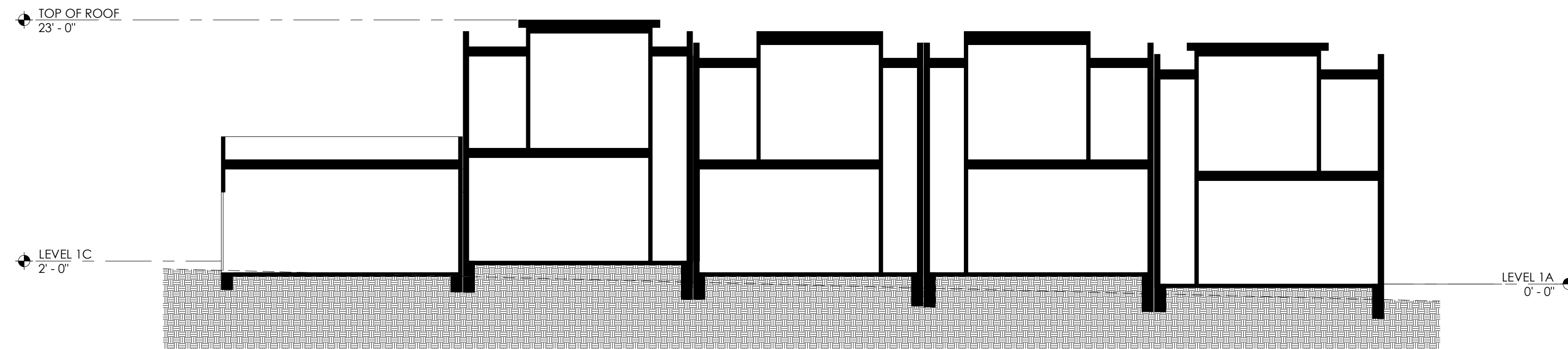
NOT FOR  
CONSTRUCTION

Project Number: 210401  
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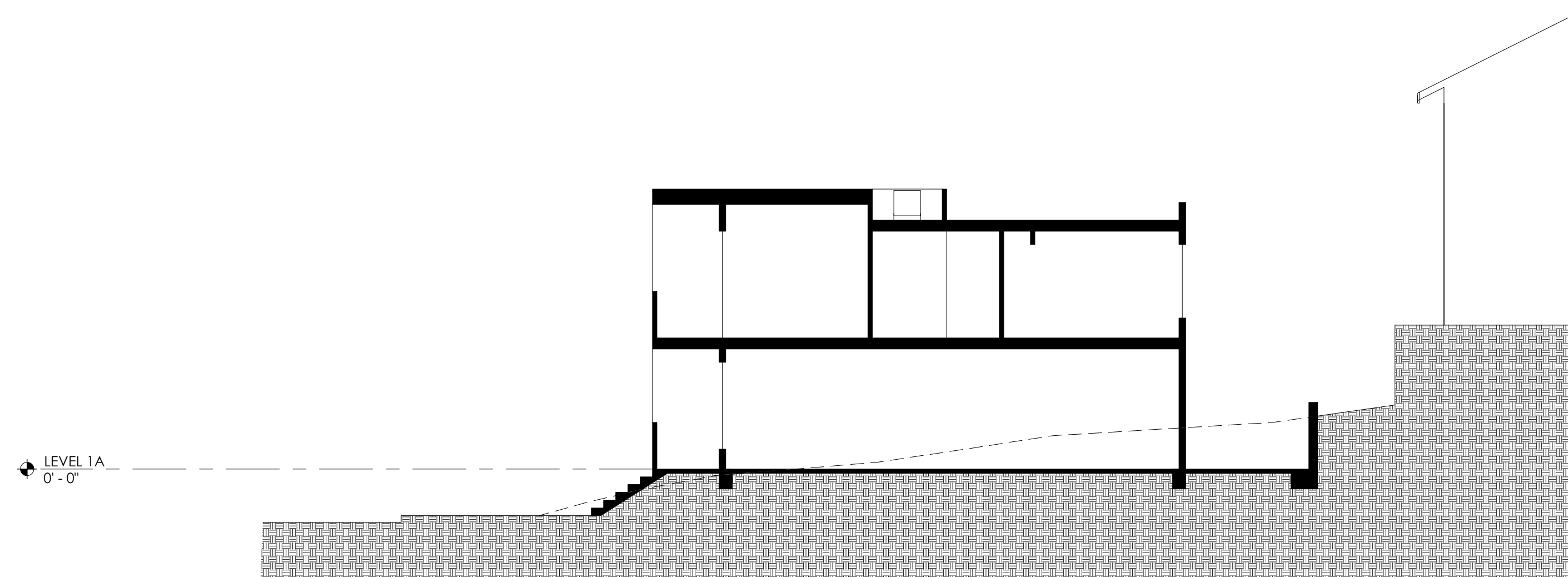
Sheet Title:  
**BUILDING  
SECTIONS**

SHEET NUMBER:

**A4.1**



B1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"



D1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"