



City of Sebastopol Planning Commission Staff Report

Meeting Date: June 14, 2022
Agenda Item: 6B
To: Planning Commission
From: John Jay, Associate Planner
Subject: Tentative Map, Conditional Use Permit, Environmental Review
Recommendation: Hold a Public Hearing and Adopt a Resolution recommending Council Approve with conditions

Applicant/Owner: Jeff Katz/Habitat for Humanity
File Number: 2022-006
Address: 333 North Main Street
CEQA Status: Exempt
General Plan: Central Core (CC)
Zoning: Downtown Core (CD)

Introduction:

The Habitat for Humanity group is proposing four townhomes that consist of three bedrooms, one car garages, and a roof top community garden. This project has had preliminary reviews with the Planning Commission on September 28, 2021 and with the Design Review Board on November 3, 2021. The applicant has taken in those comments and provided the current proposal.

Project Description:

This project proposes four, two story townhomes that consist of three bedrooms and a one car garage. Each townhome includes a private rear patio as well as partially covered front porches that face North Main Street. The project also includes a request for a Conditional Use Permit for residential only within a Commercial district, Tentative map, Parking reduction, Tree protection plan, and Design Review. The Design Review and Tree protection portions of the project will be reviewed in depth with the Design Review and Tree Board at a later date.

Project Location and Surrounding Land Uses:

The project is located at the north end of the city's Downtown Core district and is surrounded by Residential and Commercial uses. To the immediate north is Sebastopol Masonic building, to the east is the Cypress Hill Subdivision, to the west is the Safeway shopping center, and to the south is a residential home.

General Plan Consistency:

This project is consistent with the following General Plan policies as shown below.

- *Goal LU1 - Maintain Sebastopol as a unique, charming, and environmentally sensitive small town that provides residents, businesses, and visitors with opportunities to enjoy a high quality of life.*

- *Policy LU 1-2: Avoid urban sprawl by concentrating development within the City limits; favor infill development over annexation.*
- *Policy LU 5-5: Strongly encourage residential development in a balanced and efficient pattern that reduces sprawl, preserves open space, and creates convenient connections to other land uses.*
- *Policy LU 6-2: Promote compact urban form that provides residential opportunities in close proximity to jobs, services, and transit.*
- *Housing Element Policy C-3: The City will encourage long-term and permanent affordability of extremely low, very low, low, and moderate income and special needs housing.*
- *Housing Element Policy C-4: The City will encourage development of new housing to meet a range of income levels, including market-rate housing, and a variety of housing sizes and types.*
- *Housing Element Goal D-1: Promote Housing Affordability for both Renters and Homeowners*
- *Housing Element Policy D-5: The City will promote the ability for lower and moderate-income households to become homeowners.*

Zoning Ordinance Consistency:

The Downtown Commercial (CD) Zoning District is intended to create, preserve, and enhance the downtown area as the historic retail core of Sebastopol. This District provides for a range of uses, including office, retail, restaurant, service, and other commercial uses, while allowing for residential growth, including mixed-use and affordable housing development, with the intent of increasing the vibrancy of the City’s central downtown area, and it is noted that the CD District is not applied to the entire downtown

The applicant is requesting the Planning Commission grant a Use Permit to develop residential-only use in the CD District. Section 17.25.030(C)(3) of the Zoning Code says, “In nonresidential zoning districts, residential uses permitted in the R7 zone that are not part of a mixed-use project are allowed as a conditionally permitted use subject to the findings that the project will not create substantial adverse effects on commercial uses or street-front vitality and that the project will be compatible with nearby uses and development.”

The project would use additional street frontage parking along Main Street to satisfy the parking requirements. As the frontage along Main Street would supply for four parking spaces the remaining four parking spots needed to be in compliance would come from the four garage parking spaces on site this allowance of counting frontage parking is stated in Section 17.110.010(B)(1) of the Sebastopol Municipal Code (SMC).

Subdivision Ordinance Consistency:

The project is proposing to subdivide the parcel into four parcels, and will need to comply with the State Subdivision Map Act and the City’s Subdivision Ordinance, Section 16. The City Engineer has reviewed the provided tentative map and has no comments of concern.

Environmental Review:

The project is categorically exempt from the requirements of CEQA pursuant to Section 15303(b) which includes A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes,

and similar structures designed for no more than six dwelling units. The Habitat for Humanity four townhome units would be consistent with this exemption as it proposes four attached multi-family residential units and will not create any new environmental impacts as it will be in an already developed area.

City Departmental Comments:

The project was routed to the various City departments on January 24, 2022, and those conditions have been added to Exhibit B Conditions of Approval.

Required Findings:

Conditional Use Permit findings

- A. The proposed use is consistent with the General Plan and all applicable provisions of this title.

- B. The establishment, maintenance, and operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area of such use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Tentative Map findings

- A. That the proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, any applicable specific plan, and other applicable provisions of this code; and

- B. Except for condominium conversion projects where no new structures are added, that the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision, as described in the State Subdivision Map Act and any guidelines promulgated by the City Council.

Analysis:

FAR

The project area is 7286 sf, which includes an easement of 1292 sf. The Net area minus the easement area (which cannot be built upon), is 5994 sf. The project has a Floor Area Ratio of 0.89, however, the project has a 1.09 FAR, just above the minimum FAR for the Downtown Core district of 1.0, if the net lot area is used for this calculation. While there are not specific provisions in the FAR section of the code, Section 17.200.040 of the municipal code recognizes the impacts that easements can have on parcels to meet minimum standards such as density and FAR. This section states:

The minimum residential density may be calculated based on the net acreage (or area) of a parcel. Net area shall be calculated as the gross area of a lot minus: (A) any portion of the lot encumbered with a recorded access easement where that easement is for the use other than by the property owner (pedestrian, bicycle, or driveway easements); (B) public or private roadways dedicated as part of a subdivision approval; (C) recorded open space easements as part of the approval; and/or (D) biological, cultural, or open space resources and associated setbacks. Such a modification to the minimum residential density shall be reviewed and approved by the decision-making body

This provision was added to the Zoning Code by the current Planning Director just prior to adoption of the new Zoning Ordinance to account for such situations, and believes the FAR should be treated the same way. If the Commission concurs that with the Planning Director's Interpretation, that it would be consistent to calculate not only the density, but also the FAR on the net area minus any easements that do not allow for construction (such as this shared access way), then the project would comply with the FAR. If the Commission does not agree, the Applicant would need to apply for a Variance, and the Commission should provide guidance to staff on potential findings for a Variance, as staff believes the project could meet the criteria for the granting of a Variance.

Parking Requirements

As mentioned earlier in the report the project is required to provide 8 parking spaces, with the constraints of the parcel it a difficult task to provide those all on site. However, the SMC allows counting street frontage parking into the required parking spaces needed for a project. The frontage on Main Street is already stripped in a way that delineates four parking spaces and would not require any additional improvements done by the applicant.

Tree Removal Permit

There are several mature trees near the retaining wall along the south property line. It appears the trees are straddling the property line and will likely need to be removed. A tree removal permit will be required for any trees proposed to be removed. The tree removal permit application would be reviewed by the City's Arborist and would need to be approved by the Tree Board. The City's Arborist visited the project site on August 17, 2021 and a letter with her findings is attached.

Public Comment:

As prescribed by Section 17.460 of the Zoning Ordinance, the Planning Department completed the following: (1) Provided written notice to all property owners within 600 feet of the external boundaries of the subject property; (2) provided a written notice that was published in the Press Democrat; and (3) posted three written notices publicly on and within vicinity of the subject property.

No public comments have been received as of the writing of this staff report.

Recommendation:

If it is the consensus of the Planning Commission that the proposed use is compatible with the site and surrounding uses, staff recommends that the application be approved based on the facts, findings, and analysis set forth in this staff report and as found in Exhibit A - Recommended Findings of Approval, and subject to the Recommended Conditions of Approval found in Exhibit B, Standard Conditions of Approval in Exhibit C, and any additional or modified conditions the Planning Commission determines is appropriate.

Attachments:

Resolution
Exhibit A
Exhibit B
Exhibit C
Application

RESOLUTION NO. _____

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEBASTOPOL
RECOMMENDING ADOPTION OF AN EXEMPTION FROM THE CALIFORNIA
ENVIRONMENTAL QUALITY ACT (CEQA) AND RECOMMENDING THAT THE CITY COUNCIL
OF SEBASTOPOL APPROVE THE CONDITIONAL USE PERMIT FOR RESIDENTIAL ONLY IN A
COMMERCIAL ZONE; A TENTATIVE MAP FOR THE PROPERTY AT 333 NORTH MAIN STREET
(APN 004-670-022)

WHEREAS, an application for 1) a Conditional Use Permit to allow a residential only development in a Commercial District, 2) Tentative Map for a 4-Unit Townhome project know as Habitat for Humanity Townhomes, and 3) Environmental Review, was filed by Jeff Katz on January 24, 2022 which consists of subdividing a vacant 0.17 acre parcel (APN 004-670-022) into 4 lots to be developed into 4 townhome-style three bedroom units, landscaped areas, private rear yards, front porches, and 4 one car garages (the "Project"); and,

WHEREAS, the Project, as conditioned, is consistent with the Central Core Land Use designation of the General Plan and General Plan goals and policies, in that the Project is consistent with the General Plan as follows:

1. Goal LU1 - Maintain Sebastopol as a unique, charming, and environmentally sensitive small town that provides residents, businesses, and visitors with opportunities to enjoy a high quality of life, *by developing housing opportunities for four families in a townhouse format that fits within the town's character.*
2. Policy LU 1-2: Avoid urban sprawl by concentrating development within the City limits; favor infill development over annexation, *by developing a vacant site within city limits.*
3. Policy LU 5-5: Strongly encourage residential development in a balanced and efficient pattern that reduces sprawl, preserves open space, and creates convenient connections to other land uses, *by developing an existing vacant lot within the central core of the City.*
4. Policy LU 6-2: Promote compact urban form that provides residential opportunities in close proximity to jobs, services, and transit, *in that the projects proposed are townhouse development in the Downtown Core and nearby to employment opportunities, schools, retail, and along the City's main transit corridor.*
5. Policy C-3: The City will encourage long-term and permanent affordability of extremely low, very low, low, and moderate income and special needs housing, *by providing moderate home ownership opportunities. The project also provides affordable housing to a variety of families through the Habitat for Humanity program.*

6. Policy C-4: The City will encourage development of new housing to meet a range of income levels, including market-rate housing, and a variety of housing sizes and types, *by developing four townhome units within proximity to*
7. Goal D-1: Promote Housing Affordability for both Renters and Homeowners
8. Policy D-5: The City will promote the ability for lower and moderate-income households to become homeowners, *by the project also provides affordable housing to a variety of families through the Habitat for Humanity program.*

WHEREAS, the Project, with the approval of a Conditional Use Permit, would be consistent with the applicable provisions of SMC Chapter 17, including:

1. SMC 17.25.020, Allowed uses
Residential-only uses are allowed within a Commercial Zoning District with the approval of a Use Permit, and if the Findings can be made that it will not create adverse effects on commercial uses or street-front vitality and that the project will be compatible with nearby uses and development.
2. SMC 17.25.030, Development Standards
The Project meets the height, setbacks, minimum Floor Area Ratio (1.0), open space, and other provisions of the Downtown Zone and the R7 zoning district (as required for residential-only development).

WHEREAS, granting a Conditional Use Permit for the Project is appropriate as it complies with the Sebastopol Municipal Code (SMC) 17.415.030 as detailed below:

3. The proposed use is consistent with the General Plan and all other applicable provisions of SMC Chapter 17 as detailed in these Findings.
 - a. The project as proposed meets the height requirements in that 40ft is allowed and 23ft is proposed.
 - b. The project meets the setback requirements as followed
 - Required Front: 0' Proposed: 5'
 - Required Side: 0' Proposed: 5'
 - Required Rear: 5' Proposed: 16.5'
 - c. The project as proposed meets the FAR of downtown 1.0 when using the Net FAR of the site.
4. The establishment, maintenance, and operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area of such use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City as it complies as follows:
 - a. This project, as proposed, will not be detrimental to the health and safety of the community as it will increase the housing stock available to workers in the area, and will develop a vacant lot and provide housing to a variety of income levels.

- b. The Project meets this finding in that the site is at the end of the Downtown Core district and currently is a vacant lot. The lots behind this project are residential multifamily and the Masonic Lodge to the north and as proposed would be compatible with nearby uses. The Project would therefore not be detrimental to the viability of nearby businesses.
- c. The site would be difficult to develop as a commercial use due to the lot configuration and size, and potential for required parking.

WHEREAS, granting a Tentative Map for the Project is appropriate as it complies with SMC 16.28.070(A) in that:

1. The proposed subdivision, as conditioned, together with the provisions for its design and improvement, is consistent with the General Plan as detailed above, and will be consistent with applicable provisions of SMC Chapter 16 and the State Subdivision Map Act (SMA); and
2. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision, as described in the State Subdivision Map Act and any guidelines promulgated by the City Council.
3. As conditioned, the Project will comply with the California Green Building Standard Code (CalGreen) requirements for energy efficient buildings and appliances, including Tier 1 standards required by the City of Sebastopol (which are higher than the base State requirements for green design). CalGreen Standards require that buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant - emitting finish materials.

WHEREAS, the Project is exempt from the California Environmental Quality Act, under CEQA Guidelines, Section 15303(b) which exempts "A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for no more than six dwelling units." In that;

1. The Project consists of four townhome units on a vacant lot surrounded by developed properties in an urban setting. The Project would be consistent with this exemption as it proposes four attached multi-family residential units and will not create any new environmental impacts as it will be in an already developed area.

WHEREAS, the Planning Commission held a duly noticed preliminary public hearing on September 28, 2021 and provided comments to the applicant about parking concerns, accessory dwelling unit options, and grading requirements; and

WHEREAS, the Design Review Board held a duly noticed preliminary public hearing on November 3, 2021 and provided comments to the applicant on the design of the building, landscaping options, and tree protection options; and

WHEREAS, the Planning Commission held a duly noticed preliminary public hearing on June 14, 2022, heard a staff report, received public testimony, and considered applications for a Conditional Use Permit, Tentative Map, and Environmental Review.

NOW, THEREFORE BE IT RESOLVE THAT, the Planning Commission of the City of Sebastopol, California, does hereby recommend the City Council find the Project exempt from the California Environmental Quality Act (CEQA), under CEQA Guidelines, Section 15303(b) which exempts "A duplex or similar multi-family residential structure, totaling no more than four dwelling units."

NOW, THEREFORE, BE IT FUTHER RESOLVED THAT, The Planning Commission of the City of Sebastopol, California, does hereby recommend approval, based on the findings above and subject to the Specific Conditions of Approval in Exhibit B and Standard Conditions of Approval in Exhibit C:

1. A Conditional Use Permit to permit residential only in a CD district;
2. A Tentative Map, included in Exhibit A, to subdivide a vacant 0.17-acre parcel into 4 lots, to be developed with 4 townhome-style studio units, landscaped areas, and parking.

The above and foregoing Resolution was duly passed, approved and adopted at a meeting by the Planning Commission on the 14th day of June, 2022, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

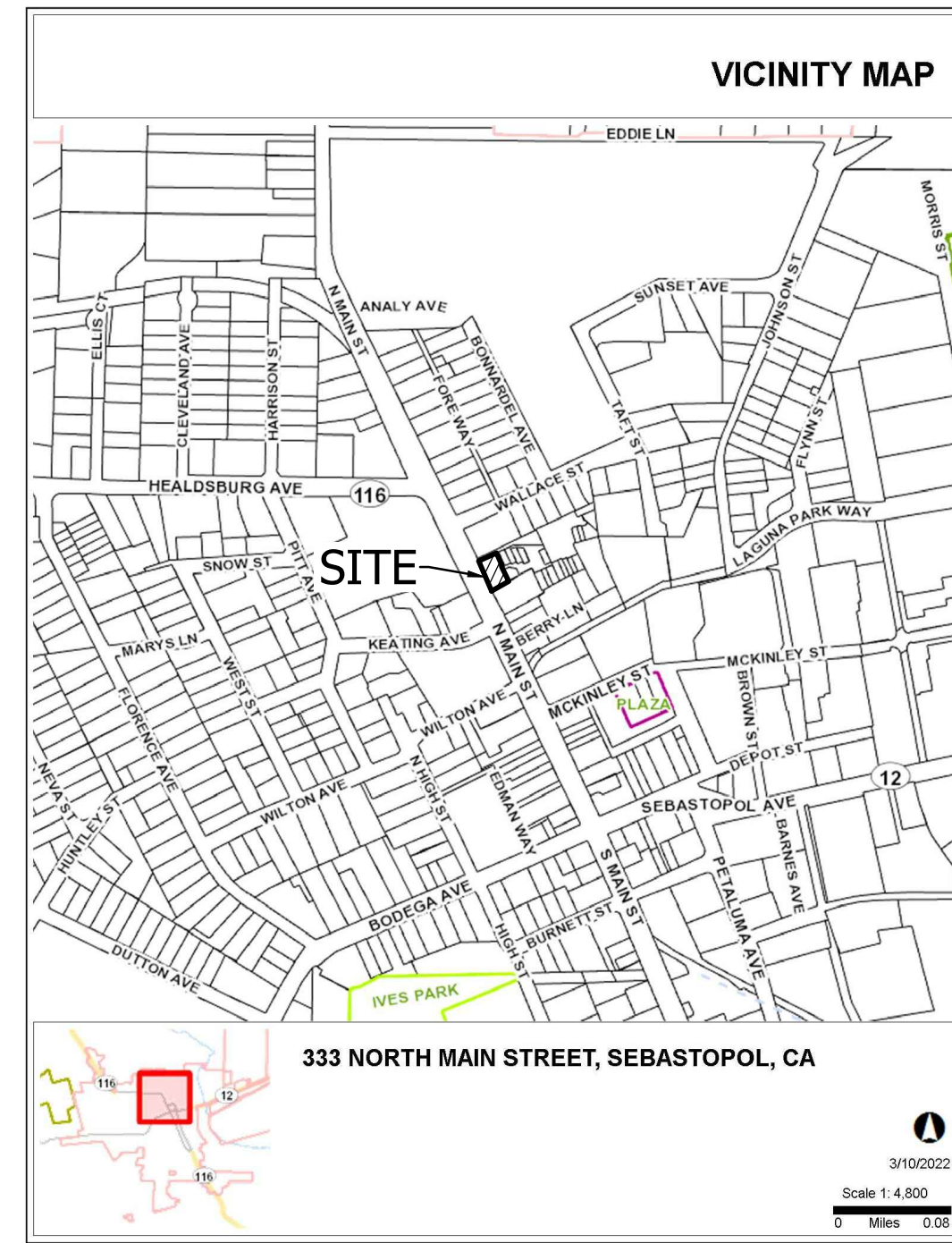
Certified: _____

Kari Svanstrom, Planning Director

PROJECT INFORMATION

PROJECT ADDRESS: 333 N MAIN STREET SEBASTOPOL, CA
 PROJECT APN: 004-670-022
 OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY C/O JEFF KATZ 200 E STREET, SANTA ROSA, CA, 95404
 CIVIL ENGINEER: THOMAS J. BILLETTER, P.E. BC ENGINEERING GROUP, INC. 418 B STREET, THIRD FLOOR SANTA ROSA, CA 95401 (707) 542-4321
 SURVEYOR: RAY CARLSON AND ASSOCIATES, INC. 411 RUSSELL AVENUE SANTA ROSA, CA 95403 (707) 528-7649
 AREA: 0.17 ACRES
 ZONING: CD (DOWNTOWN CORE)
 SEWAGE DISPOSAL: CITY OF SEBASTOPOL
 WATER SUPPLY: CITY OF SEBASTOPOL
 LAND USE: VACANT COMMERCIAL LND W/UTIL (CENTRAL CORE)
 FIRE DISTRICT: SEBASTOPOL FIRE DEPARTMENT
 FIRE PROTECTION RESPONSE AREA: CITY OF SEBASTOPOL

**TENTATIVE MAP DRAWING FOR
 HABITAT FOR HUMANITY SONOMA COUNTY
 333 NORTH MAIN STREET
 SEBASTOPOL, CA 95472
 APN: 004-670-022**



ABBREVIATIONS

- AD AREA DRAIN
- APN ASSESSOR'S PARCEL NUMBER
- CB CATCH BASIN
- CL CENTERLINE
- CY CUBIC YARD
- DI DROP INLET
- EG EXISTING GROUND
- EX or (E) EXISTING
- FD FLOOR DRAIN
- FG FINISH GRADE
- FL FLOWLINE
- FS FINISHED SURFACE
- FT FOOT / FEET
- GB GRADE BREAK
- GR GRATE
- HP HIGH POINT
- IG INVERT GRADE
- IN INCH
- INV INVERT
- L LENGTH
- LF LINEAL FOOT/FEET
- MAX MAXIMUM
- ME MATCH EXISTING
- MIN MINIMUM
- (N) NEW
- NTS NOT TO SCALE
- PL PROPERTY LINE
- s SLOPE
- SF SQUARE FEET
- TB TOP OF BANK
- TYP TYPICAL
- YD, YDS YARD, YARDS

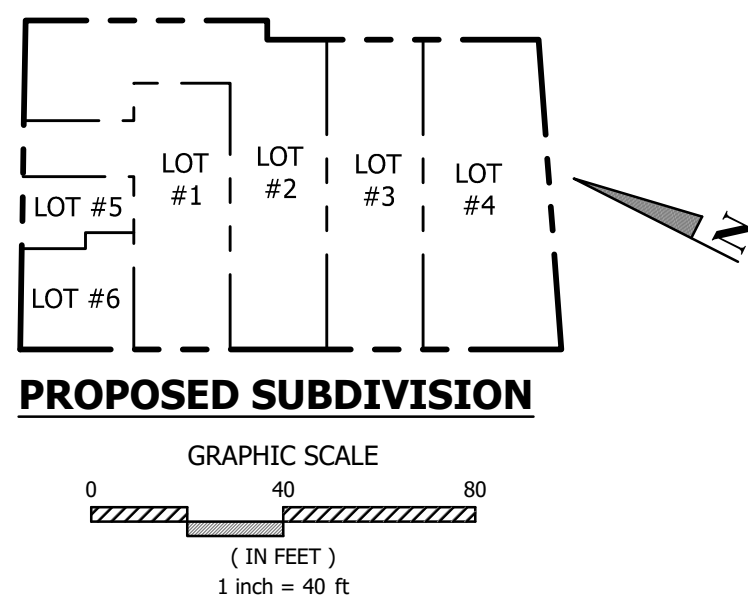
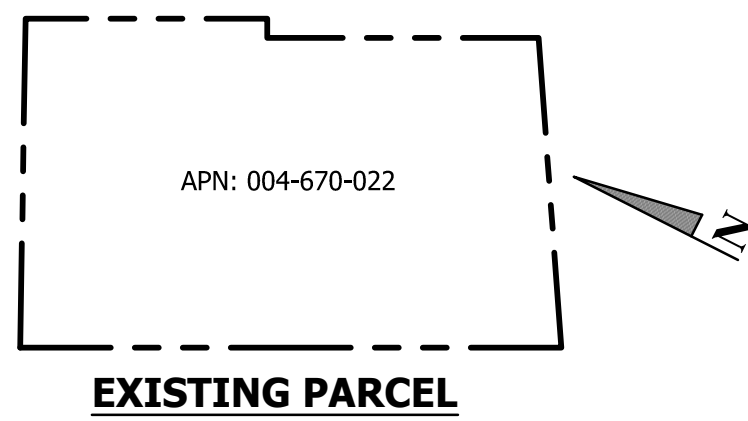
LINETYPE LEGEND

- EXISTING STORMWATER PIPE
- PROPERTY LINE
- PROPOSED FLOWLINE
- PROPOSED RETAINING WALL
- PROPOSED STORMWATER PIPE

HATCH LEGEND

- CONCRETE
- ASPHALT
- DECK

VICINITY MAP
NTS



TENTATIVE MAP
SCALE: 1"=10'

NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DATE

BC ENGINEERING GROUP, INC.
 CIVIL ENGINEERING & LAND PLANNING
 www.bcegroup.com
 Phone: 707.542.4321
 SANTA ROSA OFFICE:
 418 B Street, Third Floor, Santa Rosa CA 95401
 UKIAH OFFICE:
 603 S. State Street, Ukiah CA 95422



HABITAT FOR HUMANITY SONOMA COUNTY
 TENTATIVE MAP
 C/O JEFF KATZ
 333 NORTH MAIN STREET
 SEBASTOPOL, CA 95472

PRELIMINARY

Date: 3/11/2022
 Job: 2157-21
 Drawn: TSL
 Scale: AS SHOWN
 APN: 004-670-022
 Permit #:
 Sheet: **C1.0**
 1 of 1

3/11/2022 3:21 PM S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Tentative Map.dwg Plotted by: Trevor

EXHIBIT B
RECOMMENDED CONDITIONS OF APPROVAL

Habitat For Humanity
333 North Main Street
APN 004-670-022, File 2022-006

Planning Department:

1. Plans and elevations shall be in substantial conformance with plans prepared by Jeff Katz, Architect, stamped received on March 10, 2022, and on file at the City of Sebastopol Planning Department, except as modified
2. All construction shall conform to the approved plans, unless the design is modified by the Design Review Board. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
3. This approval does not include any signs. Any new signs that will identify the use of this property are subject to the prior approval of the Design Review Board or City staff, as appropriate.
4. The Use Permit and Tentative Map shall be in effect unless it is abandoned or closed for 12 months or longer.

Building Department:

5. The Planning Conditions of Approval shall be printed on plan sheets in the plan set.
6. The project shall comply with the City's Row Housing Policy.
7. A geotechnical report is required for this project.
8. The project is required to comply with CalGreen and the Tier 1 level excluding Division A4.2 Energy Efficiency, as adopted and amended by the City. The worksheets can be located on the City's website on the Building Department page. The worksheets are to be printed on the plan sheets in the plan set.
9. The project is required to comply with the City's Mandatory Photovoltaic System Requirements.
10. A Boundary and Topographic Survey prepared by a licensed land surveyor or civil engineer shall be provided with the building permit application.
11. Before approval of the foundation inspection: A licensed Land Surveyor or Civil Engineer with proper certification shall conduct a survey of all property lines and install property line markers that can be readily verified by Building Inspection staff to verify setbacks and submit a written (stamped) confirmation to the Building Department that the staking of the property lines has been completed.
12. Before approval of the foundation inspection: The project Geotechnical Engineer shall inspect all foundation, excavations and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

13. Before approval of the foundation inspection: The project structural Engineer, Architect, or Special Inspector shall inspect all foundation reinforcing and related hardware and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.
14. Before approval of the framing inspection: The project structural Engineer, Architect, or Special Inspector shall inspect all lateral force resisting elements of the structure and submit a written (stamped) verification that all is in conformance with the approved Construction Documents.

Fire Department:

15. Automatic Fire Sprinklers Suppression System.
 - a. Audible Fire Bell.
 - b. Sprinkler Backflow Preventer.

Public Works Department:

16. Shall have a Passive Purge fire sprinkler system or a Reduced Pressure backflow device on each water service connection.

Engineering Department:

Tentative Map – Conditions of Approval

In addition to the Engineering and Public Works Department Standard Conditions of Approval the following conditions of approval shall also apply:

Final Map

17. Applicable engineering map review fees will be due and payable at the time of initial submittal of the final map. Except as otherwise stated in these conditions of approval, other Public Works' fees and deposits, including but not limited to engineering plan review, construction inspection and impact fees, will be due and payable at the time of subsequent plan reviews and/or permit issuance.
18. A Final Map prepared by a licensed land surveyor or civil engineer in accordance with the Subdivision Map Act, the approved Tentative Map, and these conditions of approval, shall be submitted to the City Engineer for review.
19. All property corners for each lot shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into ground, except as otherwise expressly permitted in writing by the City Engineer.
20. Complete the required subdivision improvements prior to recordation of the map or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Final Map, agreeing to complete the required subdivision improvements within 24 months after the filing of the map. The Improvement Agreement shall be recorded with the map.

21. Transmit by certified mail a copy of the conditionally approved Tentative Map together with a copy of Section 66436 of the State Subdivision Map Act to each public entity or public utility that is an easement holder of record. Written compliance shall be submitted to the City of Sebastopol.
22. Execute a covenant running with the land on behalf of applicant and its successors, heirs, and assigns agreeing to annex this subdivision into the existing City of Sebastopol Lighting Assessment District.
23. Prepare and submit CC&Rs for the project providing for the maintenance of the private facilities, including, but not limited to, the retaining wall, drainage improvements, and driveway.
24. Private drainage easements over portions of Lots 2, 3 & 4, in favor of respective upstream lot(s) that drain through respective downstream lot(s) shall be established on the Final Map.
25. Provide a copy of existing "Joint Access Easement Maintenance Agreement" (hereafter "existing JMA") recorded February 13, 1991, Document No. 91-12260, Sonoma County Recorder's Office, confirming that existing JMA extends to proposed new lots to be established by the Final Map. If existing JMA does not extend to said proposed new lots, a new Joint Access Easement Maintenance Agreement (hereafter "new JMA") between all existing users and Applicant on behalf of and its successors, heirs, and assigns shall be established by separate instrument and recorded against each benefitting property including the new lots. The new JMA shall specify and allocate rights, duties and obligations for maintenance of the private access easement.

Improvement Plans

26. Improvement Plans prepared by a Registered Civil Engineer shall be submitted for the review and approval of the City Engineer showing all proposed grading, paving, utilities and drainage improvements. Improvements plans shall include but not be limited to street and utility information, all concrete curbs, gutters, sidewalk, walkways, storm drain system, striping and signing, paving, water lines and sewer lines, erosion and sediment control, Storm Water Pollution Prevention Plan, and any necessary transitions for the portion of the public street fronting the project, if applicable. All improvements shall be designed in accordance with the City of Sebastopol Standard Details and Specifications.
27. Improvement Plans for proposed work in State right of way shall also be submitted to Caltrans for Encroachment Permit review. Prior to the City approving Improvement Plans a Caltrans Encroachment Permit for the proposed work within the State right of way shall first be obtained and a copy shall be provided to the City.
28. A City of Sebastopol encroachment permit for work on City utilities including water supply and sanitary sewer connections.
29. Applicant shall submit to the City Engineer for review and approval, a grading plan conforming to Sebastopol Standard Details and Specifications prepared by a Registered Civil Engineer, obtain a Grading Permit, and shall post sufficient surety guaranteeing completion.

EXHIBIT C
RECOMMENDED STANDARD CONDITIONS OF APPROVAL

Habitat For Humanity
333 North Main Street
APN 004-670-022, File 2022-006

1. All plans shall include a brief description of the project on the cover sheet.
2. All submitted building permit plan check sets shall include a plan sheet incorporating these conditions of approval.
3. Except as otherwise noted in these conditions of approval, the plans submitted to the Building Department for plan check shall be in substantial conformance to those approved by the review body. If any changes are made to submitted plans which were approved by the review body the applicant shall work with the Planning Department to determine if the changes are significant enough to once again be seen by the review body, or if staff can approve the changes. Any changes that have not been approved by Planning staff are not approved. Construction or demolition work that does not conform to the Planning approval is not valid and shall be subject to stop work orders and may require removal.
4. Site landscaping shall be generally consistent with the Landscape Plan included as part of "Exhibit A" on file with the Sebastopol Planning Department. The final landscape plan shall be stamped by a licensed landscape architect and filed with the Planning Department prior to occupancy. Plans for any irrigation of the site shall be incorporated into the landscape plan. All planting shown on the approved plan shall be installed prior to occupancy of the proposed project. Upon the request of an Applicant to receive a Temporary Certificate of Occupancy and at discretion of the Planning Director, landscape installation may be suitably guaranteed by posting a cash bond equal to 100% of the cost and installation of any landscape improvements.
5. Acceptance of the construction drawings and specifications does not release the applicant and owner from correction of mistakes, errors, or omissions contained therein. If, during the course of construction, the field conditions or other previously unknown conditions require a modification or a departure from the accepted plans, the applicant shall provide the modifications or departure and specify the correction of mistakes errors, or omissions in compliance with the CBC and City Standards.
6. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
7. A Construction Management Plan (CMP) shall be submitted to the City as part of the Building Permit and/or Grading Permit and shall be incorporated into the plans, unless waived by staff. The City's CMP template, provided by the Planning Department, may be used for small, infill projects. Revisions to the CMP to increase or add on time to the construction timeline shall be coordinated with the Building Official and any additional requests will be at the applicant's responsibility.

This CMP shall be a binding document. Failure to adhere to the CMP may result in a

“Stop Work Notice” being placed on the project. An electronic copy of the APPROVED CMP shall be submitted to the City, and may be posted to the city’s website. The CMP shall be updated as project conditions warrant. Updates to the CMP shall be provided to the City for review and approval. The CMP shall include but not be limited to:

- a) Work schedule (start of construction date, road or lane closure intent/dates, important milestones and proposed final dates)
- b) Construction Hours
- c) Travel routes and turn-around locations with staff approval
 - Impact to state highways
- d) Road and/or lane closures (Applicant to provide information on how many anticipated road closures, and the reasons for each road closure).
- e) Worker auto parking space locations/construction parking
- f) Phasing (if applicable)
- g) If construction improvements are located in areas of slopes 15% or greater, the Contractor shall provide safe temporary hard surface stair access to the improvements, unless waived by the Building Official. This access shall be shown on the CMP.
- h) Projects that require a grading permit shall comply with the City’s grading ordinance.

The CMP may be more stringent if the project is located close to schools or in impacted neighborhoods. A CMP may be required to be modified if a neighborhood becomes “impacted” during the course of the construction. Impacted neighborhoods are defined as areas in geographic proximity (i.e. using the same streets for access) with a significant number of simultaneous construction projects.

The hours of construction activity shall be limited 7:00 a.m. to 8:00 p.m., Monday through Friday, 8:00 a.m. to 5:00 p.m. on Saturdays with staff approval, depending on scope of work being done, or unless modified by a project’s Specific Conditions of Approval.

A 24-inch by 36-inch weatherproof copy with items A-F posted on site. The remaining Construction Management Plan shall be made available on site. The Construction Management Plan shall be posted on the site as part of the job site signage and should include:

- a) Address of the project site.
 - b) Permitted hours of construction and of deliveries/off-haul.
 - c) Name, e-mail address and direct phone number of the General Contractor.
 - d) Name, e-mail address and direct phone number of the person responsible for managing the project.
 - e) Name and direct phone number of the party to call in case of an emergency.
 - f) City of Sebastopol Building Department (707-823-8597).
8. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Public Works Department prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way. The fee for using the right-of-way for storage of construction materials or equipment is \$10.00 per day. A minimum of 11’ passable auto traffic clearance (paved travel way) shall be maintained at all times along the roadway. The placing of portable restroom facilities in the City right-of-way will not be permitted.

9. All portions of the job site shall be maintained in an organized and professional condition. All trash, debris, construction scraps and broken/deteriorated machinery shall be removed from the site by the end of each week. If off loaded construction materials are not used within 2 weeks, they shall be screened from public view. All sidewalks, driveways and public/private roadways fronting the subject site shall be broom cleaned at the end of each business day.
10. A pre-construction meeting is required with city staff for projects that:
 - a) Require a City encroachment permit, a Caltrans encroachment permit, or a City grading permit; or
 - b) Have 5 dwelling units or more; or
 - c) Have a total of 5,000 square feet of building or more; or
 - d) Have a creek setback requirement; or
 - e) Are required to have a pre-construction meeting under a specific condition of approval.
11. All permits and/or inspection fees required shall be paid in full prior to final occupancy being granted unless otherwise stipulated by the City.
12. All required construction signage and any required tree-protection shall be posted and available for City inspection at the time of the Pre-construction meeting or, if no pre-construction meeting is required, prior to commencing construction. If these measures are not in place at the time of the pre-construction meeting, a re- inspection fee will be required, and issuance of building permit will be delayed.
13. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.

Planning Department Standard Conditions of Approval:

14. This approval is valid for a period of three (3) years during which time the rights granted must be exercised. However, the applicant may request one (1) one-year extension of this Use Permit from the Planning Director, pursuant to Zoning Ordinance §17.400.100.
15. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Cut sheets for all exterior lighting shall be submitted as part of the Design Review or other planning application.
16. For projects with new foundations or retaining walls less than 10' away from a required setback property lines shall be physically identified (string line or equal), and the applicant shall submit a letter or certificate from a licensed surveyor that confirms that the structure complies with the approved setbacks prior to placing the foundation. For any project that includes new foundations or retaining walls more than 10' away from a required setback, the applicant may apply for a waiver from this requirement from the City Engineer and Planning Department.
17. For any project that includes new structures within 2 feet of the allowed height limit, a letter or certificate from a surveyor confirming that the height of the roof complies with the approved plans shall be submitted to the Planning Department at the earliest point possible.

18. All landscape and irrigation plans must be designed in accordance with the most current City of Sebastopol landscape requirements. Prior to providing water service for new landscape areas, or improved or modified landscape areas, the Planning Department must review and approve the project's working drawings for planting and irrigation systems. Any question regarding the City of Sebastopol current water conservation and Landscape Ordinance should be directed to the Planning Department.

New construction and rehabilitated (renovations or changes made to sites with an existing irrigation system) landscape projects will be affected by these requirements if the altered landscape area is greater than 500 square feet.

19. For any new housing unit development, the developer/owner shall submit the total amount of fees and exactions associated with the project prior to issuance of certificate of occupancy or final inspection.

Engineering and Public Works Department Standard Conditions of Approval:

20. All projects are subject to Impact Fees as adopted by the City Council, which are due at the time of issuance of the Building Permit unless otherwise stipulated by the City.
21. An Encroachment Permit is required from the Public Works Department for any and all work within the public right-of-way. If the work is within a CalTrans right-of-way, an Encroachment Permit from CalTrans shall also be procured by the applicant. Encroachment Permit shall not be issued until the City Engineer approves the applicant's site improvement plans.
22. Construction within the public right-of-way is limited to that necessary to support the lot's use. This may include but is not limited to: driveways, sidewalks and any utility connections. For all improvements within the public right of way, the applicant shall submit plans to adequately describe the work. Plans shall include but not be limited to drainage details, cross-sections, driveway/roadway grades and utility locations as necessary.
23. The applicant shall prepare and submit site improvement plans for the construction of all improvements including water, sanitary sewer, storm drain, water quality facilities, roadway improvements, curbs, gutters, sidewalks, elevated or structural pedestrian walkways, landscaping, landscape irrigation, signing, striping, joint trench and streetlights. All design and construction shall conform to the latest edition of the City of Sebastopol Design and Construction Standards and other applicable codes, standards, guidelines and specifications. Public improvement drawings shall be drafted in the City-approved sheet format.
24. Once approved by the City Engineer, the applicant shall submit PDF files of the signed improvement plans. As-Built record drawings shall also be submitted as PDF files.
25. Deviations from City Standards and applicable Code requirements shall be approved by the City Engineer. The applicant's engineer shall request all design exceptions in writing.
26. Any improvements, public or private, damaged during construction shall be replaced,

by the applicant, in-kind or with new improvements. All cracked, broken, or uplifted sidewalk, driveway and/or curb and gutter fronting the property shall be replaced. Applicant shall coordinate with the Public Works Department prior to the first submittal of project improvement plans to identify the extents and limits of replacement.

27. An erosion and sediment control plan are required as part of the building permit application. The plan shall be prepared by a certified erosion control specialist and in full compliance with CASQA standards, The plan is subject to review and approval by the Engineering Department prior to the issuance of the building or grading permit. No modifications to the approved plans shall be made without approval of the City Engineer.
28. Mailbox plans and locations shall be approved by the Sebastopol Postmaster prior to improvement plan approval. The developer shall provide a letter and exhibit showing mailbox locations from the Sebastopol Postmaster approving mailbox locations.
29. City Public Water and Sewer and Drainage utility easements as required by the City Engineer utility companies shall be provided within the development. Easement locations shall be subject to review and approval by the City Engineer.

Roadway Improvements:

30. The improvement plans for the first phase of development shall include and provide for the construction of all offsite improvements as required to support full project build-out. Each subsequent phase of development shall construct sufficient onsite roadway and utility improvements to support the cumulative development proposed to be constructed as approved by the City Engineer.
31. Road closures, if permitted by the Project Approval, will only be permitted with prior authorization from the Public Works Department consistent with the City's road closure policy. Signs containing details of the proposed closure must be posted 48 hours in advance. Coordinate road closures with the Sebastopol Public Works Department. Contact the Public Works Department at 707-823-5331 to obtain a road closure permit.
32. An emergency vehicle access, meeting the requirements of the Sebastopol Fire Department shall be constructed.
33. All private driveway areas less than 24-foot wide shall require the approval of the Sebastopol Fire Department.
34. Sidewalk warps shall be provided to allow a clear five-foot walkway at all locations, including areas where mailboxes, street furniture, streetlights, street signs and fire hydrants are to be installed, or as otherwise approved by the City Engineer.
35. The structural section of all public road improvements shall be designed using a soil investigation which provides the basement soils R-value and expansion pressure test results. A copy of Geotechnical report and structural section calculations shall be submitted with the first improvement plan check.
36. The structural section of the private on-site drive aisles and parking areas shall meet the requirements and recommendations of the geotechnical report for the project.
37. Retaining walls and retaining curbs may be required to protect damage to trees as determined by a licensed Arborist. All retaining structures shall be designed and

constructed to minimize damage to trees.

38. Pedestrian curb ramps, meeting City standards and current accessibility requirements, shall be provided at all intersections and crosswalks where sidewalks are proposed.

Drainage Improvements:

39. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed by a Civil Engineer registered in the State of California in accordance with the Sonoma County Water Agency's Flood Management Design Manual (FMDM). Public and private drainage improvements shall be shown on the improvement plans and the City Engineer may require the applicant to acquire the review and recommendations by the Sonoma County Water Agency (Sonoma Water) prior to approval by the City Engineer. Private storm drain easements will be required for any portions of the private storm drain not entirely located with the lot being served or for any portion of a private utility located on an adjacent parcel.
40. No lot-to-lot drainage will be allowed between the project site and any adjacent parcels. No concentrated drainage may discharge across sidewalks. All site drains must be connected to the public storm drain system or discharged through the face of curb or to an established waterway.
41. Plans and certifications shall demonstrate compliance of all improvements, including building finished floor elevations, with the City's Flood Ordinance, to the satisfaction of the Building Official and City Engineer. Building finished floor elevations shall be constructed at a minimum of 2 foot above the 100-year storm event water surface elevation as determined by the City and certified by the project engineer. The Engineer of Record shall provide a signed and stamped letter indicating the project meets the requirements of the Ordinance before plan approval.

Stormwater Quality:

42. Projects that create or replace 10,000 square feet or more of impervious surface area are subject to design and construction requirements of the most recent edition of City of Sebastopol Low Impact Development (LID) Technical Design Manual. Improvement plans with required LID design features shall be approved by the City Engineer.
43. Projects that will disturb 1.0 acre or more of developed or undeveloped land shall provide evidence that a Notice of Intent (NOI) has been submitted by the applicant and received by the State Water Resources Control Board for a General Construction Activity Storm Water Permit. Two copies of the project Storm Water Pollution Protection Plan (SWPPP) shall be provided to the City prior to issuing a grading permit, encroachment permit, or building permit.
44. For required LID features constructed on private property or on street frontage, the owner shall provide a Declaration Letter to the City Manager regarding the owner's commitment to ongoing maintenance of said LID features (LID Declaration) prior to occupancy.

Grading:

45. The improvement plans shall include a site-grading plan prepared by a Civil Engineer registered in the State of California as part of the required improvement drawings. Lots shall be generally designed to drain to public and private streets or parking areas, unless otherwise approved in the interest of tree preservation or other unusual circumstances.
46. The City of Sebastopol shall require a grading permit for projects that meet these requirements.
 - a) Cut or fill exceeding 50 cubic yards
 - b) Cut or fill greater than 3 feet in depth
 - c) Cut creating a cut slope greater than 5 feet in height and steeper than 2 units horizontal to 1 unit vertical
 - d) Fill intended to support a structure or surcharge greater than 1 foot in depth or placed on terrain with a natural slope steeper than 15 percent
47. When required by the Building Official the applicant shall submit to the City for review and approval, a detailed Geotechnical Report prepared by a Geotechnical Engineer registered in the State of California. The grading plan shall incorporate the recommendations of the approved Geotechnical Report.
48. Where soil or geologic conditions encountered during grading operations are different from those anticipated in the Geotechnical Report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
49. Existing wells, septic tanks and/or underground fuel storage tanks that are defective or will no longer be in use shall be permanently destroyed or removed under permit and inspection by the Sonoma County Permit and Resource Management Department, Well and Septic Division and/or Sonoma County Environmental Health or other designated agency. Underground fuel storage tanks are subject to UST regulations of the State Water Resources Control Board.
50. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved. Should monuments be damaged or destroyed during construction, they shall be replaced by the developer.
51. Improvements plans shall include an erosion control (winterization) plan. The plan shall include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed.
52. Sewer services and laterals shall be CCTV inspected to determine if the service needs to be removed and replaced. A copy of the CCTV report shall be provided to the City Engineer. A waiver for CCTV inspection may be waived by the City Engineer, if the sewer lateral has been replaced within ten years of the submittal of the improvement plans. A copy of the documentation evidencing such replacement shall be included in the submittal package.
53. If the proposed project is located in or adjacent to a waterway, within an area

designated as habitat for threatened or endangered species, or other special status area, it possibly falls under the jurisdiction of another agency such as the United States Army Corps of Engineers, the California Regional Water Quality Control, or the California Department of Fish & Wildlife, U. S. Fish & Wildlife Service, etc. These agencies shall be contacted to determine if the project lies within their respective jurisdictions. All necessary permits and/or approvals shall be obtained prior to the City issuing any permits. If permits are not required, a letter stating so shall be submitted to the City as part of the record.

54. Trees and vegetation shall be trimmed according to Section 8.12 of the Sebastopol Municipal Code. Trees and shrubs shall be kept trimmed so that the lowest branches projecting over public properties provide a clearance of not less than eight (8) feet over sidewalks and not less than twelve (12) feet over streets.

Fire Department. Standard Conditions of Approval:

55. The address shall be posted in accordance with requirements of the California Building Code and California Fire Code. The Fire Chief shall review and approve all requests for new addresses. Inspection and signoff of address posting shall be coordinated through Building Department.
56. Smoke and CO detectors shall be installed in accordance with the California Building Code. Final inspection and signoff of smoke detectors shall be coordinated through Building Department.
57. Noncombustible roofing shall be provided for:
 - a. All new roofs shall be non-combustible.
 - b. Roof Repairs or replacement:
 - i. Less than 25% - no requirement
 - ii. 25Hr to 50% - Class C minimum
 - iii. 50% or more — Non-Combustible
 - c. In no case shall the roofing material used to be less fire resistive than the existing roof.

NOTE: A "noncombustible" roof is a Class A roof (for other than Group R Occupancies, a Class A or Class A assembly) as defined in the California Building Code and approved by the Building Department.

58. Prior to occupancy, a spark arrester shall be installed on the chimney(s) 3/8" mesh minimum.

Building Department Standard Conditions of Approval:

59. All construction shall comply with all applicable Title 24 Codes in effect at the time of building permit submittal. It is the responsibility of the designer(s) to ensure that all applicable Title 24 codes, as well as any applicable Sebastopol Municipal Codes are incorporated into the design.
60. The project shall comply with the Green Building regulations contained in the Sebastopol Municipal Code that are in effect at the time of building permit submittal.

END OF STANDARD CONDITIONS OF APPROVAL



City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167

**MASTER PLANNING
APPLICATION FORM**

APPLICATION TYPE

- | | | |
|--|---|---|
| <input type="checkbox"/> Administrative Permit Review | <input type="checkbox"/> Lot Line Adjustment/Merger | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Alcohol Use Permit/ABC Transfer | <input type="checkbox"/> Preapplication Conference | <input type="checkbox"/> Tree Removal Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Review | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Sign Permit | <input type="checkbox"/> Other _____ |

This application includes the checklist(s) or supplement form(s) for the type of permit requested: Yes No

REVIEW/HEARING BODIES

- Staff/Admin Design Review/Tree Board Planning Commission City Council Other _____

APPLICATION FOR

Street Address: _____ Assessor's Parcel No(s): _____

Present Use of Property: _____ Zoning/General Plan Designation: _____

APPLICANT INFORMATION

Property Owner Name: _____

Mailing Address: _____ Phone: _____

City/State/ZIP: _____ Email: _____

Signature: _____ Date: _____

Authorized Agent/Applicant Name: _____

Mailing Address: _____ Phone: _____

City/State/ZIP: _____ Email: _____

Signature: _____ Date: _____

Contact Name (If different from above): _____ Phone/Email: _____

PROJECT DESCRIPTION AND PERMITS REQUESTED (ATTACH ADDITIONAL PAGES IF NECESSARY)

CITY USE ONLY

Fill out upon receipt:		Action:	Action Date:
Application Date:	_____	Staff/Admin:	Date: _____
Planning File #:	_____	Planning Director:	Date: _____
Received By:	_____	Design Review/Tree Board:	Date: _____
Fee(s):	\$ _____	Planning Commission:	Date: _____
Completeness Date:	_____	City Council:	Date: _____

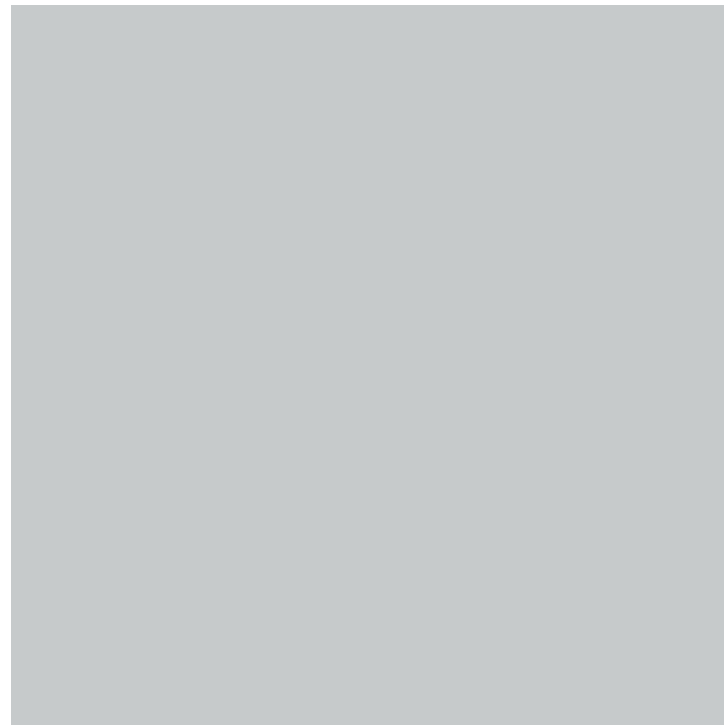
SONOMA COUNTY HABITAT FOR HUMANITY SEBASTOPOL TOWNHOMES

EXTERIOR FINISHES

PAINTED HORIZONTAL FIBER CEMENT SIDING
Sherwin Williams, Distance



PAINTED BOARD & BATTEN FIBER CEMENT SIDING & PAINTED PERFORATED METAL BALCONY RAILS
Sherwin Williams, Grey Screen



PAINTED FIBER CEMENT PANEL SIDING & PAINTED GARAGE DOORS
Sherwin Williams, Roycroft Pewter



PAINTED TRIM
Sherwin Williams, Iron Ore



PAINTED ENTRY DOORS
Sherwin Williams, Open Seas



WINDOW FRAMES
Andersen Series 100, Black



METAL SIDING
AEP Span, Corrugated Zincalume



STAINED CEDAR RAILINGS
Olympic, Semi Solid Cedar Stain on Cedar



SONOMA COUNTY HABITAT FOR HUMANITY SEBASTOPOL TOWNHOUSES

333 NORTH MAIN STREET, SEBASTOPOL, CA 95472

NOT FOR
CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404
707.544.3920 | www.jeffkatzarchitecture.com



PROJECT DATA

PROJECT ADDRESS: 333 NORTH MAIN STREET
SEBASTOPOL, CA 95472

ASSESSOR'S PARCEL NO.: 004-670-022000

OWNER: HABITAT FOR HUMANITY OF SONOMA COUNTY
1201 PINER ROAD, SUITE 500
SANTA ROSA, CA 95402

GOVERNING AGENCY: CITY OF SEBASTOPOL PLANNING DEPARTMENT
7120 BODEGA AVENUE
SEBASTOPOL, CA 95472

GOVERNING CODES: CITY OF SEBASTOPOL ZONING ORDINANCE
2019 CALIFORNIA BUILDING CODE

SCOPE OF WORK: THE PROJECT AT 333 NORTH MAIN STREET CONSISTS OF (4) THREE BEDROOM, TWO STORY TOWNHOUSES WITH (4) ONE CAR GARAGES. THE FRONT ENTRANCES TO THE TOWNHOUSES WILL INCLUDE COVERED PORCHES FACING NORTH MAIN STREET AND EACH TOWNHOUSE WILL HAVE A PRIVATE PATIO AT THE REAR OF THE TOWNHOUSE. THE GARAGES WILL BE ACCESSED FROM A DRIVEWAY THAT IS EXISTING AT THE NORTH EDGE OF THE PROPERTY. THE SITE IMPROVEMENTS WILL INCLUDE A RETAINING WALL, GRADING, LANDSCAPING, PATIOS, WALKWAYS AND UTILITIES. THE TOWNHOUSES WILL BE PRIVATELY OWNED SINGLE FAMILY RESIDENCES.

LEGAL DESCRIPTION

PARCEL: 004-670-022000

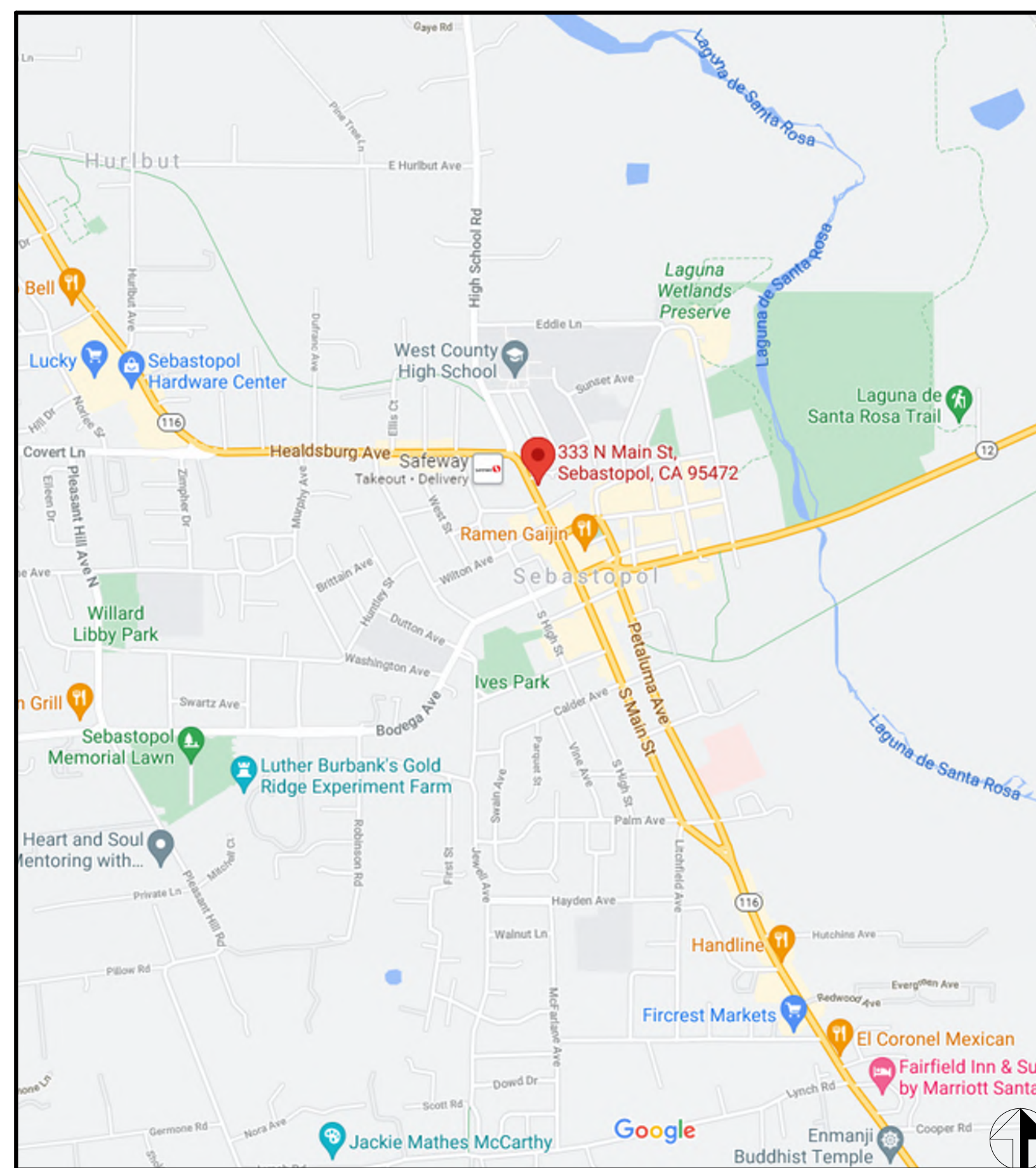
PROJECT:
SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES
333 NORTH MAIN STREET
SEBASTOPOL, CA 95472

PROJECT TEAM

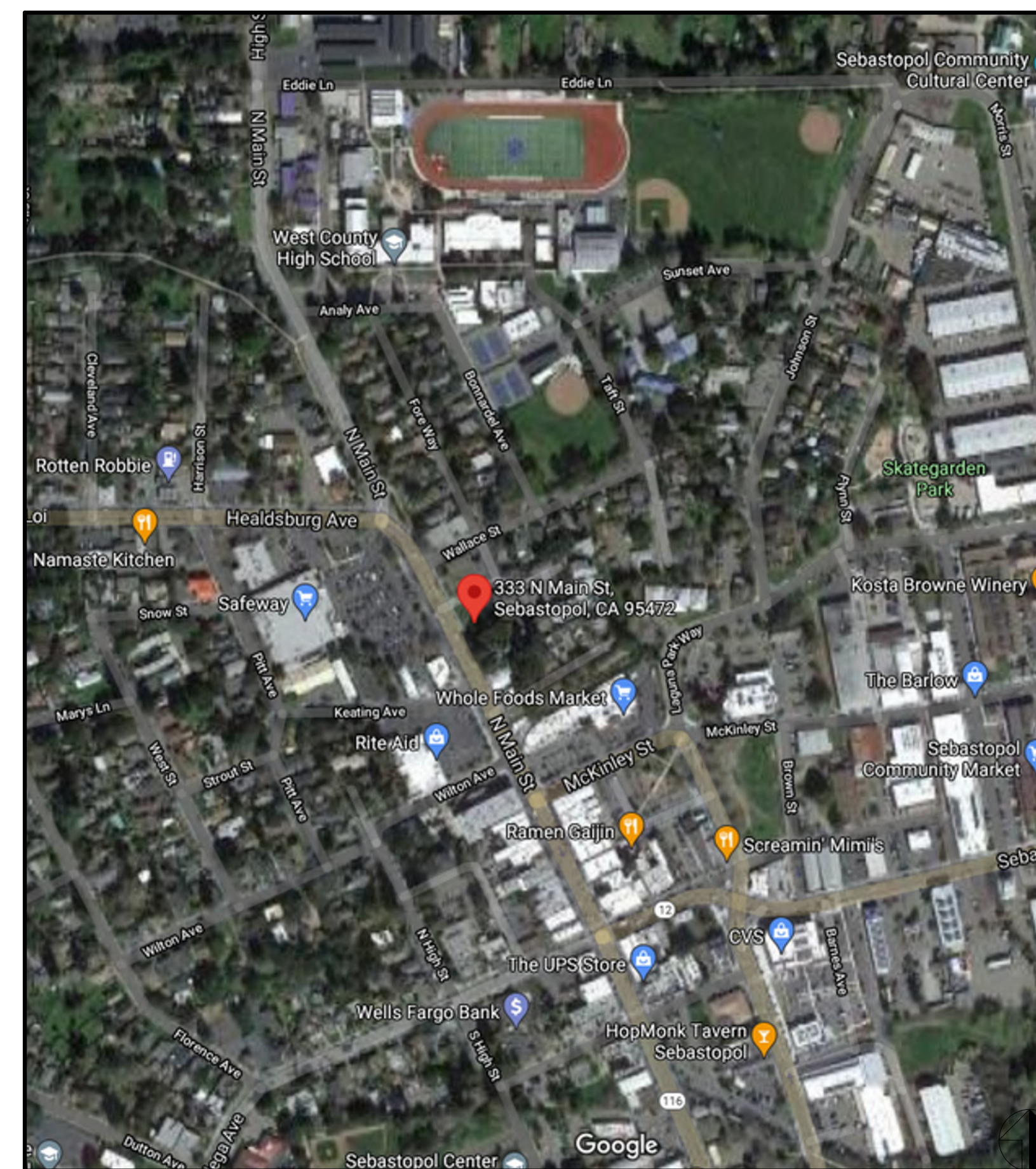
ARCHITECTURE
JEFF KATZ ARCHITECTURE
200 E STREET
SANTA ROSA, CA 95404
(707) 544-3920 / (707) 544-2514 (FAX)
Contact: Jeff Katz, AIA
jeff@jeffkatzarchitecture.com



LOCATION MAP



VICINITY MAP



OCCUPANCY GROUP: RESIDENTIAL, R-3 PER CRC

CONSTRUCTION TYPE: V-B

ALLOWABLE BLDG AREA: RESIDENTIAL, R-3 PER CRC UNLIMITED

ACTUAL BLDG AREA: FIRST FLOOR 3,924 S.F., SECOND FLOOR 2,600 S.F., TOTAL BUILDING AREA 6,524 S.F.

FLOOR AREA RATIO: 0.89

FLOOR AREA RATIO WITH EASEMENT AREAS DEDUCTED: 1.09

ZONING: CD

SITE AREA: 7,286 S.F.

SITE AREA WITH EASEMENT AREAS DEDUCTED: 5,994 S.F.

LOT COVERAGE: 70%

NUMBER OF STORIES: 2

MAX BUILDING HEIGHT ALLOWED: 40 FT

ACTUAL BUILDING HEIGHT: 23 FT

PARKING REQUIRED: 8 SPACES

PARKING PROVIDED: 4 SPACES

REQUIRED SETBACKS (PRIMARY BUILDING): FRONT - 0 FT, SIDE - 0 FT, REAR - 5 FT

REQUIRED SETBACKS (ACCESSORY BUILDING): FRONT - 0 FT, SIDE - 0 FT, REAR - 3 FT

PROPOSED SETBACKS (PRIMARY BUILDING): FRONT - 5 FT, SIDE - 5 FT, REAR - 16.3 FT

PROPOSED SETBACKS (ACCESSORY BUILDING): FRONT - 5 FT, SIDE - 1.5 FT, REAR - 9 FT

SHEET INDEX

No.	Description
T-1	TITLE SHEET
C1.00	SITE PLAN
C1.0	PROJECT INFO
C1.1	OVERALL SITE PLAN
C2.0	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN
C2.1	SITE SECTIONS
C3.0	DETAILS
L1.0	PRELIMINARY LANDSCAPE PLAN
A1.1	SITE PLAN
A1.2	EXISTING SITE PHOTOGRAPHS
A2.1	FIRST AND SECOND FLOOR PLANS
A2.2	ENLARGED PLANS
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	SCHEMATIC RENDERINGS
A4.1	BUILDING SECTIONS

Description: Date:
CONCEPTUAL PLANNING REVIEW 07/16/21
DESIGN REVIEW 10/15/21
DESIGN REVIEW 01/10/22
RESUBMITTAL

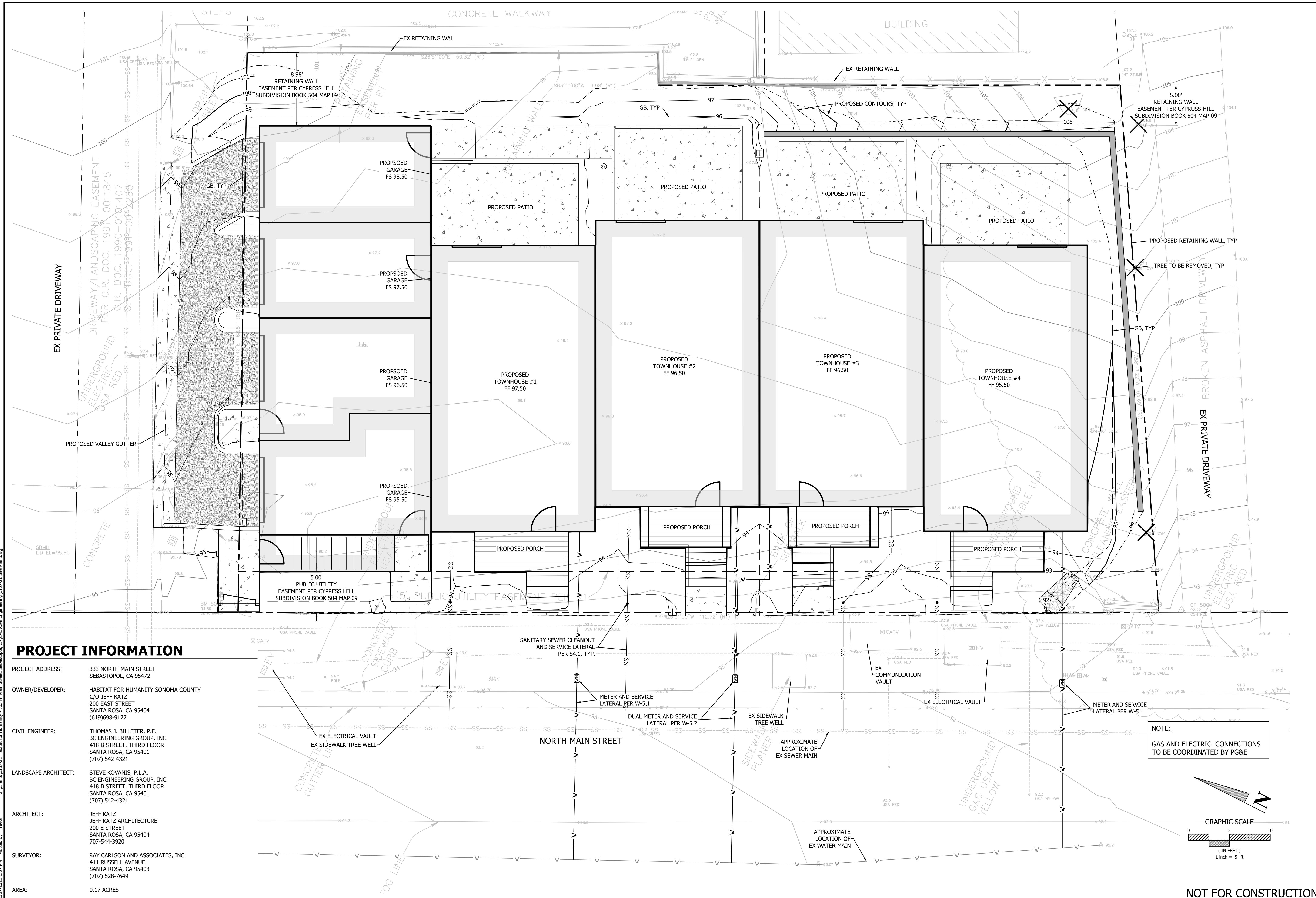
NOT FOR
CONSTRUCTION

Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

Sheet Title:
TITLE SHEET

SHEET NUMBER:

T-1



PROJECT INFORMATION

PROJECT ADDRESS: 333 NORTH MAIN STREET SEBASTOPOL, CA 95472

OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY
C/O JEFF KATZ
200 EAST STREET
SANTA ROSA, CA 95404
(619)698-9177

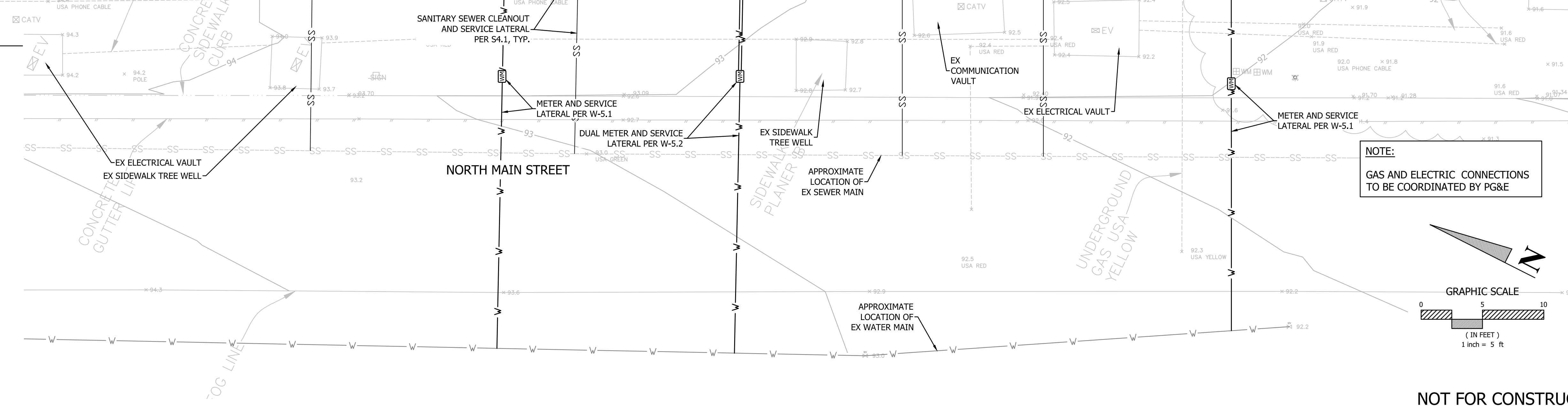
CIVIL ENGINEER: THOMAS J. BILLETER, P.E.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

LANDSCAPE ARCHITECT: STEVE KOVANIS, P.L.A.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

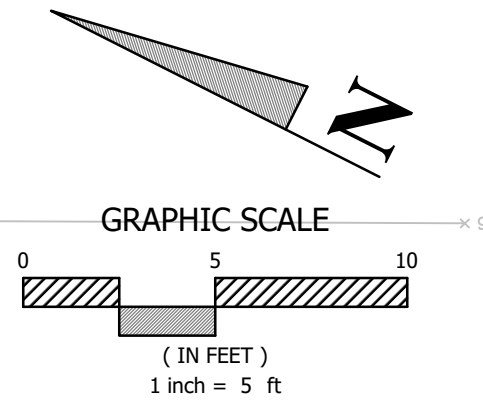
ARCHITECT: JEFF KATZ
JEFF KATZ ARCHITECTURE
200 E STREET
SANTA ROSA, CA 95404
707-544-3920

SURVEYOR: RAY CARLSON AND ASSOCIATES, INC
411 RUSSELL AVENUE
SANTA ROSA, CA 95403
(707) 528-7649

AREA: 0.17 ACRES



NOTE:
GAS AND ELECTRIC CONNECTIONS
TO BE COORDINATED BY PG&E




NOT FOR CONSTRUCTION

12/27/2021 2:07 PM Plotted by: Trevor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Site Plan.dwg

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
 www.bcegroup.com
 Phone: 707.542.4321
 418 B Street, Third Floor, Santa Rosa, CA 95401
 Ukiah Office: 603 S. State Street, Ukiah, CA 95482



HABITAT FOR HUMANITY SONOMA COUNTY
 SITE PLAN
 C/O JEFF KATZ
 333 NORTH MAIN STREET
 SEBASTOPOL, CA 95472

PRELIMINARY

Date:	12/27/2021
Job:	2157-21
Drawn:	TSL
Scale:	AS SHOWN
APN:	004-670-022
Permit #:	
Sheet:	C1.00 1 of 1

PROJECT INFORMATION

PROJECT ADDRESS: 333 NORTH MAIN STREET SEBASTOPOL, CA 95472

OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY
C/O JEFF KATZ
200 EAST STREET
SANTA ROSA, CA 95404
(619)698-9177

CIVIL ENGINEER: THOMAS J. BILLETER, P.E.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

LANDSCAPE ARCHITECT: STEVE KOVANIS, P.L.A.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

ARCHITECT: JEFF KATZ
JEFF KATZ ARCHITECTURE
200 E STREET
SANTA ROSA, CA 95404
707-544-3920

SURVEYOR: RAY CARLSON AND ASSOCIATES, INC.
411 RUSSELL AVENUE
SANTA ROSA, CA 95403
(707) 528-7649

AREA: 0.17 ACRES

**PRELIMINARY GRADING AND DRAINAGE DRAWINGS FOR
HABITAT FOR HUMANITY SONOMA COUNTY**

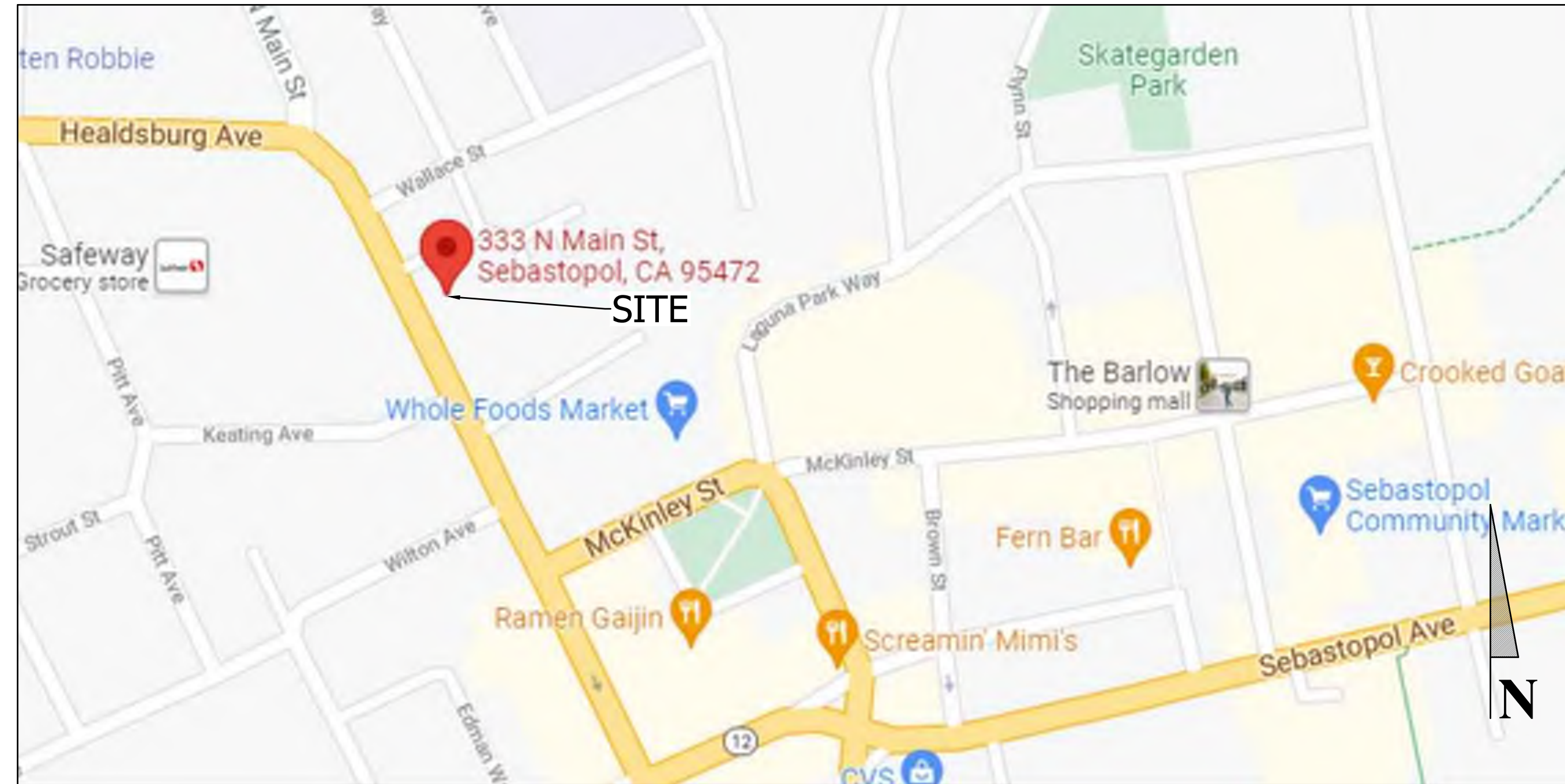
**333 NORTH MAIN STREET
SEBASTOPOL, CA 95472
APN: 004-670-022**

SHEET INDEX

C1.0 PROJECT INFO
C1.2 OVERALL SITE PLAN
C2.0 PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN
C2.1 SITE SECTIONS
C3.0 DETAILS

ABBREVIATIONS

&	AND	HP	HIGH POINT
@	AT	HT	HEIGHT
t	CENTERLINE	HWY	HIGHWAY
°	DEGREE	ID	INSIDE DIAMETER
∅	DIAMETER	IG	INVERT GRADE
#	NUMBER	IN	INCH
//	PARALLEL	INT	INTERIOR
%	PERCENT	INV	INVERT
⊥	PERPENDICULAR	IJ	"I" JOIST
±	PLUS OR MINUS	JST	JOIST
AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	ASPHALT CONCRETE	L	LENGTH
AD	AREA DRAIN	LAT	LATERAL
ADDL	ADDITIONAL	LF	LINEAL FOOT
AFF	ABOVE FINISHED FLOOR	LGW	LIMITS OF GRADING WORK
AG	AGGREGATE	MAX	MAXIMUM
ALT	ALTERNATE	ME	MATCH EXISTING
ANCH	ANCHOR	MIN	MINIMUM
APN	ASSESSOR'S PARCEL NUMBER	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MO	MASONRY OPENING
ARCH	ARCHITECT / ARCHITECTURAL	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
AVG	AVERAGE	(N)	NEW
BC	BEGIN CURVE	NTS	NOT TO SCALE
BD	BELOW DECK	OC	ON CENTER
BFF	BELOW FINISHED FLOOR	OD	OUTSIDE DIAMETER OF OUTSIDE FACE
BLDG	BUILDING	OH	OVERHEAD
BLK	BLOCK	OPNG	OPENING
BLKG	BLOCKING	OPP	OPPOSITE
BM	BENCHMARK	ORIG	ORIGINAL
BOF	BOTTOM OF FOOTING	(P)	PROPOSED
BOT	BOTTOM	PCC	POINT OF COMPOUND CURVE
BRG	BEARING	PL	PROPERTY LINE
BSL	BUILDING SETBACK LINE	POC	POINT OF CURVATURE
BT	BEGIN TRANSITION	PRC	POINT OF RETURN CURVE
BTWN	BETWEEN	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL	PVC	POLYVINYLCHLORIDE
CIP	CAST IN PLACE	PVMT	PAVEMENT
CB	CATCH BASIN	R or RAD	RADIUS
CBC	CALIFORNIA BUILDING CODE	RC	RELATIVE COMPACTION
CL	CENTERLINE	REF	REFERENCE
CLR	CLEAR	REINF	REINFORCING
CMU	CONCRETE MASONRY UNIT	REQD	REQUIRED
CONC	CONCRETE	RO	ROUGH OPENING
CONN	CONNECTION	ROW	RIGHT OF WAY
CONST	CONSTRUCTION	RT	RIGHT
CONT	CONTINUOUS	RWD	REDWOOD
CPC	CALIFORNIA PLUMBING CODE	S	SLOPE
CPP	CORRUGATED PLASTIC PIPE	SAD	SEE ARCHITECTURAL DRAWINGS
CRC	CALIFORNIA RESIDENTIAL CODE	SB	SOLID BLOCK
CTR	CENTER	SC	SPIRAL CURVE
CY	CUBIC YARD	SCD	SEE CIVIL DRAWINGS
D	DEPTH	SCH	SCHEDULE
DBL	DOUBLE	SD	STORM DRAIN
DI	DROP INLET	SDCO	STORM DRAIN CLEANOUT
DIA	DIAMETER	SDE	STORM DRAIN EASEMENT
DIAG	DIAGONAL	SDMH	STORM DRAIN MANHOLE
DIM	DIMENSION	SED	SEE ELECTRICAL DRAWINGS
DIST	DISTANCE	SF	SQUARE FEET
DL	DAYLIGHT	SG	SUBGRADE
DN	DOWN	SHT	SHEET
DS	DOWNSPOUT	SHTG	SHEATHING
DWG	DRAWING	SIM	SIMILAR
EACH	EACH	SLAD	SEE LANDSCAPE ARCHITECTS' DRAWINGS
EC	END CURVE	SMD	SEE MECHANICAL DRAWINGS
EE	EACH END	SO	SIDE OPENING
EF	EACH FACE	SPEC	SPECIFICATION
EG	EXISTING GROUND	SPD	SEE PLUMBING DRAWINGS
ELEV	ELEVATION	SQ	SQUARE
ELEC	ELECTRICAL	SS	SANITARY SEWER
EN	EDGE NAILING	SSCO	SANITARY SEWER CLEANOUT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EQPT	EQUIPMENT	STA	STATION
EQ	EQUAL	STD	STANDARD
ES	EACH SIDE	STRUC	STRUCTURAL
ESMT	EASEMENT	SWE	SIDEWALK EASEMENT
ET	END TRANSITION	SYM	SYMMETRICAL
EW	EACH WAY	T&B	TOP AND BOTTOM
EX or (E)	EXISTING	TB	TOP OF BANK
EXC	EXCAVATION / EXCAVATE	TC	TOP OF CONCRETE
EXT	EXTERIOR	TCC	TOP OF CONCRETE CURB
FC	FACE OF CURB	TD	TRENCH DRAIN
FD	FLOOR DRAIN	TG	TOP OF GRATE
FDN	FOUNDATION	THK	THICK
FF	FINISH FLOOR	TOF	TOP OF FOOTING
FG	FINISH GRADE	TOS	TOP OF STEEL / TOP OF STRUCTURE
FIN	FINISH	TOT	TOTAL
FL	FLOWLINE	TP	TOP OF PAVEMENT
FLR	FLOOR	TW	TOP OF WALL
FO	FACE OF	TYP	TYPICAL
FOW	FACE OF WALL	UNO	UNLESS NOTED OTHERWISE
FS	FINISHED SURFACE	VC	VERTICAL CURVE
FT	FOOT / FEET	VERT	VERTICAL
GB	GRADE BREAK OR GRAVEL BASIN	VIF	VERIFY IN FIELD
GR	GRATE	W	WATER / WIDTH
GRD	GRADE	W/	WITH
GRND	GROUND	W/O	WITHOUT
HDPE	HIGH DENSITY POLYETHYLENE	YD, YDS	YARD, YARDS
HORIZ	HORIZONTAL	Z	DITCH SIDE SLOPE



VICINITY MAP
NTS

PRELIMINARY EARTHWORK SUMMARY

CUT = 560 CY
FILL = 20 CY
NET = 540 CY (CUT/FILL)

DISTURBED AREA = 0.19 ACRES W/DID # NA

EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES AREA BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND AND PROPOSED FINISH GROUND AND COULD VARY ACCORDING TO THESE FACTORS. CONTRACTOR SHALL CONFIRM EXISTING TOPOGRAPHY, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S), AND SHALL PERFORM AN INDEPENDENT QUANTITY TAKEOFF AND BID ACCORDINGLY.

PURPOSE STATEMENT

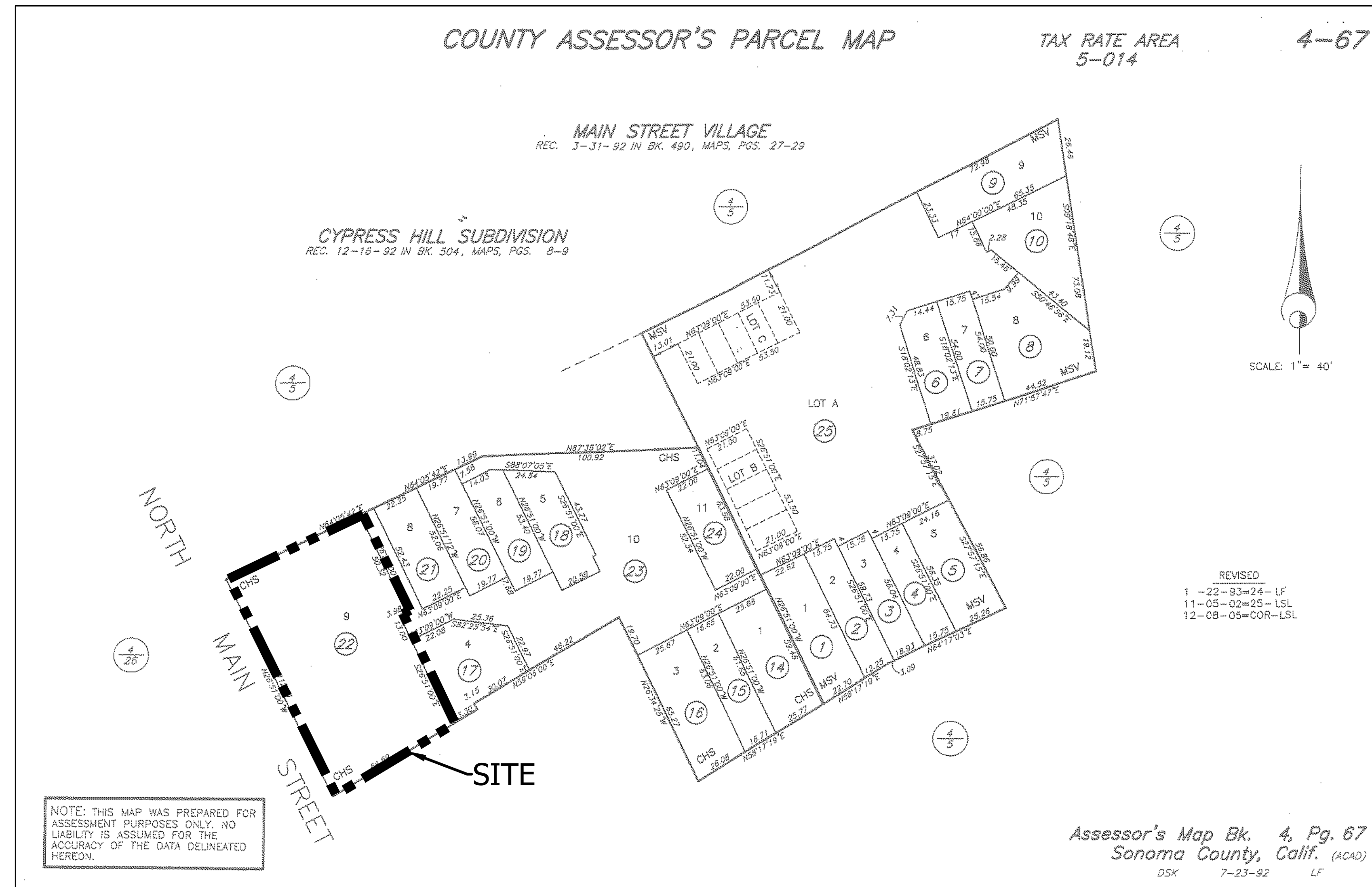
THE PURPOSE OF THIS PROJECT IS TO PROVIDE PRELIMINARY GRADING AND DRAINAGE IMPROVEMENTS FOR NEW RESIDENTIAL UNITS AND ASSOCIATED GARAGES TO SUPPORT A DESIGN REVIEW SUBMITTAL.

SURVEY NOTE

BENCHMARK NOTE: DESCRIPTION OF BENCHMARK: #3 RABAR AND RED CAP - POINT 5000
ASSUMED ELEVATION: 94.89 FEET
CONTOUR INTERVAL = 1 FOOT

LEGEND

EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD WIRE)
---	---	GAS LINE
---	---	GATE VALVE
---	---	HYDRANT
---	---	PIPE CAP
---	---	POINT OF COORDINATION
---	---	SANITARY SEWER PIPE
---	---	STORM WATER DRAIN PIPE
---	---	STREET LIGHT
---	---	SUB-DRAIN
---	---	WATER LINE
---	---	BUILDING OVERHEAD
---	---	DAYLIGHT LINE
---	---	DRAINAGE SWALE FLOW LINE
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	FEATURE TO BE REMOVED
---	---	FIBER ROLL
---	---	GRADE BREAK
---	---	LIMITS OF DISTURBANCE
---	---	RETAINING WALL
---	---	ROADSIDE SIGN
---	---	SAWCUT
---	---	TREE TO BE REMOVED
---	---	CONCRETE
---	---	ROCK DISSIPATER/RIP RAP



ASSESSORS PARCEL MAP
NTS

S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Project Info.dwg
12/27/2021 2:08 PM
Plotted by: Trevor

DATE: _____
BY: _____
DESCRIPTION: _____
REV. _____

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
www.bceengineeringgroup.com
Phone: 707.542.4321
SANTA ROSA OFFICE:
418 B Street, Third Floor, Santa Rosa CA 95401
UKAR OFFICE:
603 S. State Street, Ukiah CA 95482

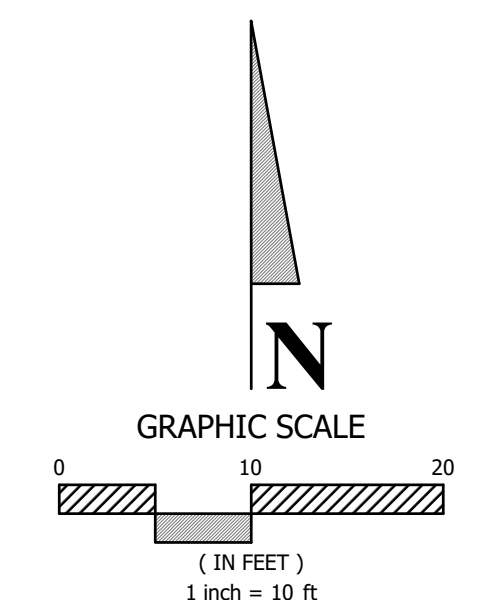
HABITAT FOR HUMANITY SONOMA COUNTY
PROJECT INFO
C/O JEFF KATZ
333 NORTH MAIN STREET
SEBASTOPOL, CA 95472

PRELIMINARY

Date: 12/27/2021
Job: 2157-21
Drawn: TSL / EK / JAB
Scale: AS SHOWN
APN: 004-670-022
Permit #: _____
Sheet: **C1.0**
1 of 5

NOT FOR CONSTRUCTION

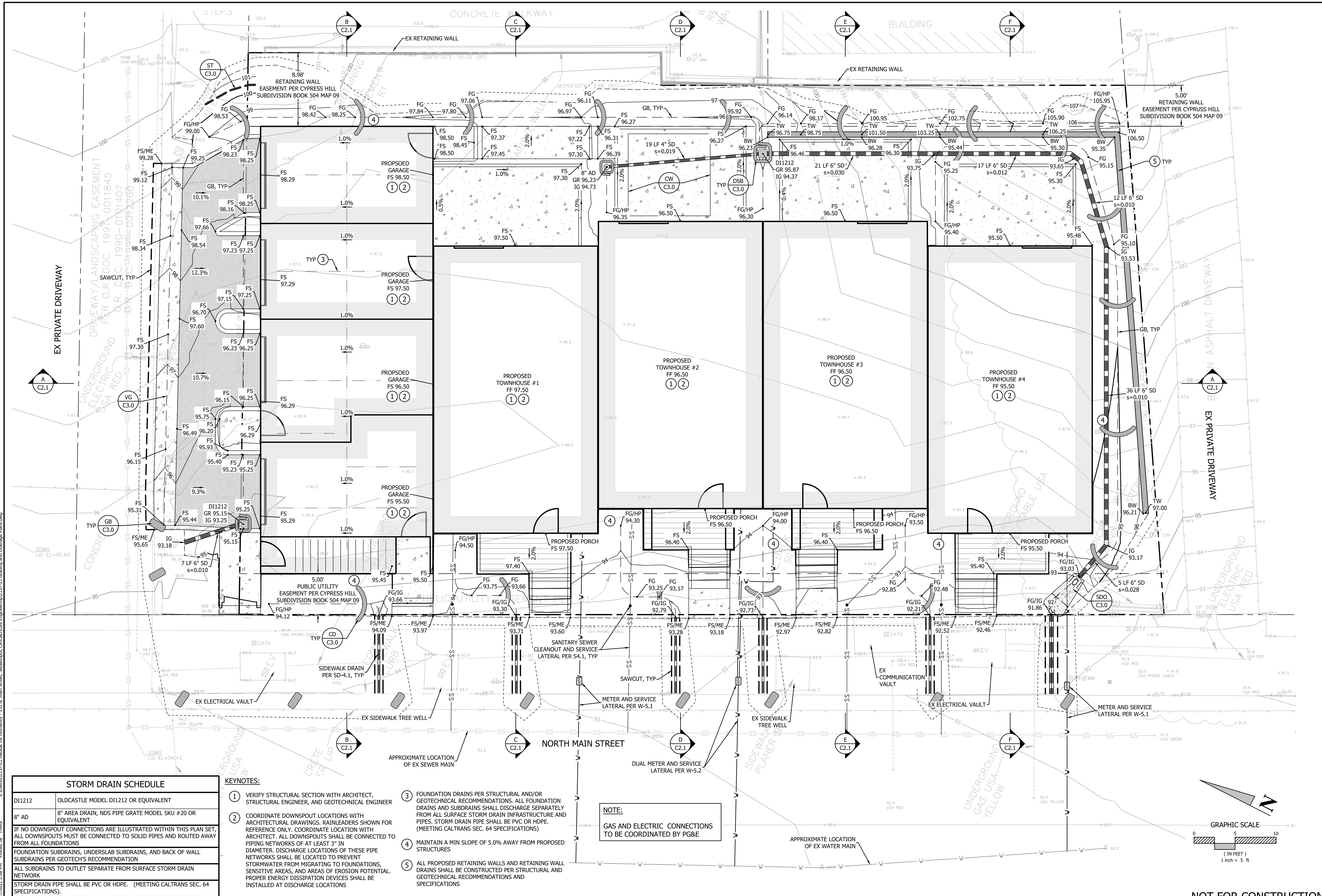
S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Overall Site Plan.dwg
 12/27/2021 2:08 PM Plotted by Treor



NOT FOR CONSTRUCTION

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING GROUP, INC. CIVIL ENGINEERING & LAND PLANNING www.bcegroup.com Phone: 707.542.4321 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401 OAKVILLE OFFICE: 603 S. State Street, Ukiah CA 95482	
HABITAT FOR HUMANITY SONOMA COUNTY OVERALL SITE PLAN C/O JEFF KATZ 333 NORTH MAIN STREET SEBASTOPOL, CA 95472	
PRELIMINARY	
Date:	12/27/2021
Job:	2157-21
Drawn:	TSL / EK / JAB
Scale:	AS SHOWN
APN:	004-670-022
Permit #:	
Sheet:	C1.1 2 of 5



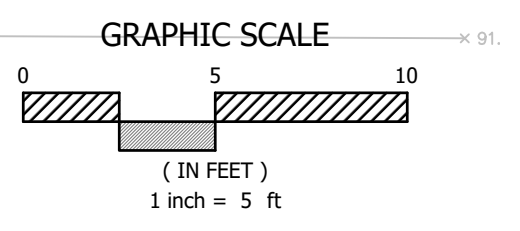
STORM DRAIN SCHEDULE

DI1212	OLDCASTLE MODEL DI1212 OR EQUIVALENT
8" AD	8" AREA DRAIN, NDS PIPE GRATE MODEL SKU #20 OR EQUIVALENT
IF NO DOWNSPOUT CONNECTIONS ARE ILLUSTRATED WITHIN THIS PLAN SET, ALL DOWNSPOUTS MUST BE CONNECTED TO SOLID PIPES AND ROUTED AWAY FROM ALL FOUNDATIONS	
FOUNDATION SUBDRAINS, UNDERSLAB SUBDRAINS, AND BACK OF WALL SUBDRAINS PER GEOTECH'S RECOMMENDATION	
ALL SUBDRAINS TO OUTLET SEPARATE FROM SURFACE STORM DRAIN NETWORK	
STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	

KEYNOTES:

- VERIFY STRUCTURAL SECTION WITH ARCHITECT, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER
- COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS. RAINDLEADERS SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION WITH ARCHITECT. ALL DOWNSPOUTS SHALL BE CONNECTED TO PIPING NETWORKS OF AT LEAST 3" IN DIAMETER. DISCHARGE LOCATIONS OF THESE PIPE NETWORKS SHALL BE LOCATED TO PREVENT STORMWATER FROM MIGRATING TO FOUNDATIONS, SENSITIVE AREAS, AND AREAS OF EROSION POTENTIAL. PROPER ENERGY DISSIPATION DEVICES SHALL BE INSTALLED AT DISCHARGE LOCATIONS
- FOUNDATION DRAINS PER STRUCTURAL AND/OR GEOTECHNICAL RECOMMENDATIONS. ALL FOUNDATION DRAINS AND SUBDRAINS SHALL DISCHARGE SEPARATELY FROM ALL SURFACE STORM DRAIN INFRASTRUCTURE AND PIPES. STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS)
- MAINTAIN A MIN SLOPE OF 5.0% AWAY FROM PROPOSED STRUCTURES
- ALL PROPOSED RETAINING WALLS AND RETAINING WALL DRAINS SHALL BE CONSTRUCTED PER STRUCTURAL AND GEOTECHNICAL RECOMMENDATIONS AND SPECIFICATIONS

NOTE:
GAS AND ELECTRIC CONNECTIONS TO BE COORDINATED BY PG&E



NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION

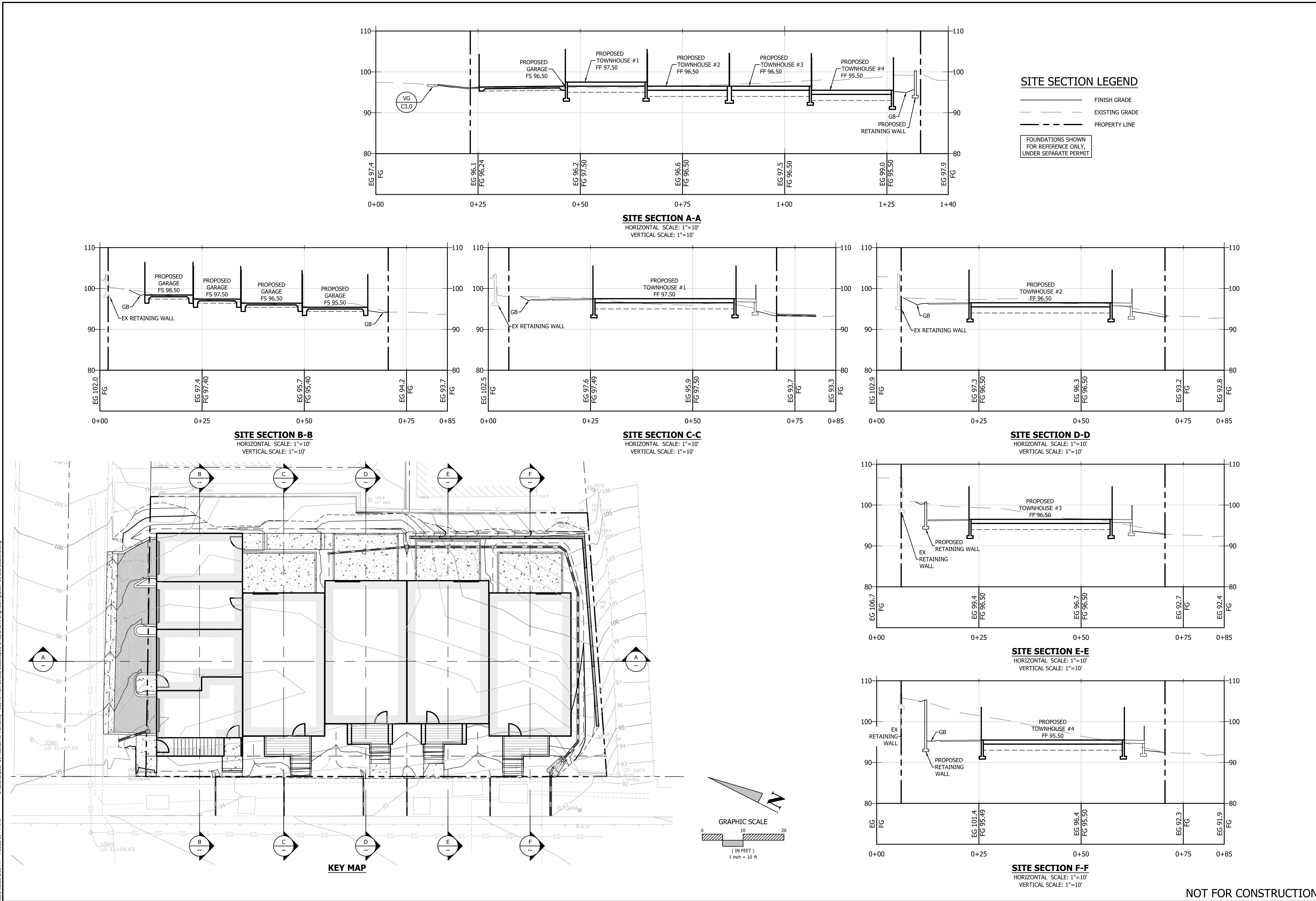
BC ENGINEERING & LAND PLANNING
 CIVIL ENGINEERING & LAND PLANNING
 www.bceengineering.com
 Phone: 707.543.4321
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401
 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482

HABITAT FOR HUMANITY SONOMA COUNTY
 PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

PRELIMINARY

Date: 12/27/2021
 Job: 2157-21
 Drawn: TSL / EK / JAB
 Scale: AS SHOWN
 APN: 004-670-022
 Permit #:
 Sheet: **C2.0**
 3 of 5

12/27/2021 2:08 PM Plotted by Treor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Site Sections.dwg



REV.	DESCRIPTION	BY	DATE

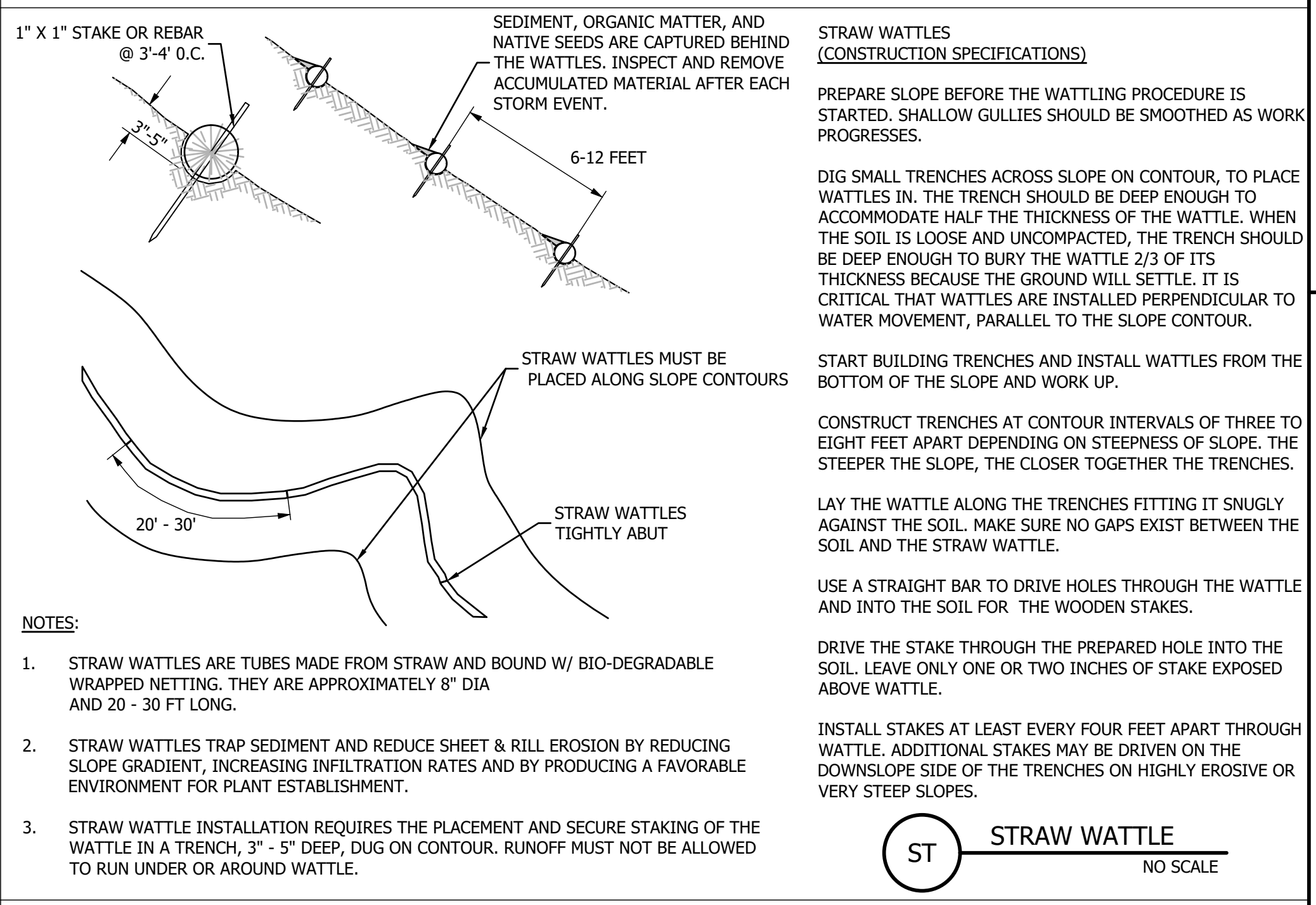
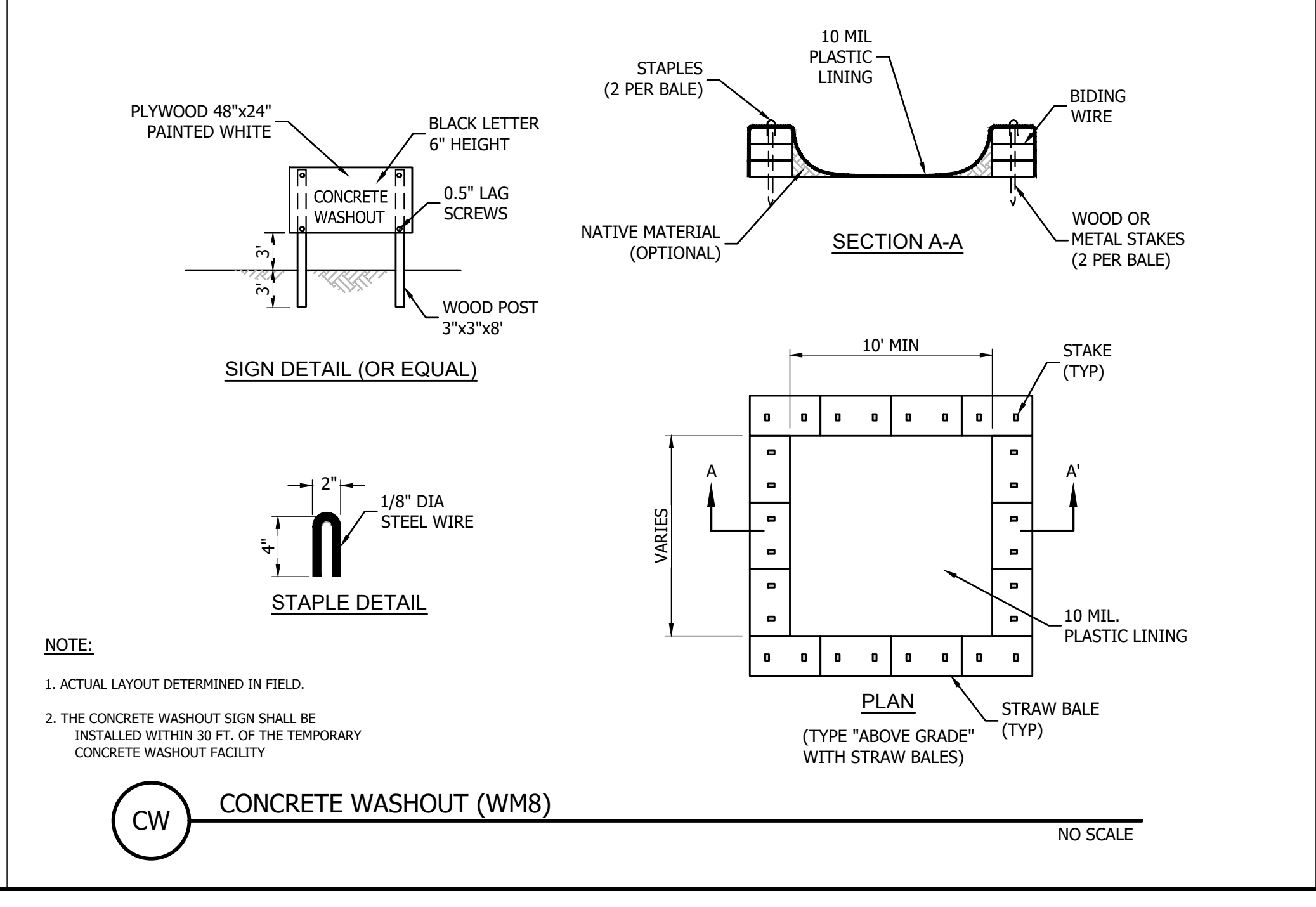
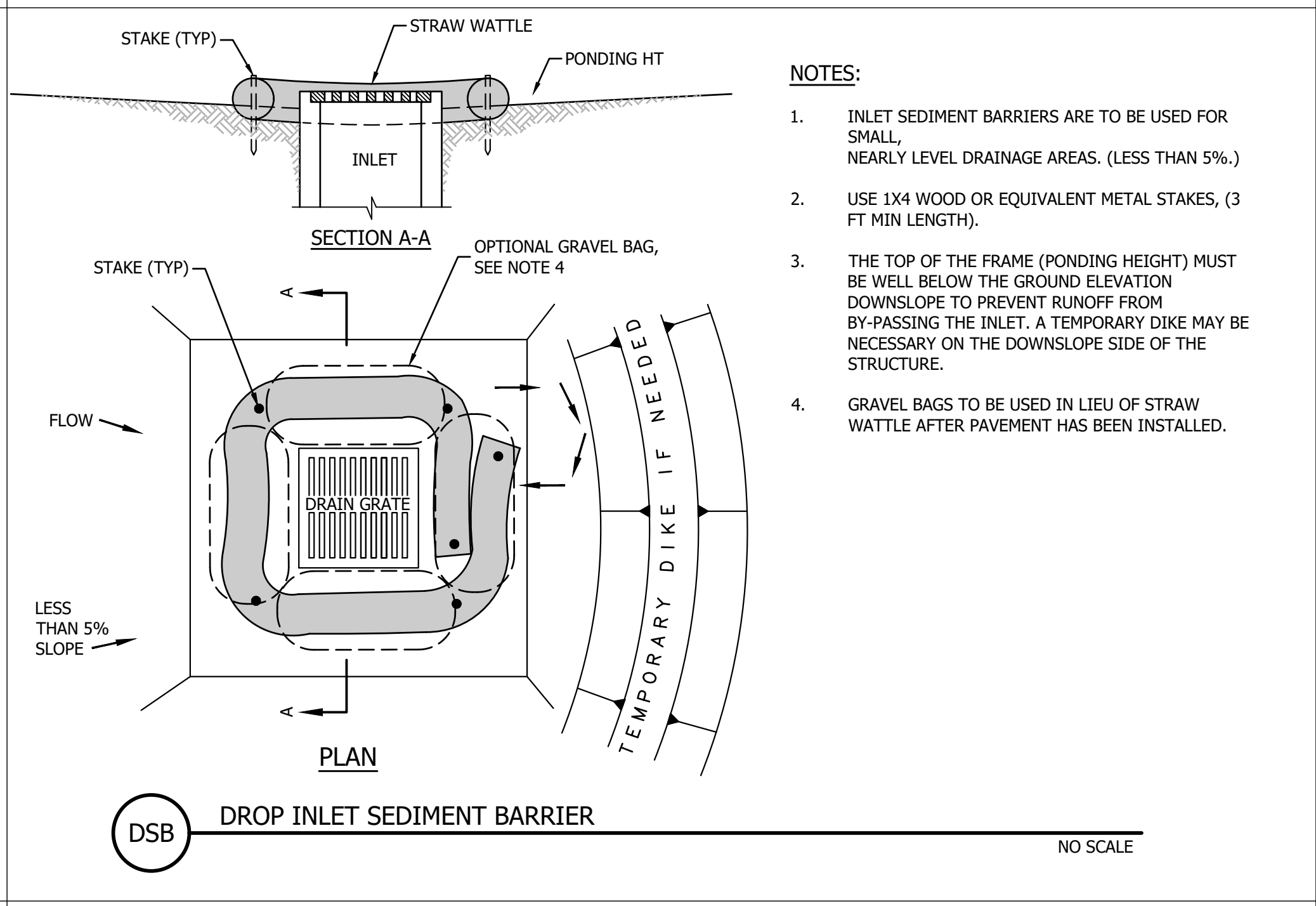
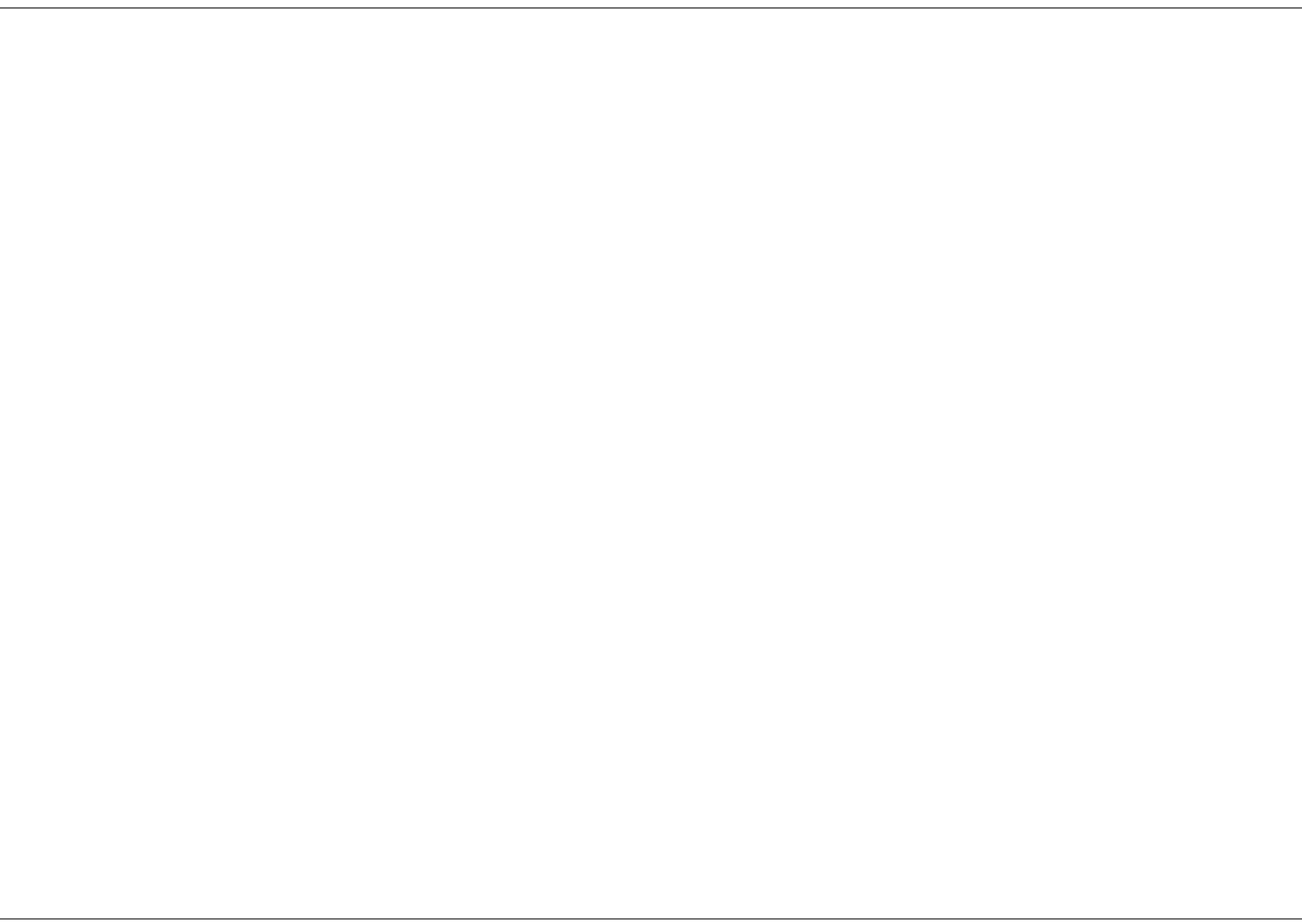
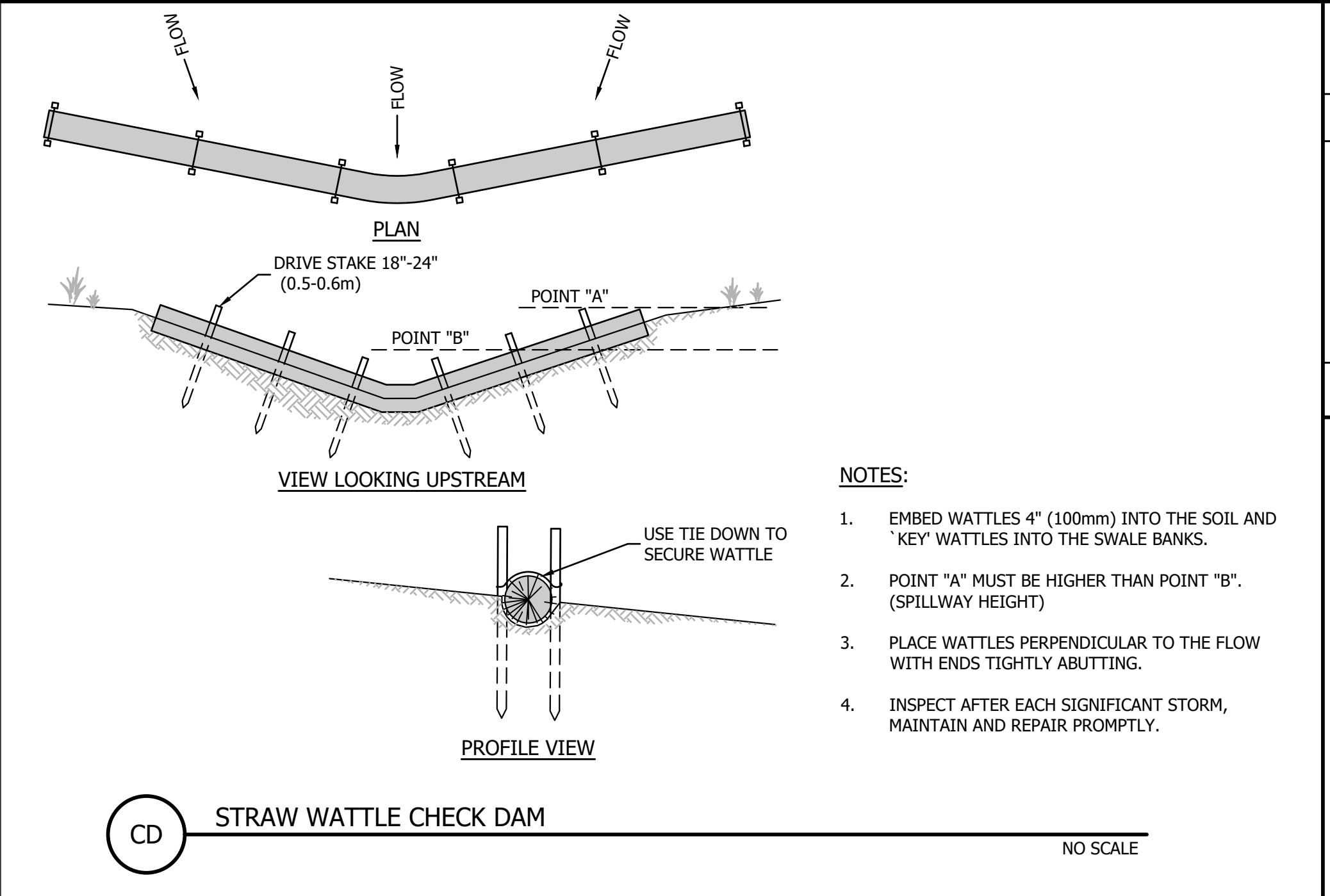
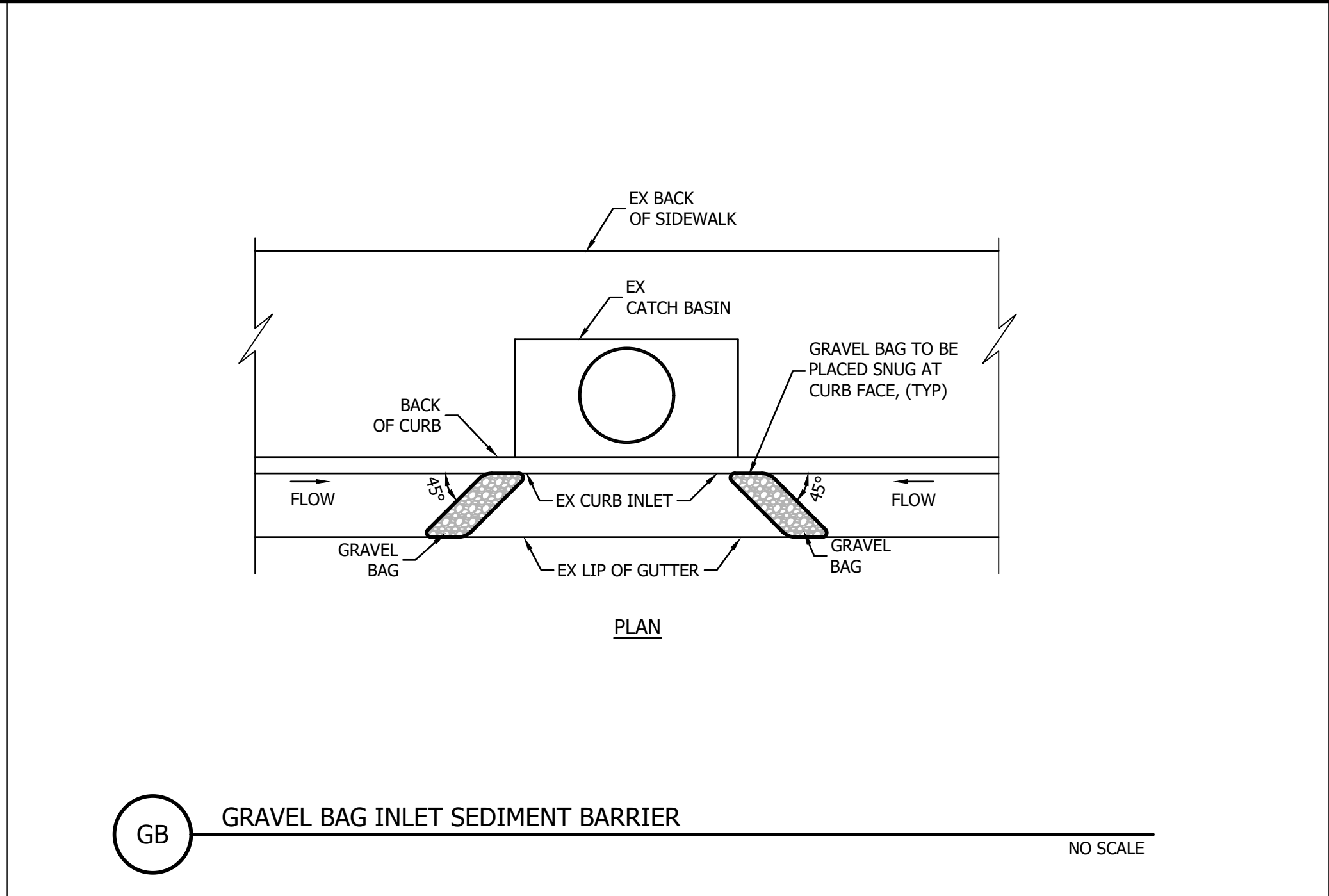
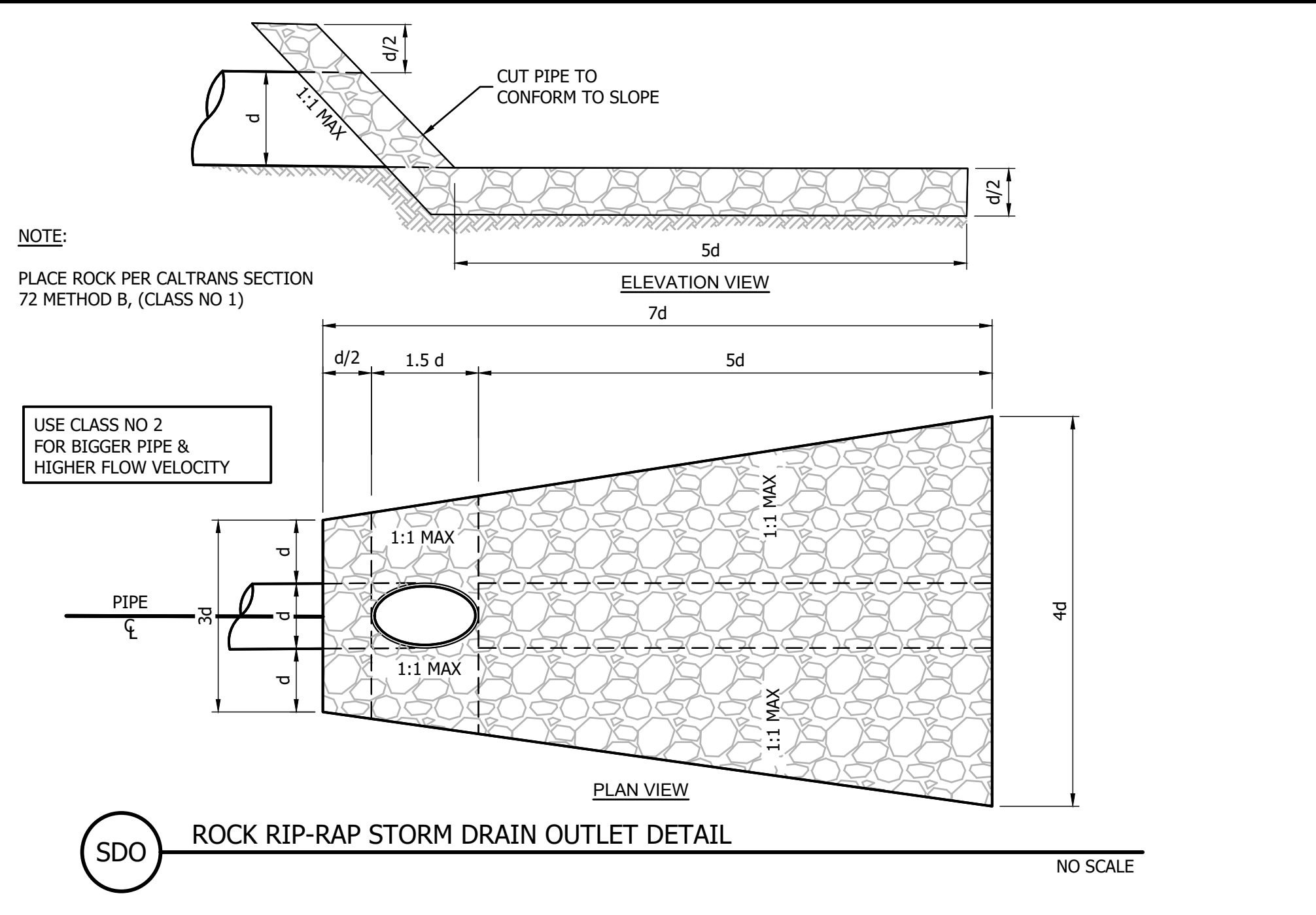
BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
 www.bceengineering.com
 Phone: 707.542.4321
 5407A ROSA OFFICE
 418 B Street, Third Floor, Santa Rosa CA 95401
 OAKVILLE OFFICE
 603 S. State Street, Ukiah CA 95482

HABITAT FOR HUMANITY SONOMA COUNTY
 SITE SECTIONS
 C/O JEFF KATZ
 333 NORTH MAIN STREET
 SEBASTOPOL, CA 95472

PRELIMINARY

Date: 12/27/2021
 Job: 2157-21
 Drawn: TSL / EK / JAB
 Scale: AS SHOWN
 APN: 004-670-022
 Permit #:
 Sheet: **C2.1**
 4 of 5

NOT FOR CONSTRUCTION



REV.	DESCRIPTION	BY	DATE

BC ENGINEERING & LAND PLANNING
www.bceengineering.com
Phone: 707.542.4321
SAVITA ROSA OFFICE:
418 B Street, Third Floor, Santa Rosa CA 95401
UKAR OFFICE:
603 S. State Street, Ukiah CA 95422

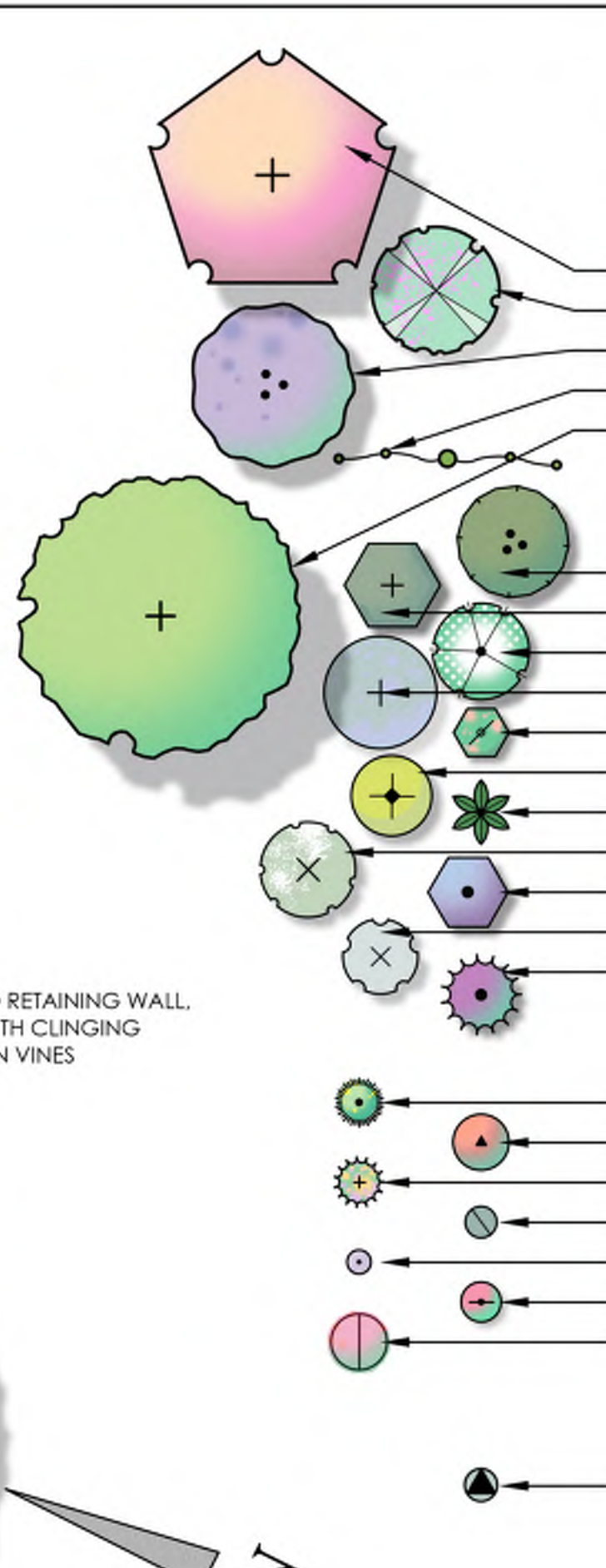
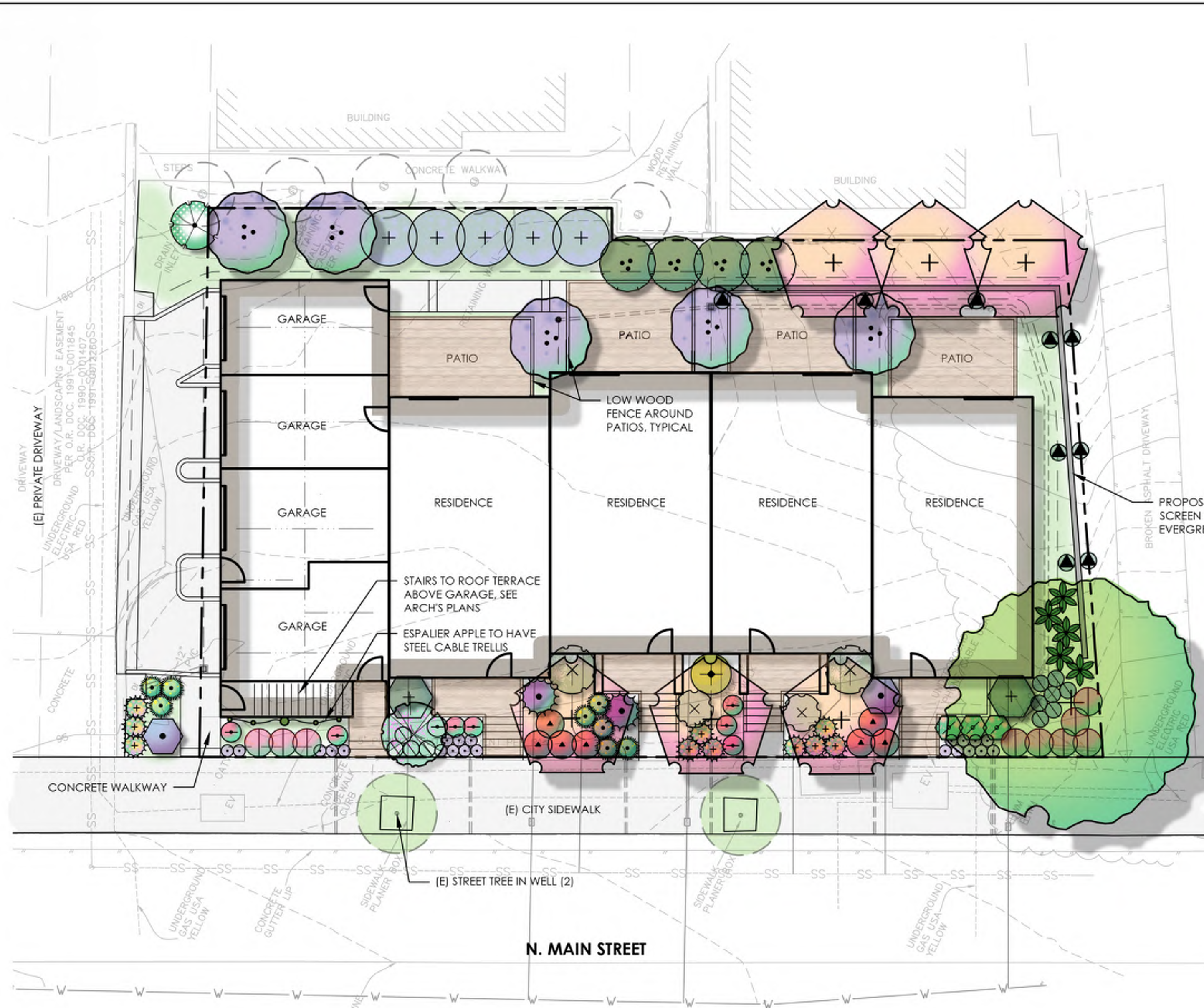
HABITAT FOR HUMANITY SONOMA COUNTY
DETAILS
C/O JEFF KATZ
333 NORTH MAIN STREET
SEBASTOPOL, CA 95472

PRELIMINARY

Date: 12/27/2021
Job: 2157-21
Drawn: TSL / EK / JAB
Scale: AS SHOWN
APN: 004-670-022
Permit #:
Sheet: **C3.0**
5 of 5

NOT FOR CONSTRUCTION

S:\Clients\2157-21 Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Details.dwg
12/27/2021 2:09 PM
Plotted by: Trevor



PLANTING LEGEND

BOTANICAL NAME / COMMON NAME	WUCOLS	CONTAINER SIZE	GROWTH RATE	SIZE IN 3-5 YRS (HxW)	MATURE SIZE (HxW)	QTY.	COMMENTS
TREES							
ACER R. 'ARMSTRONG' / 'ARMSTRONG' RED MAPLE	M	24" BOX	FAST	24x 8'	60'x15'	6	STANDARD TREE FORM
CERCIS OCCIDENTALIS / WESTERN REDBUD	VL	15 GAL	MODERATE	12x12'	12x12'	1	MULTI-TRUNK FORM
LAGERSTROEMIA 'CATAWBA' / 'CATAWBA' CRAPE MYRTLE	L	24" BOX	MODERATE	10x8'	15x10'	5	STANDARD TREE FORM
MALUS 'GRAVENSTEIN' / GRAVENSTEIN APPLE	M	BARE ROOT	MODERATE	6x10'	6x10'	1	ESPALIER ON WALL
QUERCUS KELLOGGII / BLACK OAK	L	24" BOX	MODERATE	18x10'	60x40'	1	STANDARD TREE FORM
SHRUBS							
ARCTOSTAPHYLOS 'AUSTIN GRIFFITHS' / MANZANITA	L	15 GAL	FAST	4x8'	6x12'	4	6' O.C. SPACING
ARCTOSTAPHYLOS 'HOWARD MCMINN' / MANZANITA	L	5 GAL	FAST	4x4'	6x6'	2	6' O.C. SPACING
CARPINTERIA CALIFORNICA / BUSH ANEMONE	M	5 GAL	MODERATE	4x3'	7x5'	1	5' O.C. SPACING
CEANOTHUS 'CONCHA' / 'CONCHA' CA LILAC	L	5 GAL	FAST	6x6'	8x10'	5	6' O.C. SPACING
MIMULUS AURANTIACUS / STICKY MONKEYFLOWER	L	5 GAL	FAST	3x3'	3x3'	3	3' O.C. SPACING
PHYSOCARPUS 'DARTS GOLD' / NINEBARK	L	5 GAL	MODERATE	5x5'	5x5'	1	5' O.C. SPACING
POLYSTICHUM MUNITUM / WESTERN SWORD FERN	M	5 GAL	MODERATE	3x3'	4x6'	5	4' O.C. SPACING
RIBES 'WHITE ICICLE' / 'WHITE ICICLE' FLOWERING CURRANT	L	5 GAL	MODERATE	4x3'	8x6'	2	6' O.C. SPACING
SALVIA 'ALLEN CHICKERING' / 'ALLEN CHICKERING' SAGE	L	5 GAL	FAST	4x4'	5x5'	2	6' O.C. SPACING
SALVIA APIANA / WHITE SAGE	L	5 GAL	FAST	4x4'	4x5'	2	5' O.C. SPACING
SALVIA L. 'MIDNIGHT' / MEXICAN SAGE	L	5 GAL	FAST	3x4'	4x6'	2	5' O.C. SPACING
GROUNDCOVERS & PERENNIALS							
ACHILLEA 'MOONSHINE' / 'MOONSHINE' YARROW	L	1 GAL	FAST	18"x3"	18"x3"	8	3' O.C. SPACING
EPILOBIUM 'EVERETTE'S CHOICE' / CA FUCHSIA	L	1 GAL	FAST	1"x4"	1"x4"	7	3' O.C. SPACING
ERIGERON G. 'WAYNE RODERICK' / 'WAYNE RODERICK' DAISY	L	1 GAL	FAST	1"x3"	1"x3"	10	3' O.C. SPACING
FESTUCA CALIFORNICA / CA FESCUE	L	1 GAL	FAST	2"x2"	2"x2"	11	2' O.C. SPACING
MONARDELLA 'RUSSIAN RIVER' / COYOTE MINT	L	1 GAL	FAST	18"x18"	18"x18"	21	1.5' O.C. SPACING
PENSTEMON 'FIREBIRD' / 'FIREBIRD' BEARDTONGUE	M	1 GAL	FAST	2"x3"	2"x3"	8	2.5' O.C. SPACING
SALVIA SPATHEACEA / HUMMINGBIRD SAGE	L	1 GAL	FAST	1"x3"	1"x5"	9	3' O.C. SPACING
VINES							
FICUS PUMILA / CREEPING FIG	M	5 GAL	FAST	6"x12"	6"x12"	9	3' O.C. SPACING

MWEO STATEMENT
 I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE PLAN.
 Stephen A. Kovanis
 REGISTERED LANDSCAPE ARCHITECT #6197
 DATE 12/27/2021

LANDSCAPE AND IRRIGATION CONCEPT STATEMENT
 THE PLANT MATERIALS HAVE BEEN CHOSEN TO PROVIDE YEAR-ROUND INTEREST THROUGH COLOR, TEXTURE AND SCENT AND HAVE BEEN PLACED TO ACCENTUATE THE ARCHITECTURE, SITE FEATURES, AND ADJACENT PROPERTIES. THE MAJORITY OF PLANTS ARE CALIFORNIA NATIVES AND WELL ACCUSTOMED TO SEBASTOPOL'S SOIL TYPE AND CLIMATE CONDITIONS. THE DIVERSE PLANT PALETTE WILL INCREASE RESILIENCE AND PROVIDE AN ABUNDANCE OF VISUAL INTEREST FOR RESIDENTS AND PASSERS-BY ALIKE. THE FRONT YARDS OF THE INDIVIDUAL RESIDENTIAL UNITS HAVE BEEN DESIGNED COLLECTIVELY TO MAXIMIZE THE OVERALL VISUAL IMPACT ON NORTH MAIN STREET.
 A NEW IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED FOR THE PROPOSED LANDSCAPING AND SHALL UTILIZE THE LATEST PRODUCTS AND TECHNOLOGY FOR WATER USE EFFICIENCY. TREES SHALL BE IRRIGATED SEPARATELY FROM THE REST OF THE LANDSCAPING. IRRIGATION SYSTEM COMPONENTS SHALL INCLUDE: LOW VOLUME DRIP IRRIGATION; AN AUTOMATIC WEATHER BASED CONTROLLER WITH WEATHER SENSOR FOR WEATHER-BASED PROGRAM ADJUSTMENTS; A SUBMETER; BACKFLOW PREVENTION DEVICE; AND SHUT OFF VALVES.

PRELIMINARY WATER BUDGET CALCULATIONS

WATER EFFICIENT LANDSCAPE WORKSHEET
 This worksheet is filed out by the project applicant and it is a required element of the Landscape Documentation Package.

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
Low H2o	0.2	drip	0.81	0.25	1,240	310	8,073
Moderate H2o	0.4	drip	0.81	0.49	350	172	4,479
					Totals	(A)	(B)
					1,590	482	
Special Landscape Areas							
					1		
					1		
					0	0	
					Totals	(C)	(D)
					1		
						ETWU Total	12,552
						Maximum Allowed Water Allowance (MAWA)	22,773

ETWU (Annual Gallons Required) = $Eto \times 0.62 \times ETAF \times Area$
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.
 Low = $42.0 (0.62) [0.55 \times 1240] = 17,760$ gal
 Moderate = $42.0 (0.62) [0.55 \times 350] = 5,013$ gal
 MAWA = 22,773 gal

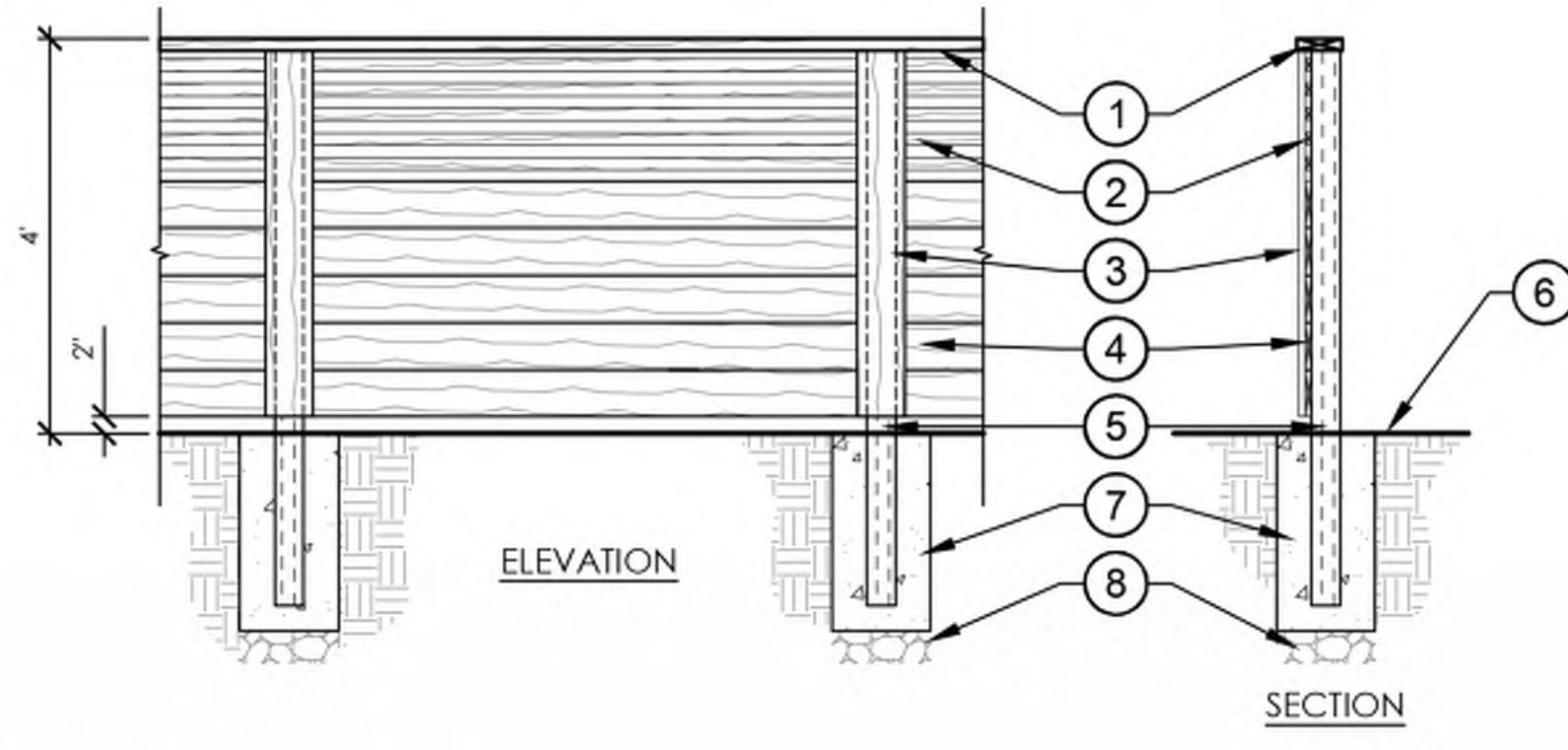
ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	482 (B)
Total Area	1590 (A)
Average ETAF	$B \div A = 0.30$
All Landscape Areas	
Total ETAF x Area	(B+D) = 482+0
Total Area	(A+C) = 1590+0
Site-wide ETAF	$(B+D) \div (A+C) = 0.30$

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

- KEY:**
- 2x6 REDWOOD CAP
 - 1x2 REDWOOD TRELLIS
 - 1x6 REDWOOD FENCE BOARD INSTALLED OVER POSTS
 - 1x6 REDWOOD FENCE BOARD
 - 4x4 PTDf POSTS, BROWN COLOR @ 6' O.C.
 - FINISH GRADE
 - 12" Ø x 2' CONCRETE FOOTING, SEE NOTE #4
 - 4" CRUSHED DRAIN ROCK

- NOTES:**
- STAIN & SEAL FENCE WITH OLYMPIC WATERGUARD TRANSPARENT STAIN, MAPLE BROWN COLOR, OR APPROVED EQUAL. PROVIDE SAMPLE FOR ACCEPTANCE BY OWNER PRIOR TO STAINING FENCE
 - PROVIDE 1-1/2" GAPS BETWEEN TRELLIS BOARDS, 1/4" GAPS BETWEEN FENCE BOARDS
 - ALL FASTENERS TO BE CORROSION RESISTANT
 - INSTALL SIMPSON STRONG-TIE POST BASE #PBS44A FOR ALL POSTS
 - REDWOOD TO BE CONSTRUCTION HEART



HORIZONTAL BOARD PATIO FENCE

NO SCALE

NOT FOR CONSTRUCTION

DATE: _____
 BY: _____
 DESCRIPTION: _____
 REV. _____

BC ENGINEERING GROUP, INC.
 CIVIL ENGINEERING & LAND PLANNING
 www.bceengineeringgroup.com
 Phone: 707-542-4321
 418 B Street, Third Floor
 Santa Rosa, CA 95401

PRELIMINARY LANDSCAPE PLAN
 DESIGN REVIEW
 SONOMA COUNTY HABITAT FOR HUMANITY
 SEBASTOPOL TOWNHOUSES
 333 NORTH MAIN STREET
 SEBASTOPOL, CA 95472

Stephen A. Kovanis
 P.L.A. #6197
 12/27/2021
 12/27/2021

Date: 12/27/2021
 Job: 2157-21
 Drawn: SK
 Scale: AS SHOWN
 APN: 004-670-022
 Permit #: _____
 Sheet: **L1.0**
 1 of 1

NOT FOR CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404
707.544.3920 | www.jkarchitecture.com

PROJECT:

SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES

333 NORTH MAIN STREET
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

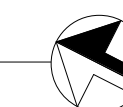
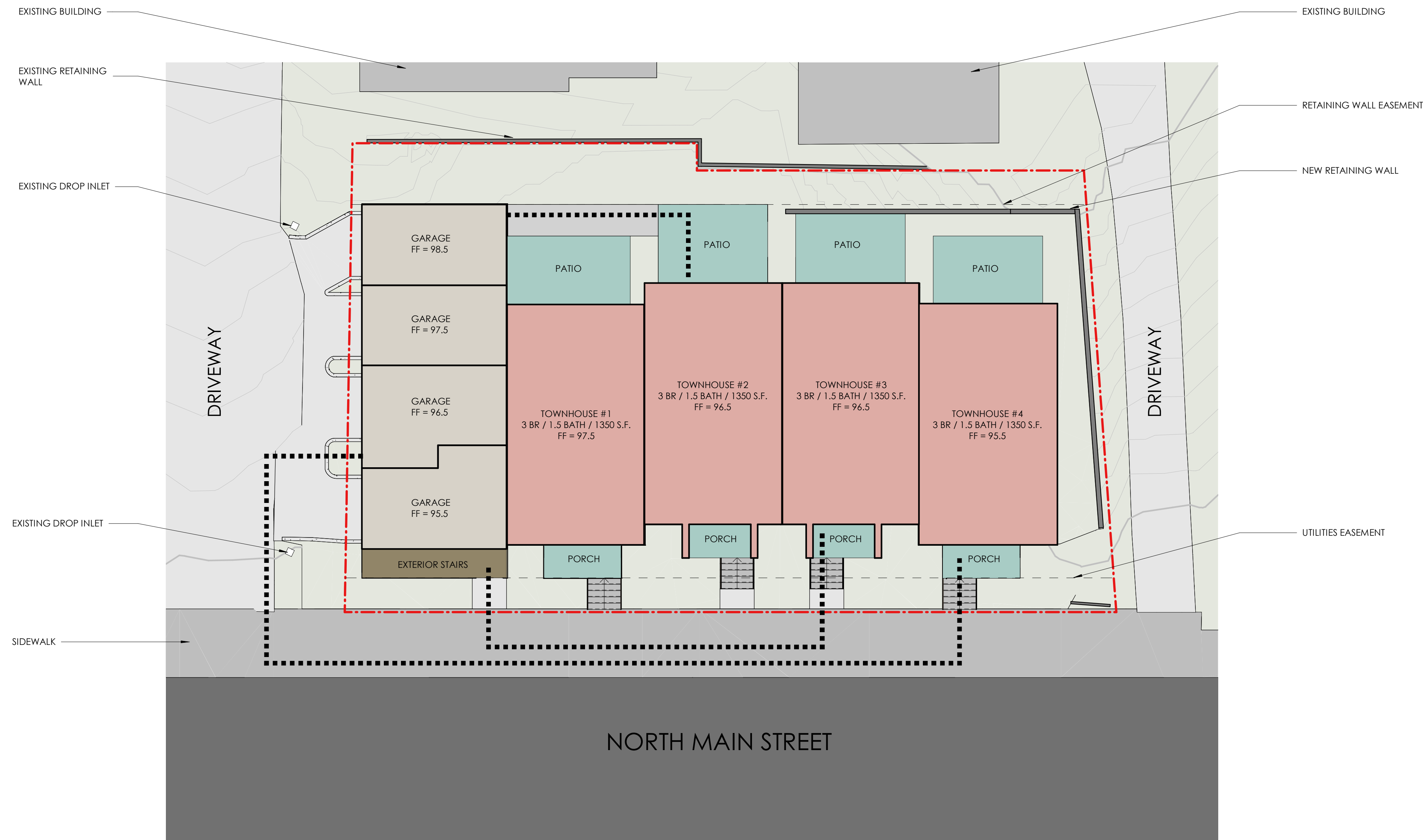
NOT FOR CONSTRUCTION

Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

Sheet Title:
SITE PLAN

SHEET NUMBER:

A1.1





1



2



3



4



5



6



7



8



9

PHOTOGRAPH DESCRIPTIONS

1. VIEW FROM NORTHWEST CORNER OF SITE LOOKING SOUTHEAST.
2. VIEW FROM NORTHWEST SIDE OF SITE LOOKING EAST.
3. VIEW FROM VIEW FROM WEST SIDE OF SITE LOOKING EAST.
4. VIEW FROM NORTH SIDE OF SITE LOOKING SOUTH.
5. VIEW FROM NORTHEAST CORNER OF SITE LOOKING SOUTHWEST.
6. VIEW FROM TOP OF DRIVEWAY ON NORTH END OF SITE.
7. VIEW FROM SOUTH SIDE OF SITE LOOKING NORTH.
8. VIEW FROM SOUTHWEST SIDE OF SITE LOOKING NORTHEAST.
9. VIEW FROM SOUTHWEST CORNER OF SITE LOOKING NORTHEAST.

NOT FOR
CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404
707.544.3920 | www.jfkarchitecture.com

PROJECT:

SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES

333 NORTH MAIN STREET
SEBASTOPOL, CA 95472



Description: Date:
CONCEPTUAL 07/16/21
PLANNING
REVIEW
DESIGN REVIEW 10/15/21
DESIGN REVIEW 01/10/22
RESUBMITTAL

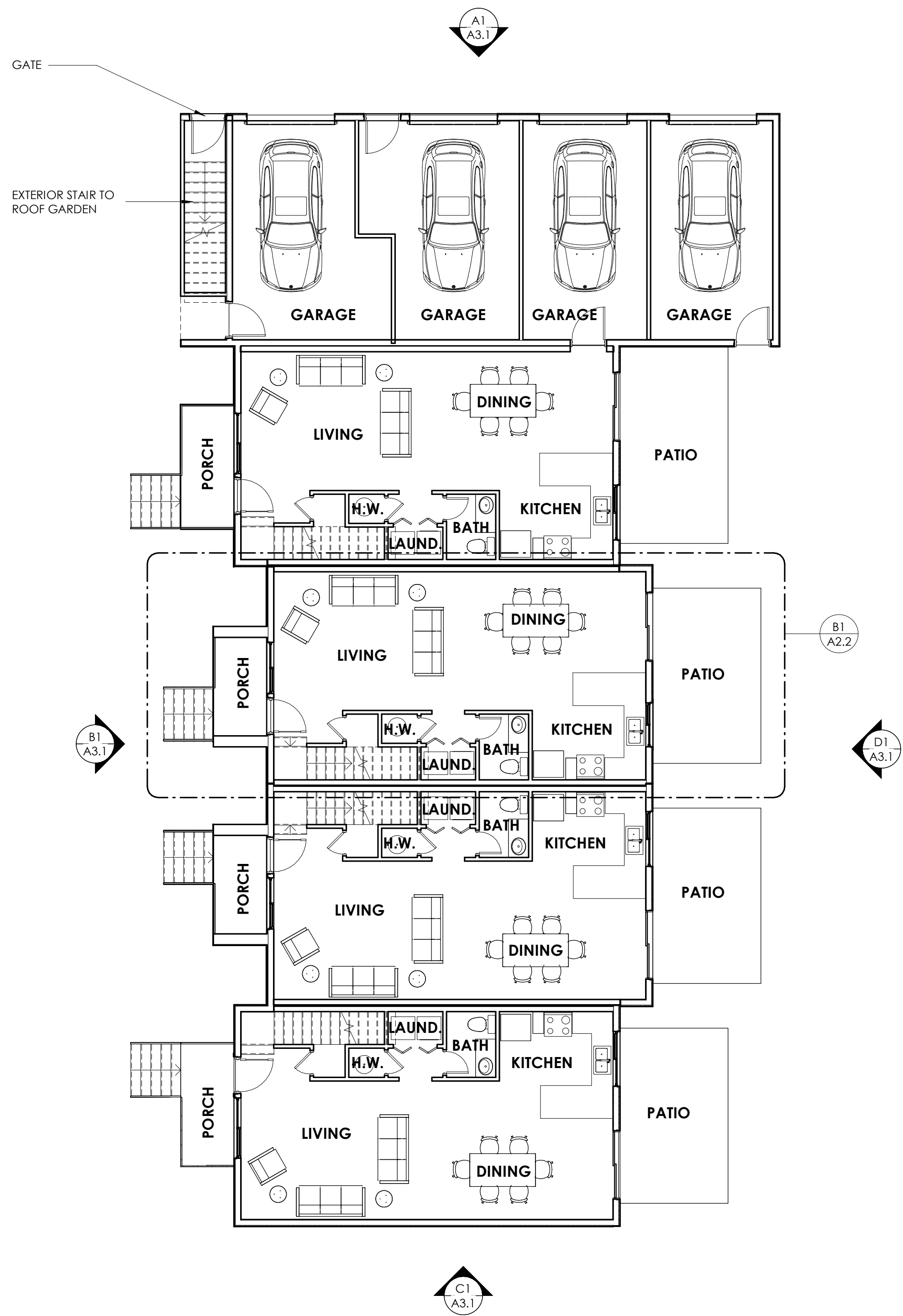
NOT FOR
CONSTRUCTION

Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

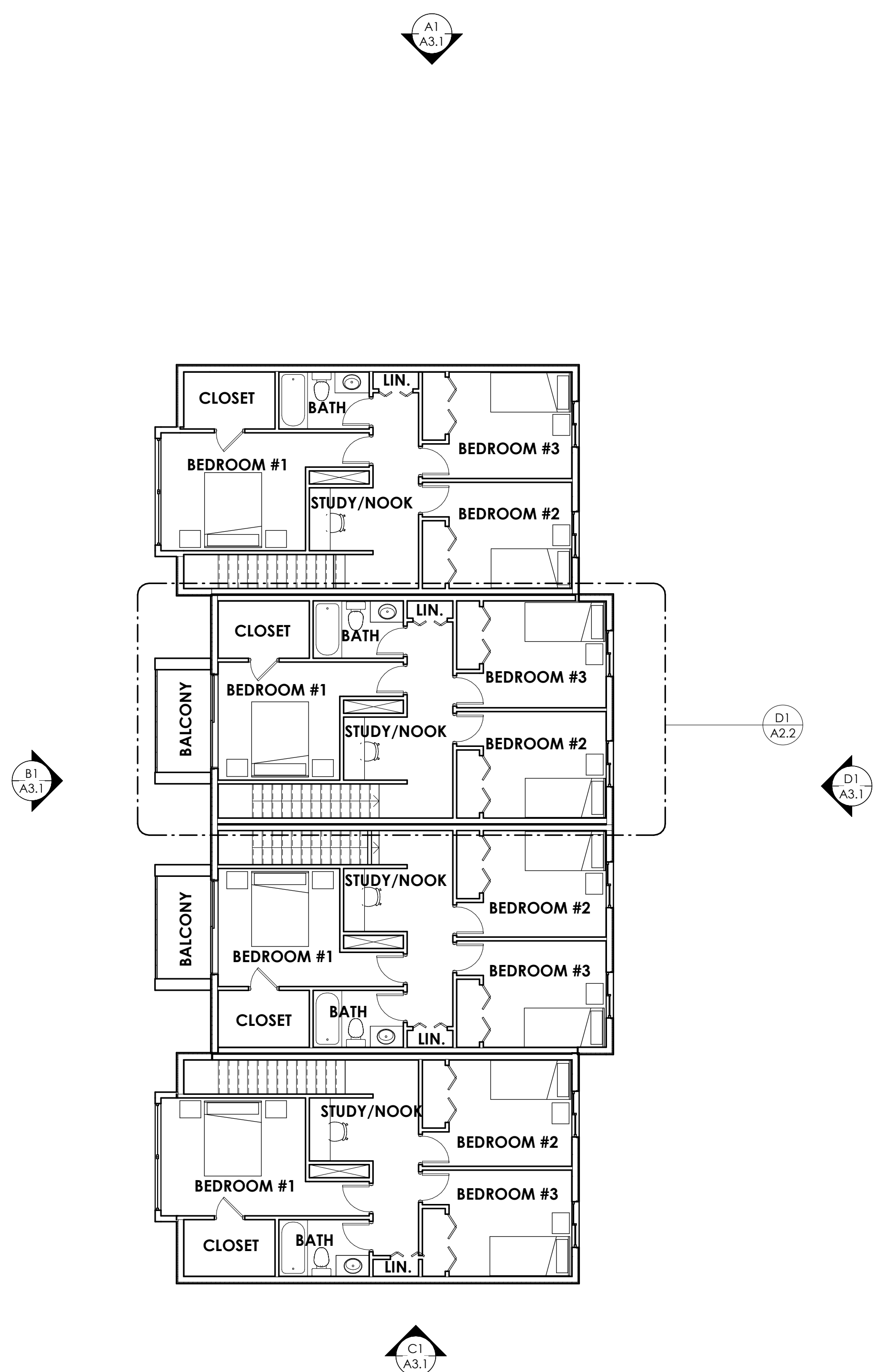
Sheet Title:
**EXISTING SITE
PHOTOGRAPHS**

SHEET NUMBER:

A1.2



D1 FIRST FLOOR PLAN
A2.1 SCALE: 1/8" = 1'-0"



D2 SECOND FLOOR PLAN
A2.1 SCALE: 1/8" = 1'-0"

NOT FOR
CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404
707.544.3920 | www.jkarchitecture.com

PROJECT:

SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES

333 NORTH MAIN STREET
SEBASTOPOL, CA 95472



Description: Date:
CONCEPTUAL PLANNING REVIEW 07/16/21
DESIGN REVIEW 10/15/21
DESIGN REVIEW 01/10/22
RESUBMITTAL

NOT FOR
CONSTRUCTION

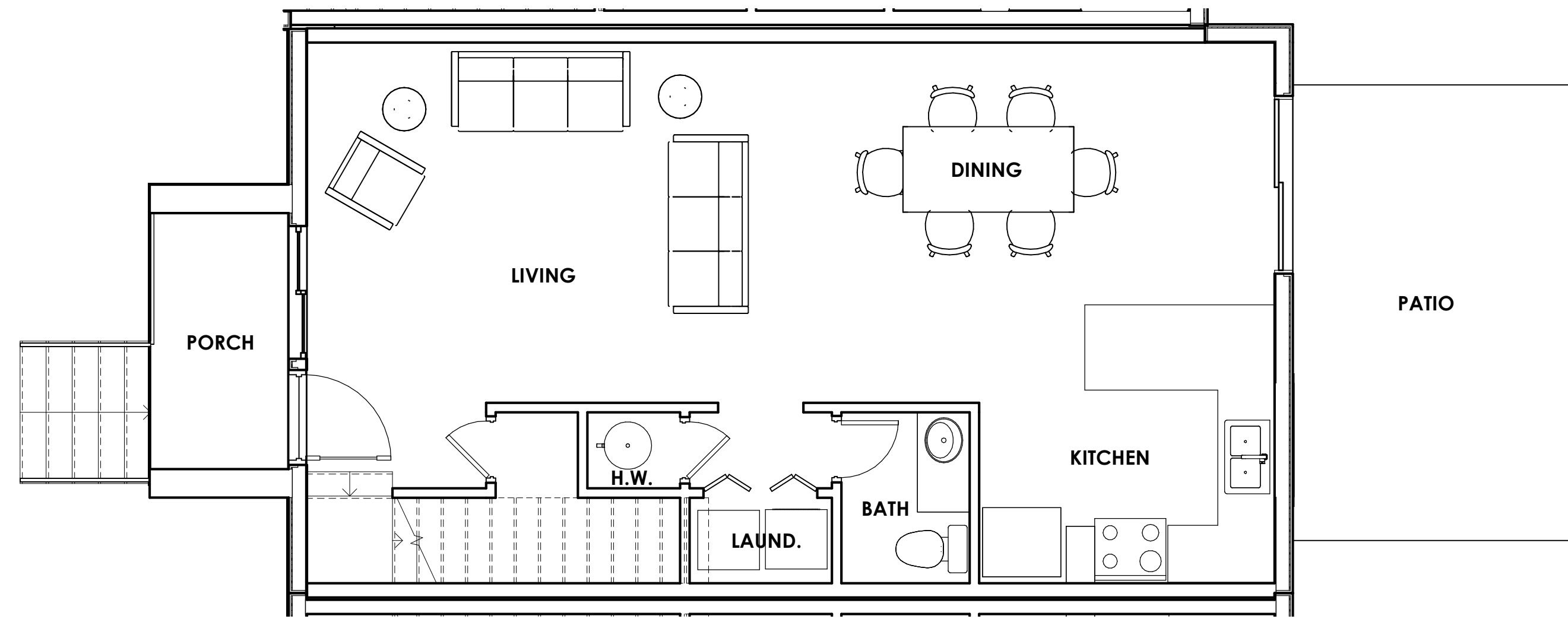
Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

Sheet Title:

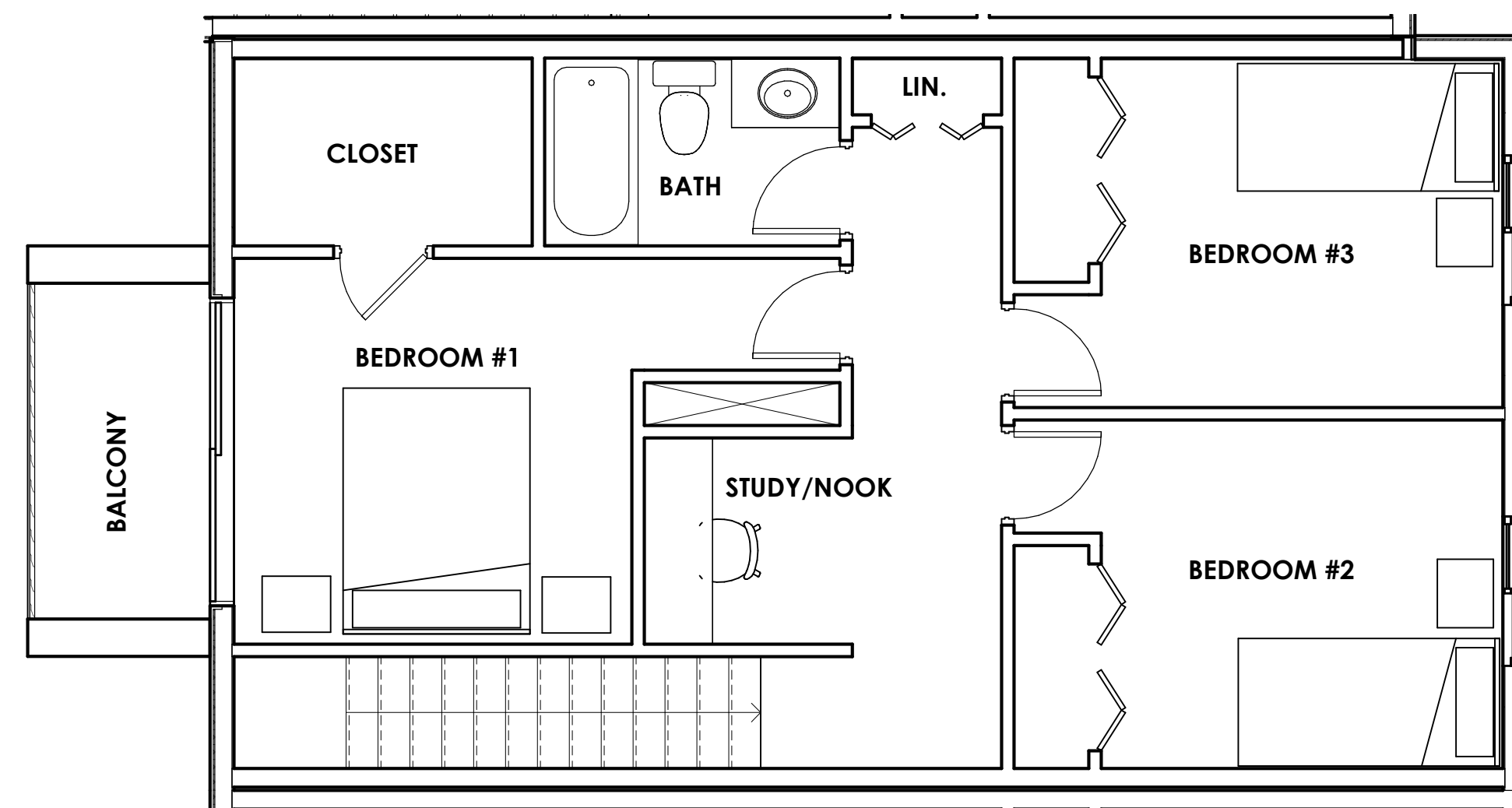
ENLARGED
PLANS

SHEET NUMBER:

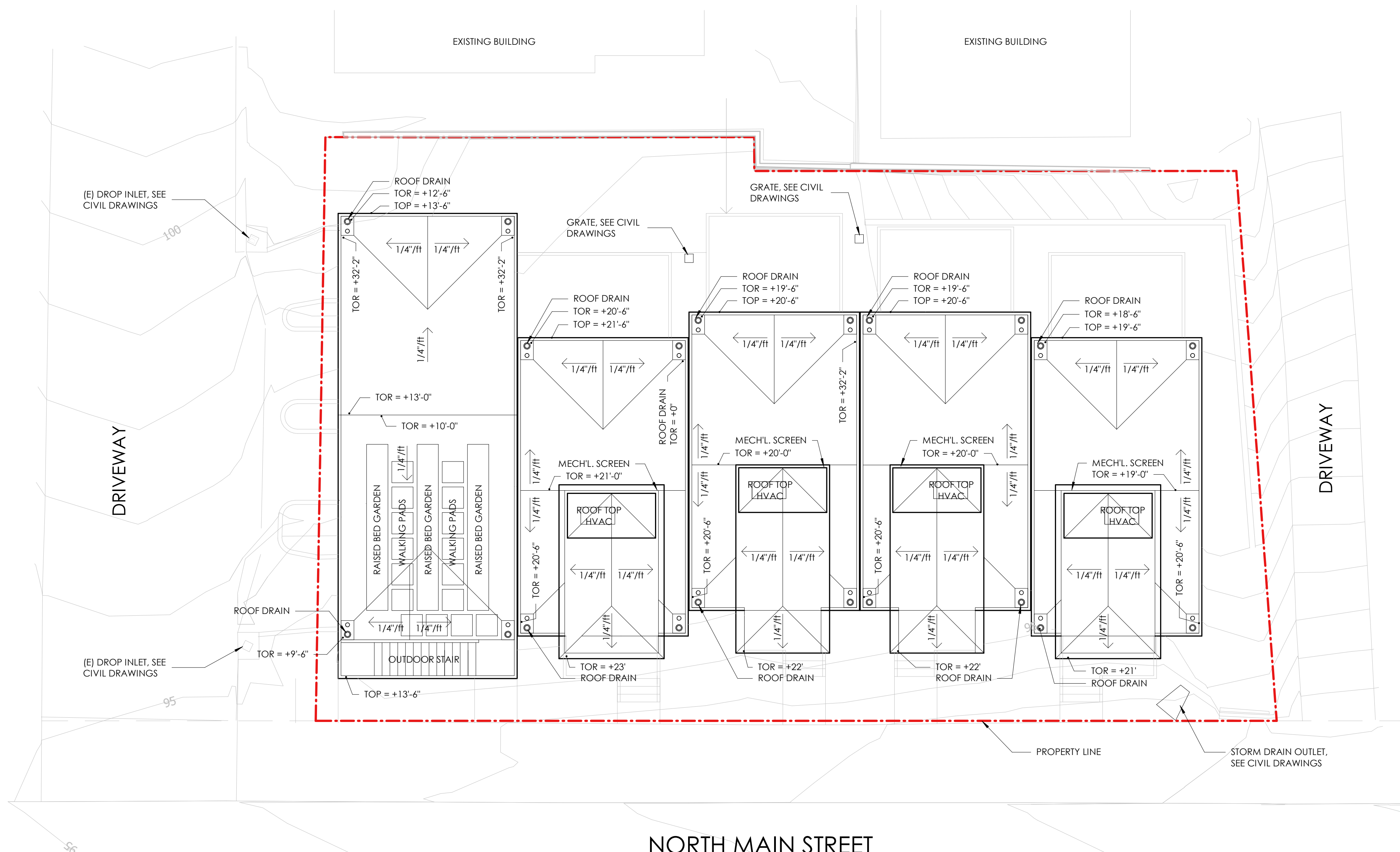
A2.2



B1 ENLARGED FIRST FLOOR PLAN
A2.2 SCALE: 1/4" = 1'-0"



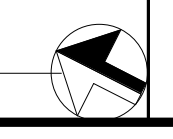
D1 ENLARGED SECOND FLOOR PLAN
A2.2 SCALE: 1/4" = 1'-0"



NOTES

1. TOP - TOP OF PARAPET
2. TOR - TOP OF ROOFING
3. ALL ELEVATIONS ARE REFERENCED TO FINISH FLOOR OF LOWER FLOOR LEVEL OF LOWEST TOWNHOUSE.
4. ROOF DRAINS TO TERMINATE AT SPLASH BLOCKS & SURFACE DRAIN TO CATCH BASINS OR SIDEWALK DRAINS AS SHOWN ON CIVIL DRAWINGS.
5. ALL ROOFING IS SINGLE PLY MEMBRANE ROOFING.

Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22
DESIGN REVIEW RESUBMITTAL	TBD



NOT FOR CONSTRUCTION

JKA
jeff katz
ARCHITECTURE

200 E STREET, SANTA ROSA, CA 95404
707.544.9920 | www.jkfkatzarchitecture.com

PROJECT:

SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES

333 NORTH MAIN STREET
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

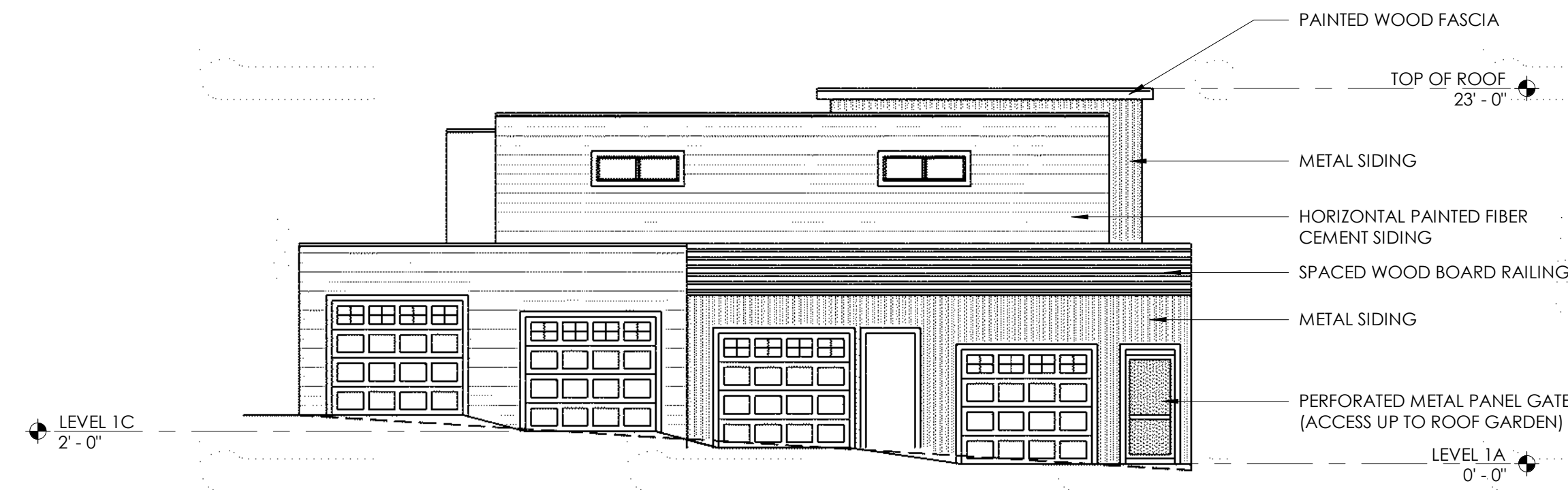
NOT FOR CONSTRUCTION

Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

Sheet Title:
EXTERIOR ELEVATIONS

SHEET NUMBER:

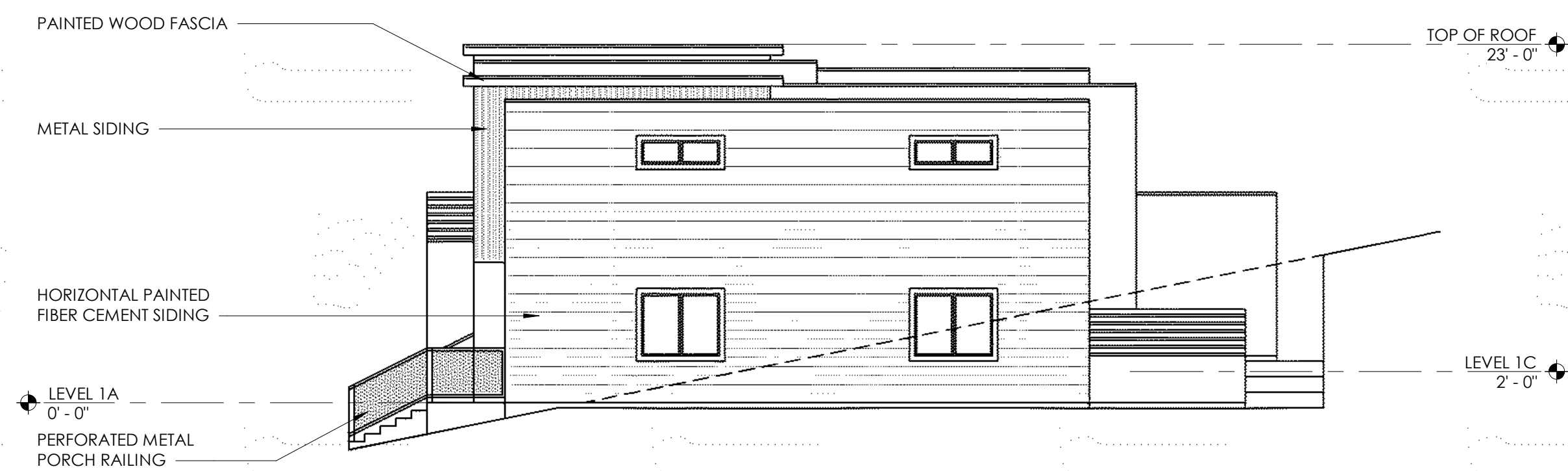
A3.1



A1 NORTH BUILDING ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



B1 WEST BUILDING ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



C1 SOUTH BUILDING ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



D1 EAST BUILDING ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



B1 VIEW FROM NORTH MAIN STREET LOOKING EAST
A3.2 N.T.S.



D1 VIEW FROM NORTH MAIN STREET LOOKING SOUTHEAST
A3.2 N.T.S.



D2 VIEW FROM NORTH MAIN STREET LOOKING NORTHEAST
A3.2 N.T.S.

NOT FOR CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404
707.544.3920 | www.jkarchitecture.com

PROJECT:

SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES

333 NORTH MAIN STREET
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

NOT FOR CONSTRUCTION

Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

Sheet Title:
SCHEMATIC RENDERINGS

SHEET NUMBER:

A3.2

NOT FOR
CONSTRUCTION



PROJECT:
SONOMA COUNTY
HABITAT FOR HUMANITY
SEBASTOPOL
TOWNHOUSES
333 NORTH MAIN STREET
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22
DESIGN REVIEW RESUBMITTAL	TBD

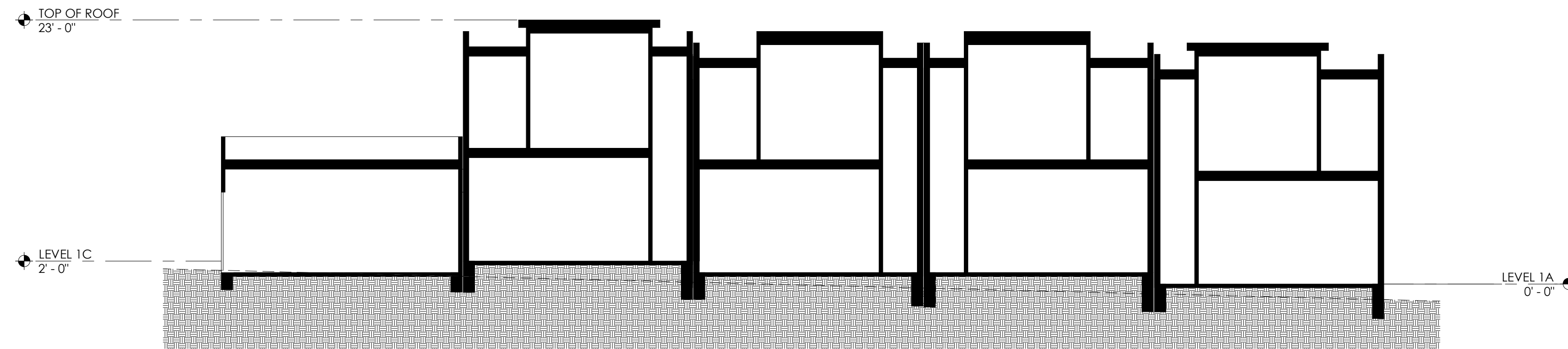
NOT FOR
CONSTRUCTION

Project Number: 210401
Approved By: JK
Checked By: JB
Drawn By: SC

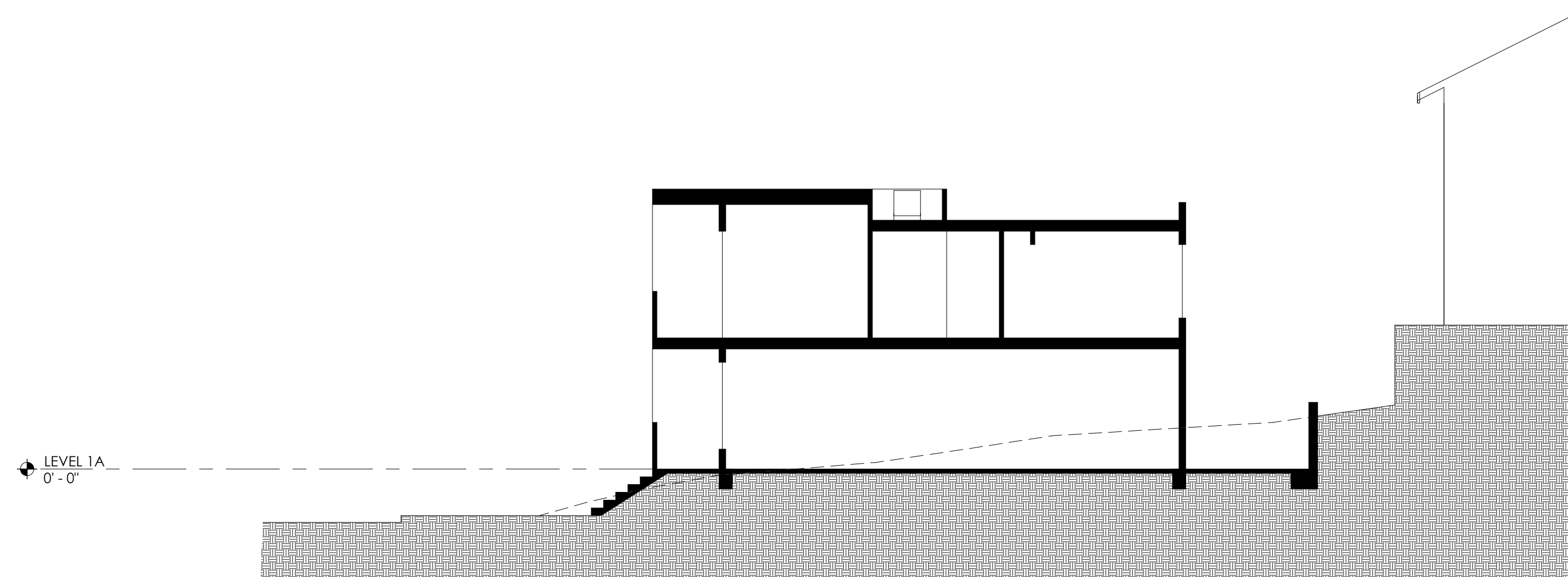
Sheet Title:
**BUILDING
SECTIONS**

SHEET NUMBER:

A4.1



B1 BUILDING SECTION
A4.1 SCALE: 1/8" = 1'-0"



D1 BUILDING SECTION
A4.1 SCALE: 1/8" = 1'-0"



BC Engineering Group
Civil Engineering & Land Planning

Drainage Analysis

FOR

Habitat for Humanity Sonoma County
333 North Main Street
Sebastopol, CA 95472

APN: 004-670-022

March 10, 2022

Prepared by



Thomas J. Billeter, P.E.
Job# 2157-21
707-542-4321
tb@bcengineeringgroup.com



Table of Contents

Drainage Study Narrative: 1
10 Storm Year Event Analysis: 1
Conclusion 1
Appendix A: Hydrology Calculations A
Appendix B: Open Channel Flow Calculations & Inlet Capacity Calculations B
Appendix C: Hydrology Map C



Drainage Study Narrative:

This drainage study was conducted for a project proposing four new townhouses and four new garages at 333 North Main Street in Sebastopol, CA. The project is located approximately 300' south along North Main Street from the intersection of North Main Street and Healdsburg Avenue. The Assessor's parcel number of the 0.17 acre parcel is 004-670-022. Per the USDA NRCS, the existing onsite soil in the area of the proposed improvements consist of Sebastopol sandy loam SbC (hydrologic soil group C).

Storm drain pipes are proposed to collect and transport stormwater runoff from the proposed improvements and associated grading. Storm drain pipes are located in such a manner as to prevent water from being diverted from one watershed to another.

10 Storm Year Event Analysis:

Hydrology analysis was performed according to the Sonoma Water Flood Management Design Manual (FMDM). The subject manual requires this type of project to perform hydrology and hydraulic analysis based on the 10 year storm. Eight hydrology areas were analyzed, numbered 1 through 8.

Factors used in the hydrology calculations for the 100 year storm event are based on the Sonoma County Water Agency's flood design manual:

- 3.02-4.36 Intensity (Inches / hour, NOAA Website-see Appendix)
- 0.73 C-factor (Table C-1)
- 10 Time of Concentration (minutes, Equation 3.4)

Open channel flow analysis for pipe sizing was completed using the Federal Highway Administration Hydraulic Toolbox. Refer to the grading and drainage plans for swale and pipe slopes and lengths. The maximum stormwater flow received by each pipe is used in the analysis.

Conclusion

These calculations demonstrate that the proposed storm drain pipes have the capacity to transport the 10 year storm event.



BC Engineering Group
Civil Engineering & Land Planning

Appendix A: Hydrology Calculations

Table C-1. Runoff Coefficients (Cs) (Incremental Rational Method)

Land Use	Lot Size (acres)	Impervious Fraction	Average Slope (%)			
			0-2	>2-6	>6-12	>12
Soil Type A						
Residential ¹						
Rural		0.03	0.24	0.28	0.34	0.38
Very low density	2	0.11	0.29	0.34	0.38	0.42
	1	0.24	0.38	0.42	0.46	0.49
Low density	1/2	0.32	0.43	0.47	0.50	0.53
	1/3	0.41	0.50	0.53	0.56	0.58
Medium-low density	1/4	0.49	0.55	0.58	0.60	0.62
Medium density	1/8	0.70	0.70	0.71	0.73	0.74
Medium-high density	1/18	1	0.90	0.90	0.90	0.90
Business, commercial, etc.		1	0.90	0.90	0.90	0.90
General industrial		1	0.90	0.90	0.90	0.90
Parks and recreation		0.05	0.25	0.25	0.30	0.35
Ag and open space		0.02	0.23	0.23	0.28	0.33
Soil Type B						
Residential ¹						
Rural		0.03	0.28	0.33	0.39	0.43
Very low density	2	0.11	0.34	0.38	0.43	0.47
	1	0.24	0.42	0.45	0.50	0.53
Low density	1/2	0.32	0.47	0.50	0.54	0.57
	1/3	0.41	0.53	0.56	0.59	0.61
Medium-low density	1/4	0.49	0.58	0.60	0.63	0.65
Medium density	1/8	0.70	0.71	0.73	0.74	0.76
Medium-high density	1/18	1	0.90	0.90	0.90	0.90
Business, commercial, etc.		1	0.90	0.90	0.90	0.90
General industrial		1	0.90	0.90	0.90	0.90
Parks and recreation		0.05	0.25	0.30	0.34	0.40
Ag and open space		0.02	0.23	0.28	0.33	0.38
Soil Type C						
Residential ¹						
Rural		0.03	0.33	0.38	0.43	0.47
Very low density	2	0.11	0.38	0.42	0.47	0.51
	1	0.24	0.45	0.49	0.53	0.57
Low density	1/2	0.32	0.50	0.53	0.57	0.60

Land Use	Lot Size (acres)	Impervious Fraction	Average Slope (%)			
			0-2	>2-6	>6-12	>12
	1/3	0.41	0.56	0.59	0.62	0.64
Medium-low density	1/4	0.49	0.60	0.63	0.65	0.68
Medium density	1/8	0.70	0.73	0.74	0.76	0.77
Medium-high density	1/18	1	0.90	0.90	0.90	0.90
Business, commercial, etc.		1	0.90	0.90	0.90	0.90
General industrial		1	0.90	0.90	0.90	0.90
Parks and recreation		0.05	0.34	0.39	0.44	0.48
Ag and open space		0.02	0.33	0.38	0.43	0.47
Soil Type D						
Residential ¹						
Rural		0.03	0.38	0.43	0.48	0.52
Very low density	2	0.11	0.42	0.47	0.52	0.55
	1	0.24	0.49	0.53	0.57	0.60
Low density	1/2	0.32	0.54	0.57	0.61	0.63
	1/3	0.41	0.59	0.62	0.65	0.67
Medium-low density	1/4	0.49	0.63	0.65	0.68	0.70
Medium density	1/8	0.70	0.74	0.76	0.77	0.78
Medium-high density	1/18	1	0.90	0.90	0.90	0.90
Business, commercial		1	0.90	0.90	0.90	0.90
General industrial		1	0.90	0.90	0.90	0.90
Parks and recreation		0.05	0.39	0.44	0.49	0.53
Ag and open space		0.02	0.38	0.42	0.48	0.52

¹ Percent impervious values are based on analysis conducted by ESA for Sonoma County Water Agency (Sonoma Water) in 2014, using a sample of existing developed areas.

² For residential areas, composite C values were developed as follows: C values for soil type from Los Angeles County Hydrology Manual (1991) were modified for slope using the vegetated areas curve from Plate B-1 of SCWA (1983) for pervious areas within a given slope range and a C of 0.90 for all impervious areas.

Source: Approach adapted from McCuen 1989



NOAA Atlas 14, Volume 6, Version 2
Location name: Sebastopol, California, USA*
Latitude: 38.4042°, Longitude: -122.8254°
Elevation: 91.07 ft**



* source: ESRI Maps
 ** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Tryppaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps_&_aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	2.42 (2.16-2.76)	2.96 (2.64-3.37)	3.66 (3.24-4.18)	4.21 (3.70-4.86)	4.96 (4.18-5.94)	5.52 (4.54-6.78)	6.08 (4.85-7.69)	6.65 (5.14-8.70)	7.40 (5.45-10.2)	7.98 (5.64-11.4)
10-min	1.74 (1.55-1.97)	2.13 (1.89-2.42)	2.62 (2.32-2.99)	3.02 (2.65-3.48)	3.55 (2.99-4.26)	3.95 (3.25-4.86)	4.36 (3.48-5.51)	4.76 (3.68-6.23)	5.30 (3.90-7.29)	5.72 (4.04-8.18)
15-min	1.40 (1.25-1.59)	1.72 (1.52-1.95)	2.12 (1.87-2.41)	2.44 (2.14-2.81)	2.86 (2.41-3.44)	3.19 (2.62-3.92)	3.51 (2.80-4.44)	3.84 (2.96-5.02)	4.28 (3.15-5.88)	4.61 (3.26-6.59)
30-min	0.938 (0.834-1.07)	1.15 (1.02-1.30)	1.41 (1.25-1.61)	1.63 (1.43-1.88)	1.92 (1.61-2.30)	2.13 (1.75-2.62)	2.35 (1.87-2.97)	2.57 (1.98-3.36)	2.86 (2.10-3.93)	3.08 (2.18-4.41)
60-min	0.616 (0.548-0.699)	0.752 (0.668-0.855)	0.928 (0.822-1.06)	1.07 (0.937-1.23)	1.26 (1.06-1.51)	1.40 (1.15-1.72)	1.54 (1.23-1.95)	1.69 (1.30-2.20)	1.88 (1.38-2.58)	2.02 (1.43-2.89)
2-hr	0.452 (0.402-0.514)	0.550 (0.489-0.626)	0.674 (0.597-0.768)	0.771 (0.676-0.888)	0.898 (0.756-1.08)	0.992 (0.814-1.22)	1.08 (0.864-1.37)	1.17 (0.907-1.54)	1.29 (0.950-1.78)	1.38 (0.975-1.97)
3-hr	0.374 (0.332-0.424)	0.454 (0.404-0.516)	0.555 (0.492-0.633)	0.633 (0.555-0.729)	0.734 (0.619-0.880)	0.809 (0.664-0.994)	0.880 (0.703-1.11)	0.951 (0.735-1.24)	1.04 (0.766-1.43)	1.11 (0.783-1.59)
6-hr	0.277 (0.246-0.314)	0.338 (0.300-0.384)	0.413 (0.366-0.471)	0.471 (0.413-0.542)	0.544 (0.458-0.652)	0.597 (0.490-0.734)	0.647 (0.517-0.819)	0.697 (0.538-0.911)	0.759 (0.558-1.04)	0.804 (0.568-1.15)
12-hr	0.190 (0.169-0.215)	0.238 (0.211-0.270)	0.295 (0.262-0.337)	0.339 (0.297-0.390)	0.394 (0.332-0.472)	0.432 (0.355-0.531)	0.469 (0.374-0.593)	0.504 (0.389-0.659)	0.548 (0.403-0.753)	0.580 (0.409-0.829)
24-hr	0.124 (0.111-0.140)	0.159 (0.143-0.180)	0.201 (0.180-0.229)	0.232 (0.206-0.266)	0.271 (0.234-0.320)	0.298 (0.252-0.359)	0.324 (0.268-0.399)	0.348 (0.281-0.440)	0.378 (0.294-0.496)	0.400 (0.301-0.541)
2-day	0.088 (0.079-0.100)	0.113 (0.101-0.128)	0.143 (0.128-0.162)	0.165 (0.146-0.189)	0.192 (0.166-0.227)	0.211 (0.179-0.254)	0.229 (0.189-0.282)	0.245 (0.198-0.310)	0.266 (0.207-0.349)	0.281 (0.212-0.381)
3-day	0.068 (0.061-0.077)	0.087 (0.078-0.099)	0.109 (0.098-0.125)	0.126 (0.112-0.145)	0.147 (0.127-0.174)	0.161 (0.136-0.194)	0.175 (0.145-0.215)	0.187 (0.151-0.237)	0.203 (0.158-0.266)	0.214 (0.161-0.290)
4-day	0.057 (0.051-0.065)	0.073 (0.065-0.083)	0.091 (0.082-0.104)	0.105 (0.094-0.121)	0.123 (0.106-0.145)	0.134 (0.114-0.162)	0.146 (0.121-0.179)	0.156 (0.126-0.197)	0.169 (0.132-0.222)	0.178 (0.134-0.241)
7-day	0.041 (0.037-0.046)	0.052 (0.047-0.059)	0.065 (0.058-0.074)	0.075 (0.067-0.086)	0.087 (0.075-0.103)	0.095 (0.081-0.115)	0.103 (0.085-0.127)	0.111 (0.089-0.140)	0.120 (0.093-0.157)	0.126 (0.095-0.171)
10-day	0.032 (0.029-0.037)	0.041 (0.037-0.047)	0.052 (0.046-0.059)	0.059 (0.053-0.068)	0.069 (0.060-0.082)	0.076 (0.064-0.091)	0.082 (0.068-0.101)	0.088 (0.071-0.111)	0.095 (0.074-0.124)	0.100 (0.075-0.135)
20-day	0.022 (0.019-0.024)	0.027 (0.025-0.031)	0.034 (0.031-0.039)	0.040 (0.035-0.045)	0.046 (0.040-0.054)	0.050 (0.042-0.060)	0.054 (0.045-0.067)	0.058 (0.047-0.073)	0.062 (0.049-0.082)	0.066 (0.049-0.089)
30-day	0.017 (0.016-0.020)	0.022 (0.020-0.025)	0.028 (0.025-0.031)	0.032 (0.028-0.036)	0.036 (0.031-0.043)	0.040 (0.034-0.048)	0.043 (0.036-0.053)	0.046 (0.037-0.058)	0.049 (0.038-0.065)	0.052 (0.039-0.070)
45-day	0.014 (0.013-0.016)	0.018 (0.016-0.020)	0.022 (0.020-0.026)	0.026 (0.023-0.029)	0.030 (0.026-0.035)	0.032 (0.027-0.039)	0.035 (0.029-0.043)	0.037 (0.030-0.047)	0.040 (0.031-0.052)	0.042 (0.031-0.056)
60-day	0.013 (0.011-0.014)	0.016 (0.014-0.018)	0.020 (0.018-0.023)	0.023 (0.020-0.026)	0.026 (0.022-0.031)	0.028 (0.024-0.034)	0.030 (0.025-0.037)	0.032 (0.026-0.041)	0.035 (0.027-0.045)	0.036 (0.027-0.049)

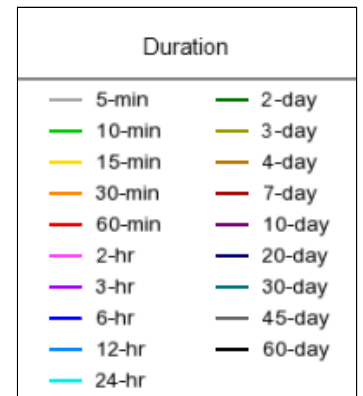
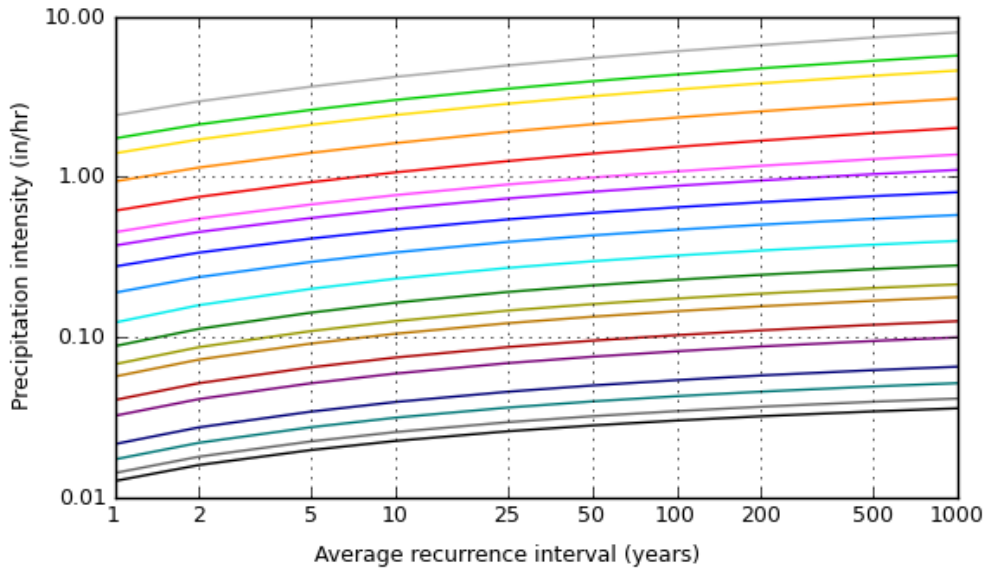
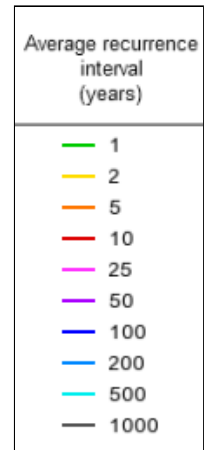
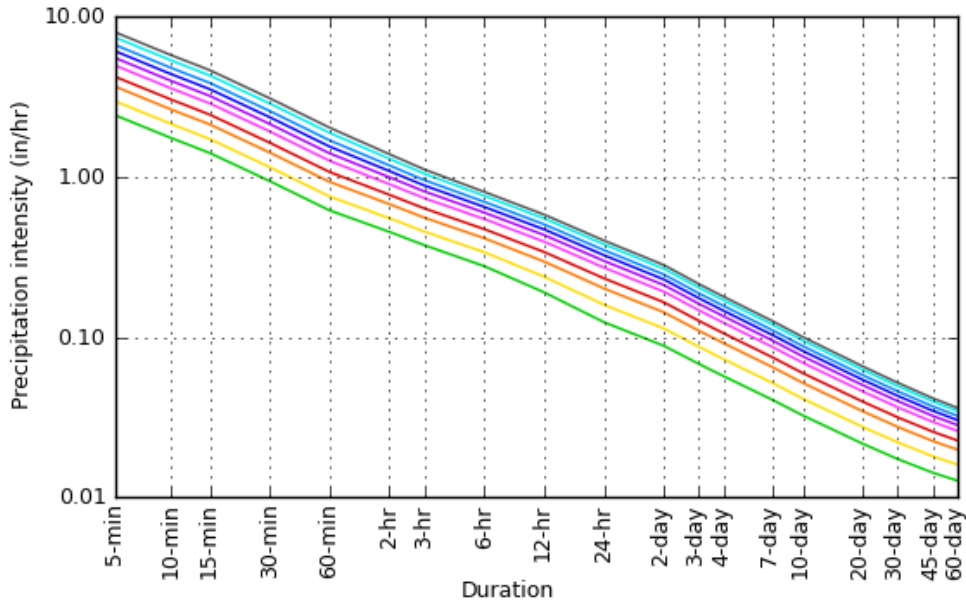
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

PDS-based intensity-duration-frequency (IDF) curves

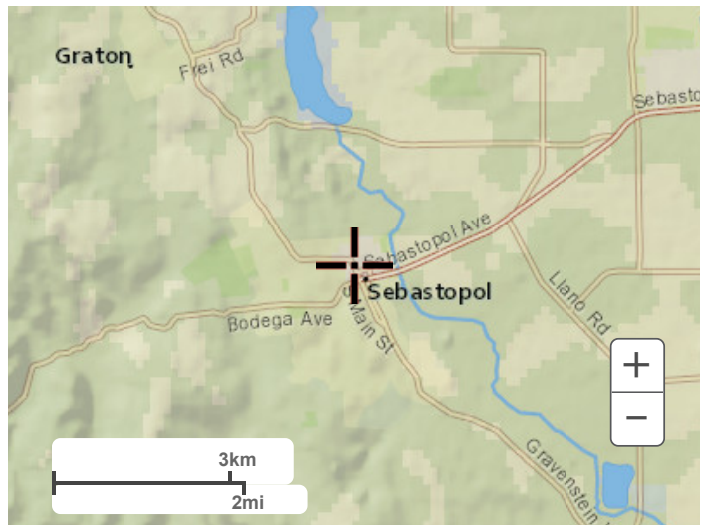
Latitude: 38.4042°, Longitude: -122.8254°



[Back to Top](#)

Maps & aerials

Small scale terrain



Large scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)



BC Engineering Group
Civil Engineering & Land Planning

Appendix B: Open Channel Flow Calculations

Hydraulic Analysis Report

Project Data

Project Title: 2157-21
Designer:
Project Date: March 9, 2021
Project Units: U.S. Customary Units
Notes:

Channel Analysis: Pipe 1

Notes: Receives Area 1

Input Parameters

Channel Type: Circular
Pipe Diameter: 0.3330 ft
Longitudinal Slope: 0.0190 ft/ft
Manning's n: 0.0120
Flow: 0.1900 cfs

Result Parameters

Depth: 0.1995 ft
Area of Flow: 0.0545 ft²
Wetted Perimeter: 0.5895 ft
Hydraulic Radius: 0.0924 ft
Average Velocity: 3.4883 ft/s
Top Width: 0.3264 ft
Froude Number: 1.5048
Critical Depth: 0.2460 ft
Critical Velocity: 2.7545 ft/s
Critical Slope: 0.0106 ft/ft
Critical Top Width: 0.29 ft
Calculated Max Shear Stress: 0.2365 lb/ft²
Calculated Avg Shear Stress: 0.1095 lb/ft²

Channel Analysis: Pipe 2

Notes: Receives Area 1

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.5000 ft

Longitudinal Slope: 0.0100 ft/ft

Manning's n: 0.0120

Flow: 0.1900 cfs

Result Parameters

Depth: 0.1920 ft

Area of Flow: 0.0694 ft²

Wetted Perimeter: 0.6683 ft

Hydraulic Radius: 0.1039 ft

Average Velocity: 2.7364 ft/s

Top Width: 0.4864 ft

Froude Number: 1.2763

Critical Depth: 0.2180 ft

Critical Velocity: 2.3107 ft/s

Critical Slope: 0.0063 ft/ft

Critical Top Width: 0.50 ft

Calculated Max Shear Stress: 0.1198 lb/ft²

Calculated Avg Shear Stress: 0.0648 lb/ft²

Channel Analysis: Pipe 3

Notes: Receives Areas 1 & 8

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.2500 ft

Longitudinal Slope: 0.0200 ft/ft

Manning's n: 0.0120

Flow: 0.1100 cfs

Result Parameters

Depth: 0.1711 ft

Area of Flow: 0.0358 ft²

Wetted Perimeter: 0.4871 ft

Hydraulic Radius: 0.0735 ft

Average Velocity: 3.0727 ft/s

Top Width: 0.2324 ft

Froude Number: 1.3797

Critical Depth: 0.2003 ft

Critical Velocity: 2.6090 ft/s

Critical Slope: 0.0138 ft/ft

Critical Top Width: 0.20 ft

Calculated Max Shear Stress: 0.2135 lb/ft²

Calculated Avg Shear Stress: 0.0917 lb/ft²

Channel Analysis: Pipe 4

Notes: Receives Area 7

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.2500 ft

Longitudinal Slope: 0.0200 ft/ft

Manning's n: 0.0120

Flow: 0.0200 cfs

Result Parameters

Depth: 0.0649 ft

Area of Flow: 0.0101 ft²

Wetted Perimeter: 0.2674 ft

Hydraulic Radius: 0.0379 ft

Average Velocity: 1.9750 ft/s

Top Width: 0.2192 ft

Froude Number: 1.6194

Critical Depth: 0.0833 ft

Critical Velocity: 1.3982 ft/s

Critical Slope: 0.0076 ft/ft

Critical Top Width: 0.24 ft

Calculated Max Shear Stress: 0.0810 lb/ft²

Calculated Avg Shear Stress: 0.0473 lb/ft²

Channel Analysis: Pipe 5

Notes: Receives Area 6

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.2500 ft

Longitudinal Slope: 0.0200 ft/ft

Manning's n: 0.0120

Flow: 0.0300 cfs

Result Parameters

Depth: 0.0800 ft

Area of Flow: 0.0135 ft²

Wetted Perimeter: 0.3006 ft

Hydraulic Radius: 0.0450 ft

Average Velocity: 2.2165 ft/s

Top Width: 0.2332 ft

Froude Number: 1.6214

Critical Depth: 0.1028 ft

Critical Velocity: 1.5774 ft/s

Critical Slope: 0.0078 ft/ft

Critical Top Width: 0.25 ft

Calculated Max Shear Stress: 0.0998 lb/ft²

Calculated Avg Shear Stress: 0.0562 lb/ft²

Channel Analysis: Pipe 6

Notes: Receives Area 5

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.2500 ft

Longitudinal Slope: 0.0200 ft/ft

Manning's n: 0.0120

Flow: 0.0200 cfs

Result Parameters

Depth: 0.0649 ft

Area of Flow: 0.0101 ft²

Wetted Perimeter: 0.2674 ft

Hydraulic Radius: 0.0379 ft

Average Velocity: 1.9750 ft/s

Top Width: 0.2192 ft

Froude Number: 1.6194

Critical Depth: 0.0833 ft

Critical Velocity: 1.3982 ft/s

Critical Slope: 0.0076 ft/ft

Critical Top Width: 0.24 ft

Calculated Max Shear Stress: 0.0810 lb/ft²

Calculated Avg Shear Stress: 0.0473 lb/ft²

Channel Analysis: Pipe 7

Notes: Receives Area 4

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.2500 ft

Longitudinal Slope: 0.0200 ft/ft

Manning's n: 0.0120

Flow: 0.0300 cfs

Result Parameters

Depth: 0.0800 ft

Area of Flow: 0.0135 ft²

Wetted Perimeter: 0.3006 ft

Hydraulic Radius: 0.0450 ft

Average Velocity: 2.2165 ft/s

Top Width: 0.2332 ft

Froude Number: 1.6214

Critical Depth: 0.1028 ft

Critical Velocity: 1.5774 ft/s

Critical Slope: 0.0078 ft/ft

Critical Top Width: 0.25 ft

Calculated Max Shear Stress: 0.0998 lb/ft²

Calculated Avg Shear Stress: 0.0562 lb/ft²

Channel Analysis: Pipe 8

Notes: Receives Area #3

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.2500 ft

Longitudinal Slope: 0.0200 ft/ft

Manning's n: 0.0120

Flow: 0.0400 cfs

Result Parameters

Depth: 0.0931 ft

Area of Flow: 0.0167 ft²

Wetted Perimeter: 0.3282 ft

Hydraulic Radius: 0.0508 ft

Average Velocity: 2.4009 ft/s

Top Width: 0.2417 ft

Froude Number: 1.6116

Critical Depth: 0.1194 ft

Critical Velocity: 1.7286 ft/s

Critical Slope: 0.0082 ft/ft

Critical Top Width: 0.25 ft

Calculated Max Shear Stress: 0.1162 lb/ft²

Calculated Avg Shear Stress: 0.0633 lb/ft²

Channel Analysis: Pipe 9

Notes: Receives Area 2

Input Parameters

Channel Type: Circular

Pipe Diameter: 0.5000 ft

Longitudinal Slope: 0.0100 ft/ft

Manning's n: 0.0120

Flow: 0.0400 cfs

Result Parameters

Depth: 0.0869 ft

Area of Flow: 0.0229 ft²

Wetted Perimeter: 0.4300 ft

Hydraulic Radius: 0.0531 ft

Average Velocity: 1.7505 ft/s

Top Width: 0.3789 ft

Froude Number: 1.2562

Critical Depth: 0.0977 ft

Critical Velocity: 1.4802 ft/s

Critical Slope: 0.0062 ft/ft

Critical Top Width: 0.40 ft

Calculated Max Shear Stress: 0.0542 lb/ft²

Calculated Avg Shear Stress: 0.0332 lb/ft²

Channel Analysis: Existing Curb & Gutter

Notes:

Input Parameters

Channel Type: Custom Cross Section

Longitudinal Slope: 0.0160 ft/ft

Flow: 0.2200 cfs

Result Parameters

Depth: 0.1362 ft

Area of Flow: 0.1034 ft²

Wetted Perimeter: 1.6402 ft

Hydraulic Radius: 0.0631 ft

Average Velocity: 2.1270 ft/s

Top Width: 1.5186 ft

Froude Number: 1.4363

Critical Depth: 0.1574 ft

Critical Velocity: 1.5927 ft/s

Critical Slope: 0.0074 ft/ft

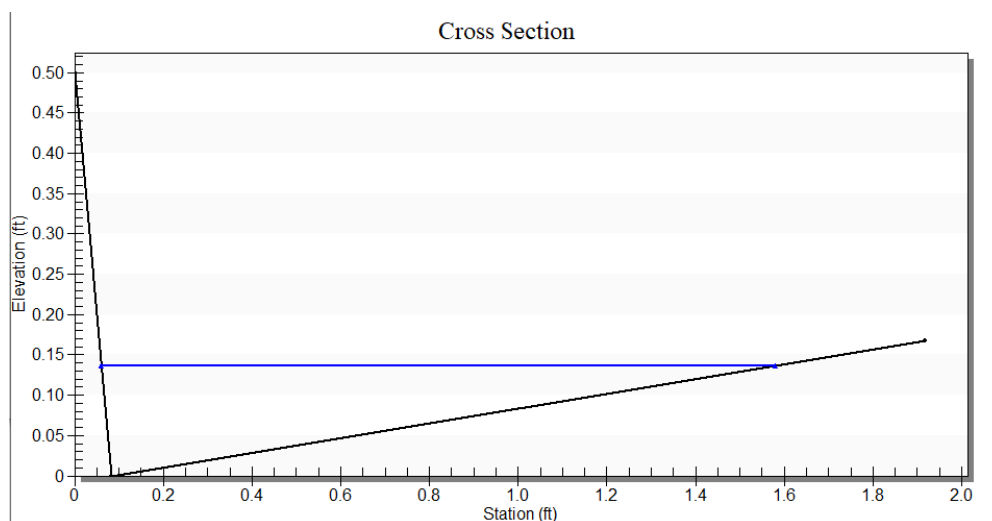
Critical Top Width: 1.75 ft

Calculated Max Shear Stress: 0.1360 lb/ft²

Calculated Avg Shear Stress: 0.0630 lb/ft²

Composite Manning's n Equation: Lotter method

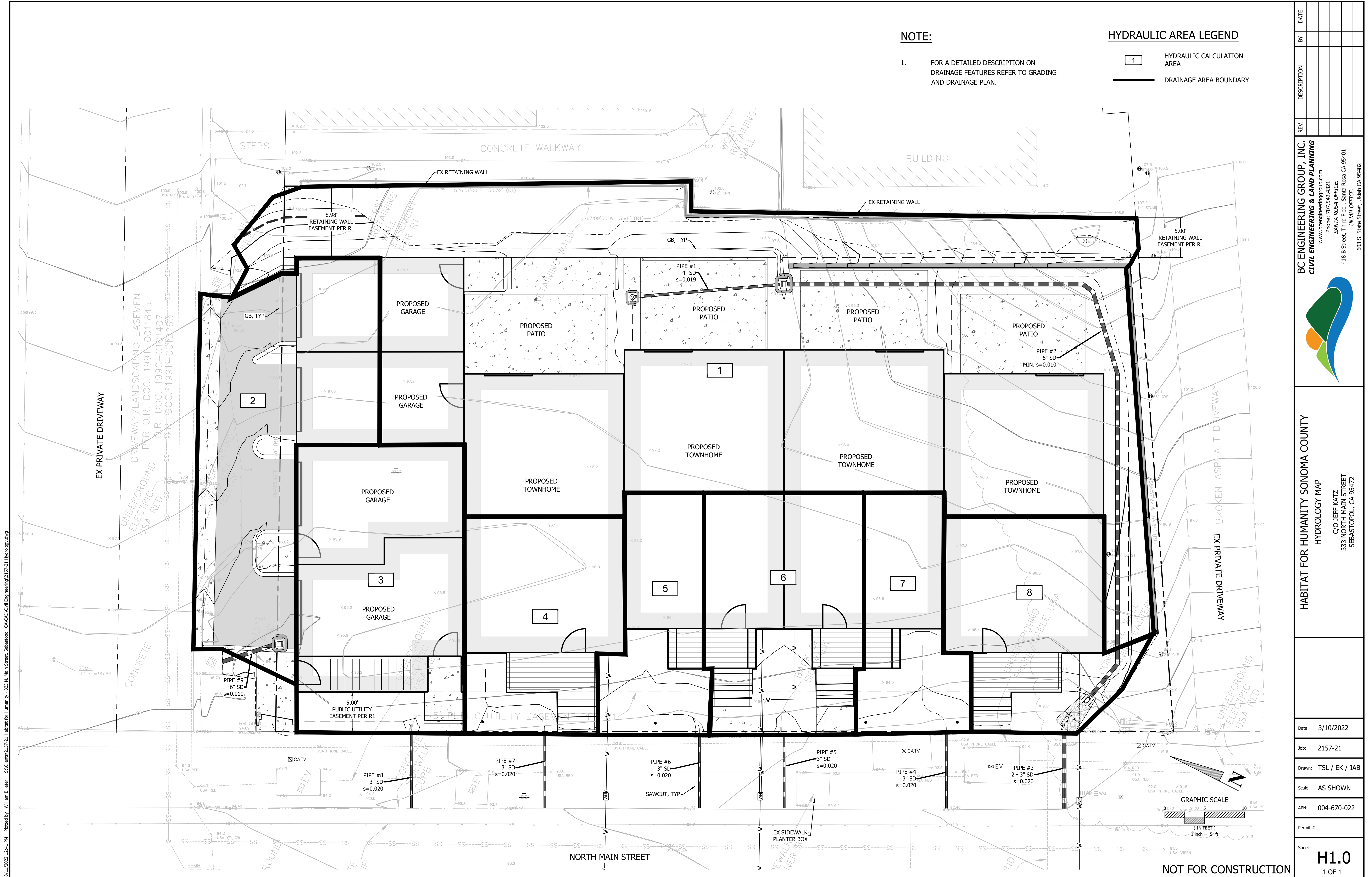
Manning's n: 0.0140





BC Engineering Group
Civil Engineering & Land Planning

Appendix C: Hydrology Map



NOTE:

- FOR A DETAILED DESCRIPTION ON DRAINAGE FEATURES REFER TO GRADING AND DRAINAGE PLAN.

HYDRAULIC AREA LEGEND

- 1 HYDRAULIC CALCULATION AREA
- DRAINAGE AREA BOUNDARY

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING & LAND PLANNING
 CIVIL ENGINEERING & LAND PLANNING
 www.bceengineering.com
 Phone: 707.532.4321
 SANTA ROSA OFFICE:
 418 B Street, Third Floor, Santa Rosa CA 95401
 OAKVILLE OFFICE:
 603 S. State Street, Ukiah CA 95482

HABITAT FOR HUMANITY SONOMA COUNTY
 HYDROLOGY MAP
 C/O JEFF KATZ
 333 NORTH MAIN STREET
 SEBASTOPOLE, CA 95472

Date: 3/10/2022
 Job: 2157-21
 Drawn: TSL / EK / JAB
 Scale: AS SHOWN
 APN: 004-670-022
 Permit #:
 Sheet: **H1.0**
 1 OF 1

CONDITIONAL USE PERMIT WRITTEN DESCRIPTION

The property at 333 North Main Street is an existing vacant lot.

The proposed project would consist of (4) three-bedroom, two story townhouses with (4) one car garages. The front entrances to the townhouses would include partially covered porches facing North Main Street and each townhouse would have a private patio at the rear of the townhouse. The garages would be accessed from a driveway that is existing at the north edge of the property.

There would be a roof top community garden. The site improvements would include a retaining wall, grading, landscaping, patios, walkways, and utilities.

The townhouses would be privately-owned single-family residences.

The adjacent property to the south is an existing single-family residence and the property to the east is an existing townhouse development.

The project has been designed to have an exterior design consistent with an urban downtown setting.

Since the surrounding properties are primarily residential it would be a compatible use, and since Habitat for Humanities works to provide an affordable housing option, it would be a benefit to the City to allow this conditional use.

PROJECT INFORMATION

PROJECT ADDRESS: 333 N MAIN STREET
SEBASTOPOL, CA

PROJECT APN: 004-670-022

OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY
C/O JEFF KATZ
200 E STREET,
SANTA ROSA, CA, 95404

CIVIL ENGINEER: THOMAS J. BILLETTER, P.E.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

SURVEYOR: RAY CARLSON AND ASSOCIATES, INC
411 RUSSELL AVENUE
SANTA ROSA, CA 95403
(707) 528-7649

AREA: 0.17 ACRES

ZONING: CD (DOWNTOWN CORE)

SEWAGE DISPOSAL: CITY OF SEBASTOPOL

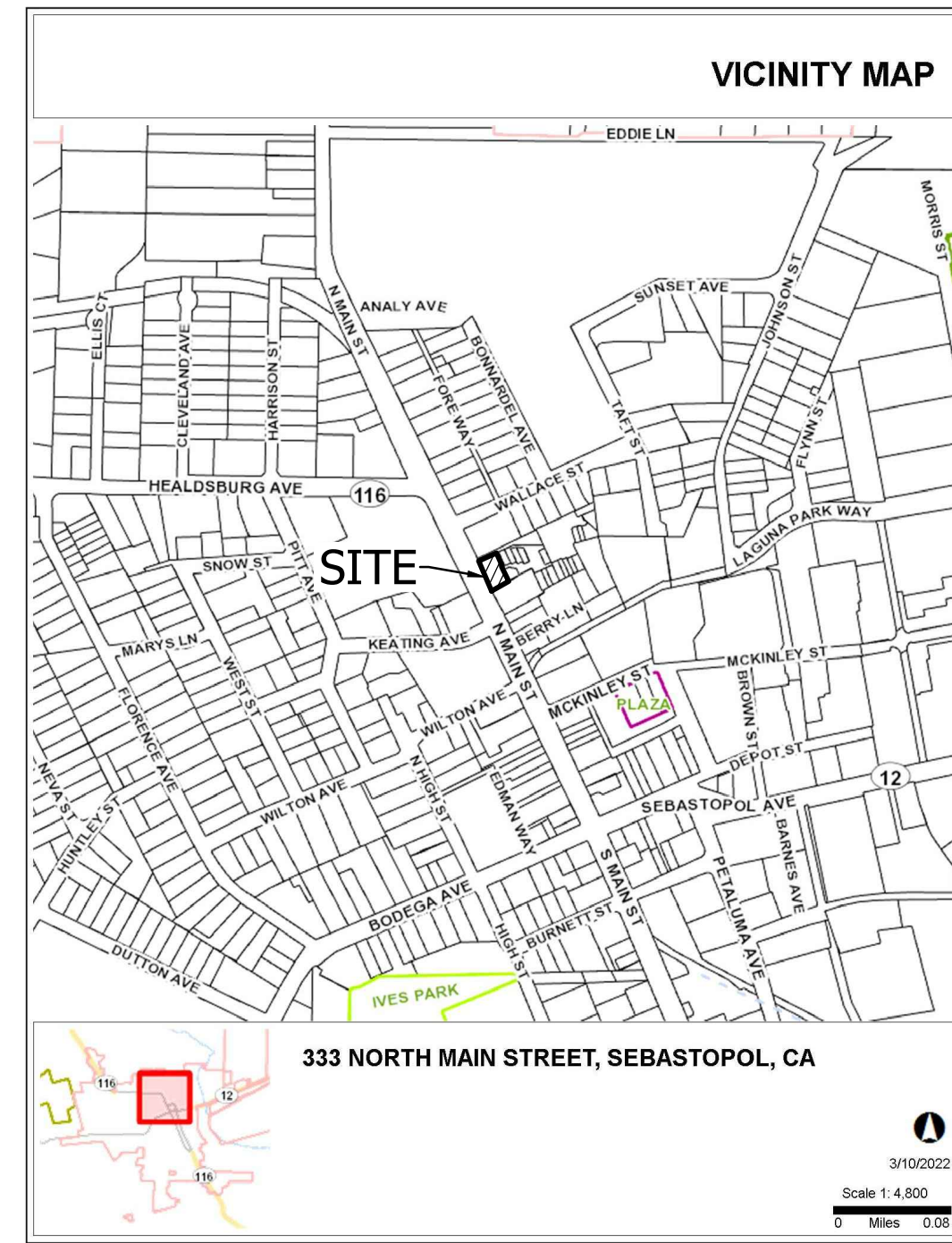
WATER SUPPLY: CITY OF SEBASTOPOL

LAND USE: VACANT COMMERCIAL LND W/UTIL
(CENTRAL CORE)

FIRE DISTRICT: SEBASTOPOL FIRE DEPARTMENT

FIRE PROTECTION RESPONSE AREA: CITY OF SEBASTOPOL

**TENTATIVE MAP DRAWING FOR
HABITAT FOR HUMANITY SONOMA COUNTY
333 NORTH MAIN STREET
SEBASTOPOL, CA 95472
APN: 004-670-022**



ABBREVIATIONS

AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
CB	CATCH BASIN
CL	CENTERLINE
CY	CUBIC YARD
DI	DROP INLET
EG	EXISTING GROUND
EX or (E)	EXISTING
FD	FLOOR DRAIN
FG	FINISH GRADE
FL	FLOWLINE
FS	FINISHED SURFACE
FT	FOOT / FEET
GB	GRADE BREAK
GR	GRATE
HP	HIGH POINT
IG	INVERT GRADE
IN	INCH
INV	INVERT
L	LENGTH
LF	LINEAL FOOT/FEET
MAX	MAXIMUM
ME	MATCH EXISTING
MIN	MINIMUM
(N)	NEW
NTS	NOT TO SCALE
PL	PROPERTY LINE
s	SLOPE
SF	SQUARE FEET
TB	TOP OF BANK
TYP	TYPICAL
YD, YDS	YARD, YARDS

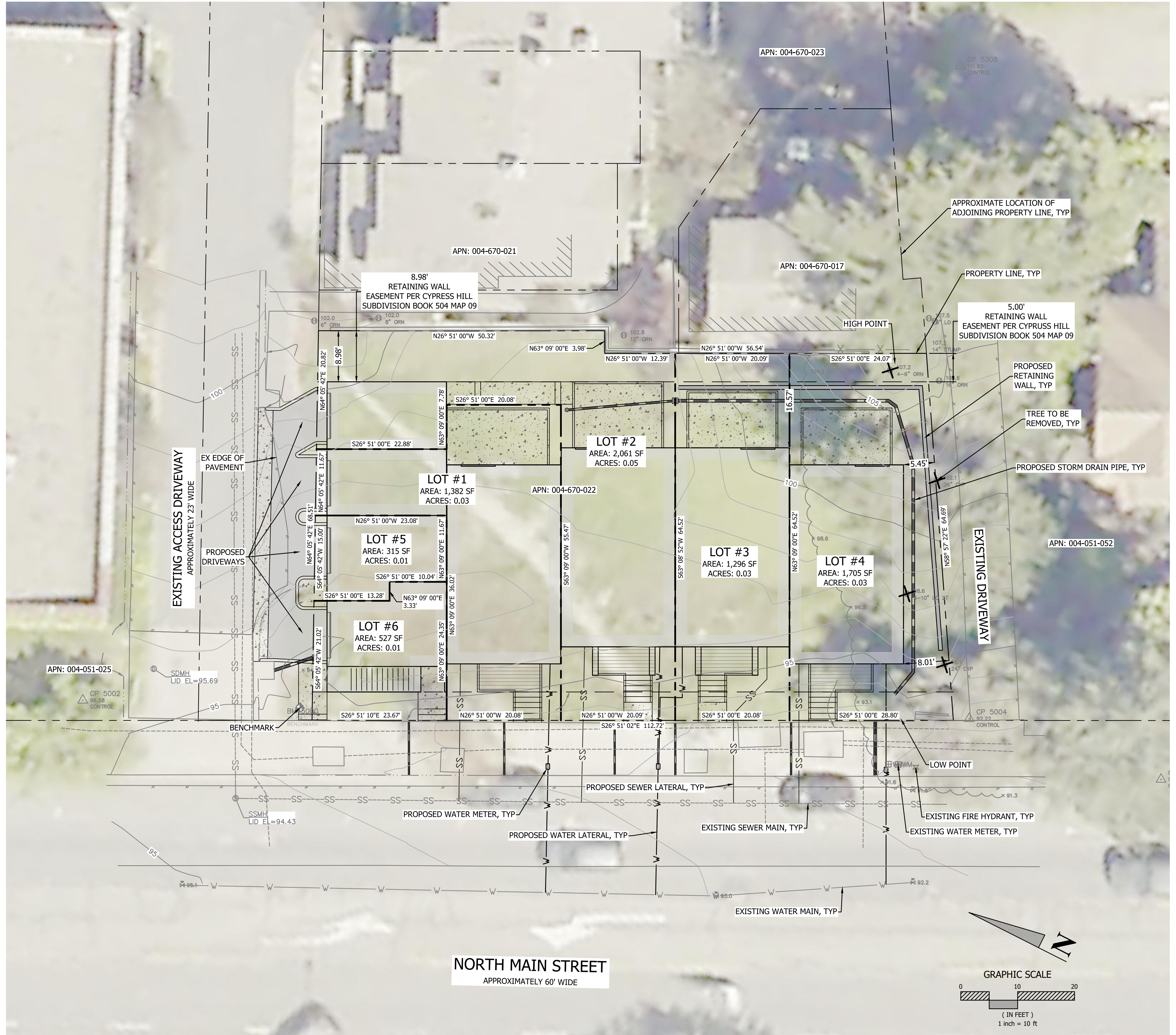
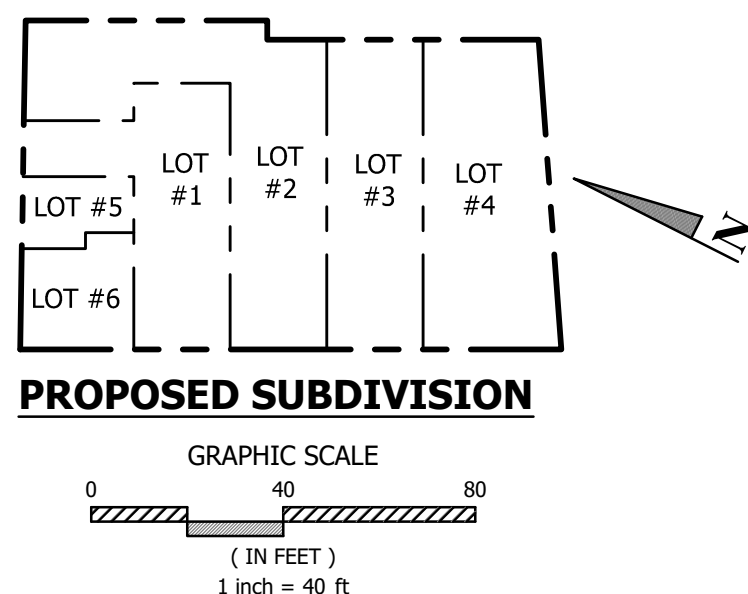
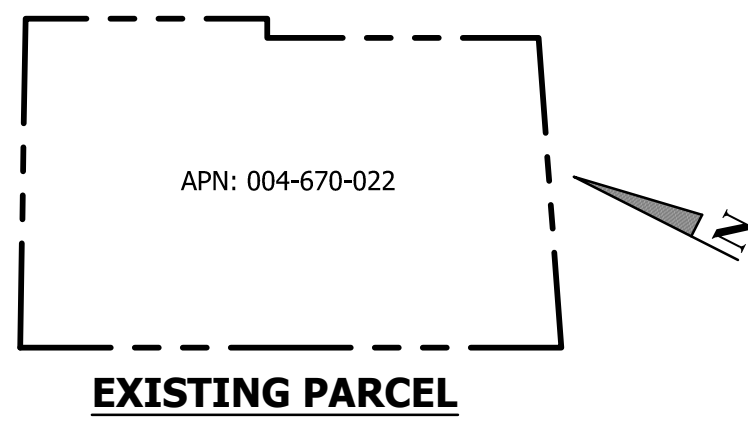
LINETYPE LEGEND

	EXISTING STORMWATER PIPE
	PROPERTY LINE
	PROPOSED FLOWLINE
	PROPOSED RETAINING WALL
	PROPOSED STORMWATER PIPE

HATCH LEGEND

	CONCRETE
	ASPHALT
	DECK

VICINITY MAP
NTS



TENTATIVE MAP
SCALE: 1"=10'

NOT FOR CONSTRUCTION

DATE	
BY	
DESCRIPTION	
REV.	
BC ENGINEERING GROUP, INC. CIVIL ENGINEERING & LAND PLANNING www.bcegroup.com Phone: 707.542.4321 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401 UKIAH OFFICE: 603 S. State Street, Ukiah CA 95422	
HABITAT FOR HUMANITY SONOMA COUNTY TENTATIVE MAP C/O JEFF KATZ 333 NORTH MAIN STREET SEBASTOPOL, CA 95472	
PRELIMINARY	
Date:	3/11/2022
Job:	2157-21
Drawn:	TSL
Scale:	AS SHOWN
APN:	004-670-022
Permit #:	
Sheet:	C1.0 1 of 1

3/11/2022 3:21 PM Plotted by: Trevor S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Tentative Map.dwg



City of Sebastopol Determination Worksheet

<p>City Use Only Project Requires Permanent Storm Water BMPs?</p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>
--

Storm Water Low Impact Development Manual

Purpose: Use this form to determine *whether* or *not* this project will need to incorporate permanent Storm Water Best Management Practices (BMPs) and submit a Standard Urban Storm Water Mitigation Plan (SUSMP).

Applicability: Required with all Master Planning Application Forms. Information presented on this worksheet must reflect final development conditions.

PART 1: INFORMATION

Applicant Name	Habitat for Humanity Sonoma County, c/o Jeff Katz
Mailing Address	200 E Street
City	Santa Rosa
State Zip Code	CA 95404
Phone	619-698-9177
Fax	
Email	jeff@jeffkatzarchitecture.com

Engineer Name	BC Engineering Group
Mailing Address	418 B Street, Third Floor
City	Santa Rosa
State Zip Code	CA 95401
Phone	707-542-4321
Fax	
Email	wb@bcengineeringgroup.com

No Project Engineer

Project Description

Project Name	Sonoma County Habitat for Humanity
Site Address	333 North Main Street, Sebastopol, CA 95472

1. Total Project Area:

8,382: Square Feet OR _____: Acre(s)

2. Existing Land Use(s): (Check all that apply)

- | | | |
|--------------------------------------|---|---|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Office | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Residential | <input type="checkbox"/> Community Facilities | <input checked="" type="checkbox"/> Other <u>Vacant</u> |

Description of buildings and site features:

Vacant lot consisting primarily of grass with some large trees.

3. Existing Impervious Surface Area:

0: Square Feet or _____: Acres

4. Proposed Land Use(s): (Check all that apply)

- Commercial Office Industrial
 Residential Community Facilities Other _____

Description of buildings and site features:

Four 1,350 SF townhouses, four garages, four patios, and four porches.

Type of Application

- Design Review Use Permit Variance
 Subdivision Lot Line Adjustment Other _____

PART 2: REGULATORY DETERMINATIONS

Cal Green:

1. Does this Project require a non-residential building permit for a newly constructed building without sleeping accommodations?¹
- YES:** This project may need to implement permanent Storm Water BMP's and be designed in accordance with the Storm Water Low Impact Development (LID) Technical Design Manual due to CAL Green requirements. Complete the remainder of this worksheet.
 NO: Complete the reminder of this worksheet.

¹ Additions, alterations, repairs, and existing structures are not subject to the requirements of CAL Green. Please contact the Building and Safety Department for further information on Building Permit requirements.

Section 401:

2. Does this Project require a Section 401 Permit?²

Yes No

A. **IF YES:** Are any of the following a component of this project? (Check all that apply)

Soil Disturbance (one or more acre)

New Outfall

New Impervious Surface(s)

If you checked any of the boxes in section 2A, please be advised that this project will require North Coast Regional Water Quality Control Board review and permanent Storm Water BMPs designed in accordance with the Low Impact Development (LID) Technical Design Manual.

Please go to Page 5 and complete the "Acknowledgement Signature" section.

Initial Determination:

3. Does this Project create or replace 10,000 square feet or more of impervious surface?

YES: Complete the remainder of this worksheet.

NO: This Project does not need to incorporate permanent Storm Water BMPs.

Please go to Page 5 and complete the "Exemption Signature" section.

PART 3: EXEMPTIONS

1. Is this a **routine maintenance activity**³ that is being conducted to maintain original line (horizontal alignment) and grade (horizontal alignment), hydraulic capacity, and original purpose of facility, such as resurfacing existing roads and parking lots?

Yes No

2. Is this an **emergency activity**⁴ required to protect public health and safety?

Yes No

3. Is this a project undertaken solely to install or reinstall **public utilities** (such as sewer or water lines) that does not include any additional street or road development or development activities?

Yes No

² A 401 Permit is required from the North Coast Regional Water Quality Control Board (NCRWQCB) if any part of this project is located within or adjacent to "waters of the State" which can be a creek, drainage ditch, wetland or any seasonal waterway. Please contact the North Coast Regional Water Quality Control Board for further information on 401 Permit requirements.

³ "**Routine Maintenance Activity**": This exemption includes activities such as overlays and/or resurfacing of existing roads or parking lots as well as trenching and patching activities and reroofing activities.

⁴ "**Emergency Redevelopment**": The Regional Water Quality Control Board must agree that the activities are needed to protect public health and safety to qualify for this exemption.

4. Is this a **reconstruction project**⁵, undertaken by a **public agency**, of street or roads remaining within the original footprint and less than 48 feet wide?

Yes No

5. Is this a stand-alone pedestrian pathway, trail or off street bike lane?

Yes No

Did you answer "YES" to any of the above questions in Part 3?

YES: STOP: This project is exempt and will not need to incorporate permanent Storm Water BMP's. **Please go to Page 5 and complete the "Exemption Signature" section.**

NO: Proceed to Part 4 below to see if this project will need to incorporate permanent Storm Water BMPs.

PART 4: PROJECT TRIGGERS

Requirements: Please answer the following questions to determine whether this project requires permanent Storm Water BMP's and the submittal of a SUSMP.

1. Does this **development or redevelopment project** create or replace a combined total of 1.0 acre or more of impervious surface?

Yes No

2. Does this project create or replace a combined total of 10,000 feet or more of impervious street, roads, highways, or freeway construction or reconstruction?

Yes No

3. Does this project include **four or more new homes**?

Yes No

4. Is this project an **industrial development** creating or replacing a combined total of 10,000 ft. or more of impervious surface?

Yes No

5. Is this project a **commercial development** creating or replacing a combined total of 10,000 ft. or more of impervious surface?

Yes No

6. Is this project a **retail gasoline outlet** creating or replacing a combined total of 10,000 ft. or more of impervious surface?

Yes No

⁵ **"Reconstruction"**: Work that replaces surfaces down to subgrade. Street width is measured from face-of-curb to face-of-curb. Overlays, resurfacing, trenching, and patching are considered maintenance activities and are exempt.

7. Is this project a **restaurant** creating or replacing a combined total of 10,000 ft. or more of impervious surface?⁶
 Yes No
8. Is this project a **parking lot** (not included as part of a project type listed above) creating or replacing a combined total of 10,000 feet or more impervious surface or with 25 or more parking spaces?
 Yes No
9. Is this project an **automotive service facility** creating or replacing a combined total of 10,000 ft. or more or impervious surface?
 Yes No


PART 5: DETERMINATION SIGNATURE

Did you answer "YES" to any of the above questions in Part 4?

- YES:** The project must implement permanent Storm Water BMPs and be designed in accordance with the Storm Water LID Technical Design Manual. A Preliminary Standard Urban Storm Water Mitigation Plan (SUSMP) must be submitted to the Engineering Department. *Please complete the "Acknowledgment Signature" section.*
- NO:** The project will not need to incorporate permanent Storm Water BMPs. *Please complete the "Exemption Signature" section.*

Acknowledgment Signature:

As the property owner or applicant, I understand that this project is required to implement permanent Storm Water Best Management Practices and the submittal of a SUSMP. Any unknown responses must be resolved to determine if the project is subject to these requirements.

	Jeff Katz	03/16/2022
_____	_____	_____
Applicant Signature	Printed Name	Date

Exemption Signature:

As the property owner or applicant, I understand that this project as currently designed does not require permanent Storm Water BMPs or the submittal of a SUSMP. I understand that redesign may require submittal of a new Determination Worksheet and may require permanent Storm Water BMPs.

_____	_____	_____
Applicant Signature	Printed Name	Date

⁶ **"Impervious Surface":** An area that has been modified to reduce storm water runoff capture and percolation into underlying soils. Such surfaces include rooftops, walkways, and parking areas. Permeable pavements shall be considered impervious for this section if they have sub-drains to preclude infiltration into underlying soils.

DEED, EASEMENTS & TITLE REPORT

EXHIBIT A – DEED

EXHIBIT B – VESTING CHAIN

EXHIBIT C – EASEMENT MAP

EXHIBIT D – EASEMENT DESCRIPTION

EXHIBIT E – TITLE REPORT

EXHIBIT A - DEED

RECORDED AT REQUEST OF *Sonoma Flood Control*
AT 45 MIN. PAST 9 A.M.
OFFICIAL RECORDS OF SONOMA COUNTY, CALIF.

2390-217

Proctor

Handwritten COUNTY RECORDER **BOOK 2390 PAGE 217**
Date **APR 24 1969**

DOCUMENTARY TRANSFER TAX
PAID \$ 1.10

16975

THIS INDENTURE made and entered into by and between SONOMA TITLE GUARANTY

COMPANY, a California corporation, hereinafter designated as 'Grantor'; and
SONOMA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, a body corporate
and politic, organized and existing under and by virtue of the laws of the State
of California, hereinafter designated as 'District',

WITNESSETH:

For and in consideration of Six Hundred Fifty and No/100 Dollars, (\$650.00),
Grantor does hereby grant unto District, its successors and assigns, a perpetual
easement with a right of immediate entry and continued possession for the
construction, improvement, maintenance and repair of underground storm drain and
appurtenances, in and to all that real property situate, lying and being in the
City of Sebastopol, County of Sonoma, State of California and bounded and
described as follows, to wit:

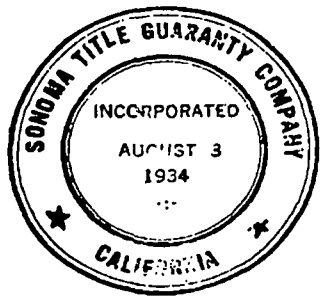
All that portion of the real property of Grantor described in
Book 2240 at Page 481 of Official Records of Sonoma County,
California which lies within a strip of land of the uniform width
of 10.00 feet, the centerline of said strip being described as follows:

Beginning at a point 5.0 feet southerly of the most northern point
on the boundary common to the above mentioned real property of Grantor
and that real property of Analy Enterprises described in Book 2059 at
Page 589 of Official Records of Sonoma County, California, thence from
said point of beginning along a line parallel to the northerly boundary
of said real property of Grantor and 5.0 feet southerly thereof
N 62° 30' 00" E, a distance of 124.0 feet; thence along a tangent curve
to the right having a radius of 100.00 feet through an angle of
77° 30' 00", a distance of 135.26 feet; thence S 40° 00' 00" E,
20.12 feet, more or less, to the point of terminus of said centerline,
said point of terminus being on the easterly boundary of said real
property of Grantor at a point 10.0 feet northerly of the southwesterly
corner of that real property of Mary Veiga described in Book 2309 at
Page 884 of Official Records of Sonoma County, California.

The Basis of Bearings for the above description being the Bonnarde
Addition to Sebastopol as recorded in Book 23 of Maps at Page 2 of
Sonoma County Records.

IN WITNESS WHEREOF Grantor has executed this instrument on this 10th
day of March, 19 69.

SONOMA TITLE GUARANTY COMPANY
a California corporation



By: *D. C. Daw*, Vice President
By: *Ruth Zupancic*, Asst. Secretary

CERTIFICATE OF ACCEPTANCE

This is to certify that the interest in real property conveyed by deed or grant dated March 10, 1969, from Sonoma Title Guaranty Company, a California corporation to Sonoma County Flood Control and Water Conservation District, a political subdivision of the State of California. Is hereby accepted by order of the Board of Directors of said District on March 24, 1969 and the grantee consents to recordation thereof by its duly authorized officer.

Dated: April 23, 1969

SONOMA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT

By: [Signature]
Chairman, Board of Directors

STATE OF CALIFORNIA,

County of Sonoma } ss.

On this 10th day of March in the year one thousand nine hundred and Sixty Nine (1969), before me, J. W. ANDREWS, a Notary Public, State of California, duly commissioned and sworn, personally appeared

D. C. DAW and RUTH ZUPANCIC

known to me to be the Vice President and Asst. Secretary of the corporation described in and that executed the within instrument, and also known to me to be the person who executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF I have hereunto set my hand and affixed my official seal in the County of Sonoma the day and year in this certificate first above written.

[Signature]
Notary Public, State of California.

Cowdery's Form No. 28—(Acknowledgment—Corporation).
(C. C. Secs. 1190-1190.1) (Printed 1-30-66) 61-0417

My Commission Expires Nov. 7, 1969

END OF DOCUMENT

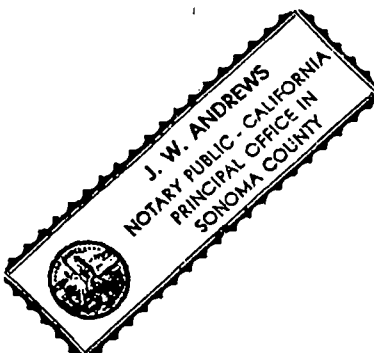


EXHIBIT B – VESTING CHAIN

RECORDING REQUESTED BY
Sonoma Title Guaranty Company
AND WHEN RECORDED MAIL TO

Name RICHARD A. SOLLITTO
Street Address 223 UPPER TERRACE
City, State Zip SAN FRANCISCO, CA 94117

Order No. 02400042-004-MT



2002038921

OFFICIAL RECORDS OF
SONOMA COUNTY
EVEE T. LEWIS

2



SONOMA TITLE GUARANTY
03/15/2002 14:54 DEED
RECORDING FEE: 10.00
COUNTY TAX: 242.00
CITY TAX: 440.00

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

THE UNDERSIGNED GRANTOR(s) DECLARE(s)

- unincorporated area
- City of SEBASTOPOL

Documentary Transfer Tax is \$ 440.00 - City
\$242.00 - County

- computed on full value of interest or property conveyed, or
- full value less value of liens or encumbrances remaining at the time of sale

Parcel No 004-670-022

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

JOHN T. MARTIN and TERESA LABBE MARTIN, AS TRUSTEES OF THE MARTIN FAMILY REVOCABLE TRUST DATED 8/26/96

hereby GRANT(s) to

RICHARD A. SOLLITTO, an unmarried man

the following real property in the **CITY OF SEBASTOPOL**

county of **Sonoma**, state of **California**:

See Exhibit A attached hereto and made a part hereof.

Dated: March 13, 2002

[Signature]

JOHN T. MARTIN, AS TRUSTEE OF THE MARTIN FAMILY
REVOCABLE TRUST DATED 8/26/96

[Signature]

TERESA LABBE MARTIN, AS TRUSTEE OF THE
MARTIN FAMILY REVOCABLE TRUST DATED 8/26/96

STATE OF CALIFORNIA

COUNTY OF SONOMA

} SS:

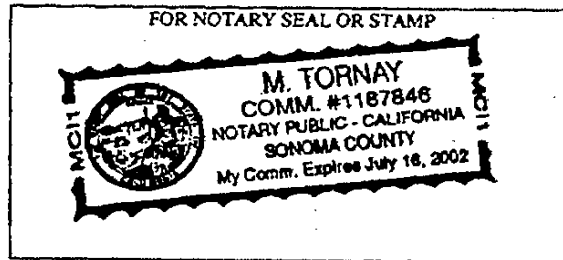
On MARCH 13, 2002, before me, M. TORNAY

a Notary Public in and for said County and State, personally appeared JOHN T. MARTIN AND TERESA LABBE MARTIN

Personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument

WITNESS my hand and official seal

Signature *[Signature]*



Mickey Tornay

SURTRG

Exhibit A

PARCEL ONE:

Lot 9 as shown upon the Map of Cypress Hill Subdivision filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, pages 8 and 9, Sonoma County Records.

PARCEL TWO:

An Easement for parking purposes lying within Parcel Two as shown upon City of Sebastopol Parcel Map No. 126 filed October 10, 1990 in the Office of the County Recorder of Sonoma County in Book 463 of Maps, pages 38, 39 and 40, Sonoma County Records. Said parking easement is shown upon the Map of Cypress Hill Subdivision filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, pages 8 and 9, Sonoma County Records.

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

Lara N. Gilman
FARELLA BRAUN + MARTEL LLP
235 Montgomery Street, 30th Floor
San Francisco, CA 94104

MAIL TAX STATEMENTS TO:
Richard A. Sollitto and Ronald Sollitto
223 Upper Terrace
San Francisco, CA 94117



2011059579

GENERAL PUBLIC
07/15/2011 09:58 DEED
RECORDING FEE: \$19.00
PAID

OFFICIAL RECORDS OF
SONOMA COUNTY
JANICE ATKINSON

3 PGS



APN: 004-670-022

TRUST TRANSFER DEED

The undersigned grantor(s) declare(s):

Documentary Transfer Tax is \$ 0 (minimum tax)

() computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale

() Unincorporated area:

(X) Realty not sold. **NO CONSIDERATION.** Transfer to a Revocable Trust FBO Grantor.

Exempt per R&T Code 11930

For a valuable consideration, receipt of which is hereby acknowledged, Richard A. Sollitto, an unmarried man, hereby grants to Richard A. Sollitto and Ronald Sollitto, as Trustees of the Richard A. Sollitto Revocable Trust dated May 18, 2011, and any amendments thereto, the real property located in the County of Sonoma, State of California, commonly known as 333 N. Main Street, Sebastopol, California, described on Exhibit A, attached hereto and by this reference made a part hereof.

Dated: 18 May 2011

Richard A. Sollitto

Richard A. Sollitto

26796\2616066.1

CERTIFICATE OF ACKNOWLEDGMENT

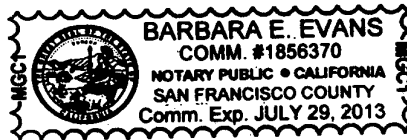
State of California)
County of San Francisco)

On May 18, 2011, before me, BARBARA E. EVANS,
Notary Public, personally appeared **Richard A. Sollitto**, who proved to me on the basis of
satisfactory evidence to be the person(s) whose names(s) is/~~are~~ subscribed to the within
instrument and acknowledged to me that he/~~she~~/~~they~~ executed the same in his/~~her~~/~~their~~-
authorized capacity(ies), and that by his/~~her~~/~~their~~ signature(s) on the instrument the person(s) or
the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the state of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Barbara E. Evans
Notary Public



(Seal)

Exhibit A

Legal Description

PARCEL ONE:

Lot 9 as shown upon the Map of Cypress Hill Subdivision filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, pages 8 and 9, Sonoma County Records.

PARCEL TWO:

An Easement for parking purposes lying within Parcel Two as shown upon City of Sebastopol Parcel Map No. 126 filed October 10, 1990 in the Office of the County Recorder of Sonoma County in Book 463 of Maps, pages 38, 39 and 40, Sonoma County Records. Said parking easement is shown upon the Map of Cypress Hill Subdivision filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, pages 8 and 9, Sonoma County Records.

EXHIBIT A

Legal Description

PARCEL ONE:

Lot 9 as shown upon the Map of Cypress Hill Subdivision filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, pages 8 and 9, Sonoma County Records.

PARCEL TWO:

An Easement for parking purposes lying within Parcel Two as shown upon City of Sebastopol Parcel Map No. 126 filed October 10, 1990 in the Office of the County Recorder of Sonoma County in Book 463 of Maps, pages 38, 39 and 40, Sonoma County Records. Said parking easement is shown upon the Map of Cypress Hill Subdivision filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, pages 8 and 9, Sonoma County Records.

274162940524.1

STATE OF CALIFORNIA
CERTIFICATION OF VITAL RECORD

CITY AND COUNTY OF
SAN FRANCISCO

3052011215089

CERTIFICATE OF DEATH

3201138005295

STATE FILE NUMBER 3052011215089		LOCAL REGISTRATION NUMBER 3201138005295	
1. NAME OF DECEDENT - FIRST (Given) RICHARD		2. MIDDLE ALAN	
3. LAST (Family) SOLLITTO		4. DATE OF BIRTH mm/dd/ccyy 09/12/1953	
5. AGE Yrs. 58		6. SEX M	
7. DATE OF DEATH mm/dd/ccyy 11/26/2011		8. HOUR (24 Hours) 1500	
9. BIRTH STATE/FOREIGN COUNTRY GA		10. SOCIAL SECURITY NUMBER 7873	
11. EVER IN U.S. ARMED FORCES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> UNK		12. MARITAL STATUS/SRDP: (at Time of Death) NEVER MARRIED	
13. EDUCATION - Highest Level/Degree (see worksheet on back) PROFESSIONAL		14/15. WAS DECEDENT HISPANIC/LATINO/SPANISH? (if yes, see worksheet on back) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
16. DECEDENT'S RACE - Up to 3 races may be listed (see worksheet on back) CAUCASIAN		17. USUAL OCCUPATION - Type of work for most of life. DO NOT USE RETIRED RADIOLOGIST	
18. KIND OF BUSINESS OR INDUSTRY (e.g., grocery store, road construction, employment agency, etc.) HEALTHCARE		19. YEARS IN OCCUPATION 28	
20. DECEDENT'S RESIDENCE (Street and number, or location) 223 UPPER TERRACE			
21. CITY SAN FRANCISCO		22. COUNTY/PROVINCE SAN FRANCISCO	
23. ZIP CODE 94117		24. YEARS IN COUNTY 30	
25. STATE/FOREIGN COUNTRY CA		26. INFORMANT'S NAME, RELATIONSHIP RONALD SOLLITTO, BROTHER	
27. INFORMANT'S MAILING ADDRESS (Street and number, or rural route number, city or town, state and zip) 289 MARKET STREET, SADDLE BROOK, NJ 07663		28. NAME OF SURVIVING SPOUSE/SRDP - FIRST -	
29. MIDDLE -		30. LAST (BIRTH NAME) -	
31. NAME OF FATHER/PARENT - FIRST BASIL		32. MIDDLE JOSEPH	
33. LAST SOLLITTO		34. BIRTH STATE NJ	
35. NAME OF MOTHER/PARENT - FIRST AMELIA		36. MIDDLE MARIE	
37. LAST (BIRTH NAME) PORTIZO		38. BIRTH STATE NJ	
39. DISPOSITION DATE mm/dd/ccyy 12/02/2011		40. PLACE OF FINAL DISPOSITION RES. PAOLO COCCHIGLIA 203 UPPER TERRACE, SAN FRANCISCO, CA 94117	
41. TYPE OF DISPOSITION(S) CR/RES		42. SIGNATURE OF EMBALMER NOT EMBALMED	
43. LICENSE NUMBER FD 1306		44. NAME OF FUNERAL ESTABLISHMENT NEPTUNE SOCIETY OF NORTHERN CALIFORNIA	
45. LICENSE NUMBER FD 1306		46. SIGNATURE OF LOCAL REGISTRAR TOMAS ARAGON, MD, DR. P.H.	
47. DATE mm/dd/ccyy 12/02/2011		101. PLACE OF DEATH RESIDENCE	
102. IF HOSPITAL, SPECIFY ONE <input type="checkbox"/> IP <input type="checkbox"/> ER/OP <input type="checkbox"/> DDA <input type="checkbox"/> Hospice <input checked="" type="checkbox"/> Nursing Home/LTC <input type="checkbox"/> Other		103. IF OTHER THAN HOSPITAL, SPECIFY ONE <input type="checkbox"/> Decedent's Home <input type="checkbox"/> Other	
104. COUNTY SAN FRANCISCO		105. FACILITY ADDRESS OR LOCATION WHERE FOUND (Street and number, or location) 223 UPPER TERRACE	
106. CITY SAN FRANCISCO		107. CAUSE OF DEATH Enter the chain of events - diseases, injuries, or complications - that directly caused death. DO NOT enter terminal events such as cardiac arrest, respiratory arrest, or ventricular fibrillation without showing the etiology. DO NOT ABBREVIATE. (A) PANCREATIC CARCINOMA	
108. DEATH REPORTED TO CORONER? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		109. BIOPSY PERFORMED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
110. AUTOPSY PERFORMED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		111. USED IN DETERMINING CAUSE? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
112. OTHER SIGNIFICANT CONDITIONS CONTRIBUTING TO DEATH BUT NOT RESULTING IN THE UNDERLYING CAUSE GIVEN IN 107 NONE			
113. WAS OPERATION PERFORMED FOR ANY CONDITION IN ITEM 107 OR 112? (if yes, list type of operation and date) NO			
113A. IF FEMALE, PREGNANT IN LAST YEAR? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> UNK			
114. I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE DEATH OCCURRED AT THE HOUR, DATE, AND PLACE STATED FROM THE CAUSES STATED. Decedent Last Attended Since: 11/17/2011 Decedent Last Seen Alive: 11/23/2011		115. SIGNATURE AND TITLE OF CERTIFIER ALAN H MARGOLIN M.D.	
116. LICENSE NUMBER G12043		117. DATE mm/dd/ccyy 12/02/2011	
118. TYPE ATTENDING PHYSICIAN'S NAME, MAILING ADDRESS, ZIP CODE ALAN H MARGOLIN M.D. 17 EAST SIR FRANCIS DRAKE BLVD #100, LARKSPUR, CA 94939			
119. I CERTIFY THAT IN MY OPINION DEATH OCCURRED AT THE HOUR, DATE, AND PLACE STATED FROM THE CAUSES STATED. MANNER OF DEATH <input type="checkbox"/> Natural <input type="checkbox"/> Accident <input type="checkbox"/> Homicide <input type="checkbox"/> Suicide <input type="checkbox"/> Pending Investigation <input type="checkbox"/> Could not be determined		120. INJURED AT WORK? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> UNK	
121. INJURY DATE mm/dd/ccyy			
122. HOUR (24 Hours)			
123. PLACE OF INJURY (e.g., home, construction site, wooded area, etc.)			
124. DESCRIBE HOW INJURY OCCURRED (Events which resulted in injury)			
125. LOCATION OF INJURY (Street and number, or location, and city, and zip)			
126. SIGNATURE OF CORONER / DEPUTY CORONER		127. DATE mm/dd/ccyy	
128. TYPE NAME, TITLE OF CORONER / DEPUTY CORONER			
STATE REGISTRAR	A	B	C
	D	E	
FAX AUTH.#		CENSUS TRACT	



STATE OF CALIFORNIA, CITY AND COUNTY OF SAN FRANCISCO
This is to certify that the image reproduced hereupon is a true copy of the record on file in the SAN FRANCISCO DEPARTMENT OF PUBLIC HEALTH as of the date issued.

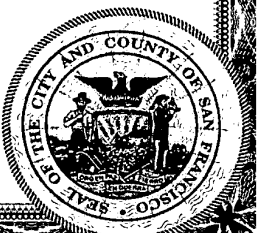
DATE ISSUED
DEC 06 2011

This copy is not valid unless prepared on an engraved border, displaying the date, seal and signature of the City and County Health Officer.



* 0 0 3 2 2 0 9 5 5 *

Tomás Aragón
Tomás Aragón, M.D., Dr.P.H.
Health Officer and Local Registrar



ANY ALTERATION OR ERASURE VOIDS THIS CERTIFICATE

2020084637

RECORDING REQUESTED BY
North Coast Title Co.
WHEN RECORDED MAIL TO AND MAIL TAX STATEMENTS TO:
HABITAT FOR HUMANITY OF SONOMA COUNTY
WAYNE KLEEFELD
1201 PINER ROAD, #500
SANTA ROSA, CA 95403
ORDER NO.: 00112909-001-BJ

Official Records of Sonoma County
Deva Marie Proto
09/22/2020 08:49 AM
NORTH COAST TITLE COMPANY | SANTA ROSA, CA |
DEED 2 Pgs
Fee: \$92.00



SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)
 unincorporated area
 the City of Sebastopol
R&T11930 GIFT DEED
Parcel No. 004-670-022

Documentary Transfer Tax is \$ 00.00 City Tax is \$0.0
 computed on full value of interest or property conveyed, or
 full value less value of liens or encumbrances remaining at the time of sale

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Ronald Sollitto, trustee of the Richard A. Sollitto Revocable Trust of May 18, 2011
hereby GRANT(s) to
Habitat for Humanity of Sonoma County
the following real property in the City of Sebastopol County of Sonoma, State of California:
See Exhibit A attached hereto and made a part hereof.

Dated: September 16, 2020

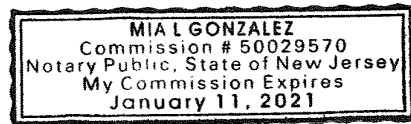
Ronald Sollitto, trustee of the Richard A. Sollitto
Revocable Trust of May 18, 2011

Ronald Sollitto, Trustee

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF New Jersey
COUNTY OF Bergen } SS:
On September 18, 2020 before me,
Mia L Gonzalez

FOR NOTARY SEAL OR STAMP



a Notary Public, personally appeared Ronald J. Sollitto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Mia L Gonzalez

GRANTDEE

Exhibit A

The land referred to herein below is situated in the City of Sebastopol, County of Sonoma, State of California and is described as follows:

Parcel One:

Lot 9, as shown upon the Map of "Cypress Hill Subdivision," filed December 16, 1992 in the Office of the County Recorder of Sonoma County in Book 504 of Maps, Pages 8 and 9, Sonoma County Records.

Parcel Two:

An Easement for Parking Purposes lying with in Parcel Two as shown upon City of Sebastopol Parcel Map No. 125, filed October 10, 1990 in the Office of the County Recorder of Sonoma County in Book 463 of Maps, Pages 38, 39, and 40, Sonoma County Records.

APN: 004-670-022-000

EXHIBIT C – EASEMENT MAP

EXHIBIT D – EASEMENT DESCRIPTION



First American

*my*FirstAm® Recorded Document

The Recorded Document images are displayed in the subsequent pages for the following request:

State: CA
County: Sonoma
Document Type: Document - Year.DocID
Year: 1991
DocID: 0011845

Limitation of Liability for Informational Report

IMPORTANT – READ CAREFULLY: THIS REPORT IS NOT AN INSURED PRODUCT OR SERVICE OR A REPRESENTATION OF THE CONDITION OF TITLE TO REAL PROPERTY. IT IS NOT AN ABSTRACT, LEGAL OPINION, OPINION OF TITLE, TITLE INSURANCE COMMITMENT OR PRELIMINARY REPORT, OR ANY FORM OF TITLE INSURANCE OR GUARANTY. THIS REPORT IS ISSUED EXCLUSIVELY FOR THE BENEFIT OF THE APPLICANT THEREFOR, AND MAY NOT BE USED OR RELIED UPON BY ANY OTHER PERSON. THIS REPORT MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT FIRST AMERICAN'S PRIOR WRITTEN CONSENT. FIRST AMERICAN DOES NOT REPRESENT OR WARRANT THAT THE INFORMATION HEREIN IS COMPLETE OR FREE FROM ERROR, AND THE INFORMATION HEREIN IS PROVIDED WITHOUT ANY WARRANTIES OF ANY KIND, AS-IS, AND WITH ALL FAULTS. AS A MATERIAL PART OF THE CONSIDERATION GIVEN IN EXCHANGE FOR THE ISSUANCE OF THIS REPORT, RECIPIENT AGREES THAT FIRST AMERICAN'S SOLE LIABILITY FOR ANY LOSS OR DAMAGE CAUSED BY AN ERROR OR OMISSION DUE TO INACCURATE INFORMATION OR NEGLIGENCE IN PREPARING THIS REPORT SHALL BE LIMITED TO THE FEE CHARGED FOR THE REPORT. RECIPIENT ACCEPTS THIS REPORT WITH THIS LIMITATION AND AGREES THAT FIRST AMERICAN WOULD NOT HAVE ISSUED THIS REPORT BUT FOR THE LIMITATION OF LIABILITY DESCRIBED ABOVE. FIRST AMERICAN MAKES NO REPRESENTATION OR WARRANTY AS TO THE LEGALITY OR PROPRIETY OF RECIPIENT'S USE OF THE INFORMATION HEREIN.

Order No.
Escrow No.
Loan No.

WHEN RECORDED MAIL TO:

SEBASTOPOL MASONIC BUILDING ASSOCIATION
373 No. Main Street
Sebastopol, CA 95472



1991 0011845

OFFICIAL RECORDS OF
SONOMA COUNTY
BERNICE A. PETERSON

AT REQUEST OF: FIRST AMERICAN TITLE
02/11/1991 08:00:00
FEE: \$ 9.00 PGS: 3
TT: \$.00

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO:

SAME AS ABOVE.

A.P. No. 4-051-53

DOCUMENTARY TRANSFER TAX \$ no consideration

..... Computed on the consideration or value of property conveyed; OR
..... Computed on the consideration or value less liens or encumbrances
remaining at time of sale.

Per Grantor's signature below.

Signature of Declarant or Agent determining tax - Firm Name

R + T easement 11911

EASEMENT
GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
RICHARD A. MacRAE and CAROL MacRAE; WILLIAM D. ROBSON and NAN L. ROBSON

hereby GRANT(S) to
SEBASTOPOL MASONIC BUILDING ASSOCIATION, a corporation

the real property in the City of Sebastopol
County of Sonoma, State of California, described as

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN.

Easement Grant Deed dated
1/16/91

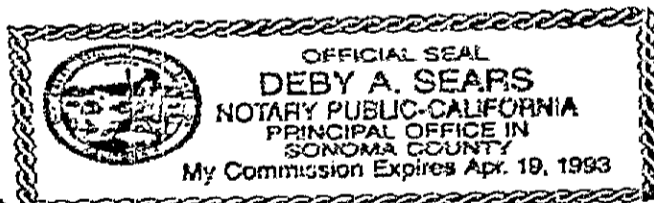
STATE OF CALIFORNIA
COUNTY OF Sonoma

On January 23, 1991 before me, the undersigned, a Notary Public in and for
said State, personally appeared Nan L. Robson

~~Notary Public~~ proved to me on the basis of satis-
factory evidence, to be the person(s) whose name(s) is/are sub-
scribed to the within instrument and acknowledged to me that
he/she they executed the same.

WITNESS my hand and official seal

Signature *Deby A. Sears*



(This area for official notarial seal)

Dated January 16, 1991

STATE OF CALIFORNIA
COUNTY OF SONOMA

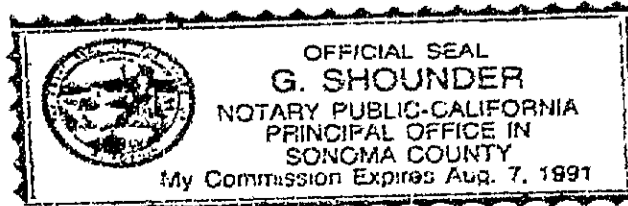
On January 24, 1991 before me, the undersigned, a Notary Public in and for said State, per-
sonally appeared Richard A. MacRae and
William D. Robson

personally known to me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is/are subscribed to the
within instrument and acknowledged to me that he/she/they executed
the same.

WITNESS my hand and official seal

Signature *G. Shouder*

Richard A. MacRae by Richard A. MacRae
Richard A. MacRae
Carol MacRae by Richard A. MacRae
Carol MacRae
William D. Robson
William D. Robson
Nan L. Robson
Nan L. Robson



(This area for official notarial seal)

3001 (6/82) (Individual) First American Title Company

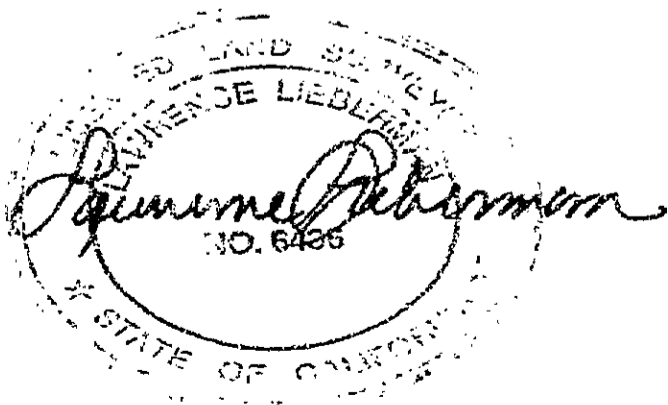
EXHIBIT "A"

EASEMENT - MACRO PARTNERS TO MASONIC ASSOCIATION

An easement for the purpose of removing existing improvements, constructing, maintaining and repairing driveway and landscaping improvements, ingress and egress as required by the City of Sebastopol, Resolution No. 4256, and incidental uses related thereto, over a portion of the lands of William Robson and Richard A. MacRae by Deed recorded under Document Number 89120766 Official Records of Sonoma County, in the City of Sebastopol, County of Sonoma, State of California, more particularly described as follows:

BEGINNING at the Westerly common corner of said Robson/MacRae lands and lands of the Sebastopol Masonic Association by Deed recorded in Book 1433 of Official Records at Page 23, said point lying on the East line of North Main Street; thence on the common line between two said lands North 64 06' 54" East 153.27 feet; thence leaving said common line South 23 53' 06" East 16.00 feet; thence parallel with said common line South 64 06' 54" West 153.00 feet to North Main Street; thence North 26 51' 00" West 16.00 feet to the Point of Beginning.

The bearings and distances herein are based on Record of Survey recorded in Book 243 of Maps at Page 46, Sonoma County Records.



3004 (6/82) — (Attorney in Fact) First American Title Company

STATE OF CALIFORNIA SONOMA) ss.

On January 24, 1991 before me, the undersigned, a Notary Public in and for said State, personally appeared RICHARD A. MAC RAE

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument as the Attorney in Fact of CAROL MAC RAE

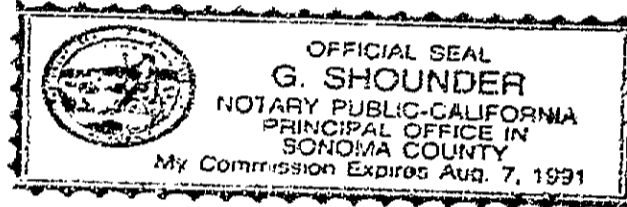
and acknowledged to me that he/she subscribed the name(s) of CAROL MAC RAE

thereto as principal(s), and his/her own name as Attorney in Fact.

WITNESS my hand and official seal

Signature

G. Shouder



(This area for official notarial seal)

END OF DOCUMENT

EXHIBIT E - TITLE REPORT



First American Title

Guarantee

CLTA Guarantee Form No. 28 -
Condition of Title

ISSUED BY

First American Title Insurance Company

GUARANTEE NUMBER

5026900-6785606

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE GUARANTEE CONDITIONS ATTACHED HERETO AND MADE A PART OF THIS GUARANTEE.

FIRST AMERICAN TITLE INSURANCE COMPANY

a Nebraska corporation, herein called the Company

GUARANTEES

against loss or damage not exceeding the Amount of Liability stated in Schedule A sustained by the Assured by reason of any incorrectness in the Assurances set forth in Schedule A

First American Title Insurance Company

Dennis J. Gilmore, President

Greg L. Smith, Secretary

By: _____
Authorized Countersignature **This jacket was created electronically and constitutes an original document**

© California Land Title Association. **All rights reserved.** The use of this Form is restricted to CLTA subscribers in good standing as of the date of use. All other uses prohibited. Reprinted under license or express permission from the California Land Title Association.

EXCLUSIONS FROM COVERAGE

Except as expressly provided by the assurances in Schedule A, the Company assumes no liability for loss or damage by reason of the following:

- (a) Defects, liens, encumbrances, adverse claims or other matters against the title to any property beyond the lines of the Land.
- (b) Defects, liens, encumbrances, adverse claims or other matters, whether or not shown by the Public Records (1) that are created, suffered, assumed or agreed to by one or more of the Assureds; or, (2) that result in no loss to the Assured.
- (c) Defects, liens, encumbrances, adverse claims or other matters not shown by the Public Records.
- (d) The identity of any party shown or referred to in any of the schedules of this Guarantee.
- (e) The validity, legal effect or priority of any matter shown or referred to in any of the schedules of this Guarantee.
- (f) (1) Taxes or assessments of any taxing authority that levies taxes or assessments on real property; or, (2) proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not the matters excluded under (1) or (2) are shown by the records of the taxing authority or by the Public Records.
- (g) (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water, whether or not the matters excluded under (1), (2) or (3) are shown by the Public Records.

GUARANTEE CONDITIONS

1. Definition of Terms.

The following terms when used in the Guarantee mean:

- a. the "Assured": the party or parties named as the Assured in Schedule A, or on a supplemental writing executed by the Company.
- b. "Land": the Land described or referred to in Schedule A, and improvements affixed thereto which by law constitute real property. The term "Land" does not include any property beyond the lines of the area described or referred to in Schedule A, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
- c. "Mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- d. "Public Records": those records established under California statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- e. "Date of Guarantee": the Date of Guarantee set forth in Schedule A.
- f. "Amount of Liability": the Amount of Liability as stated in Schedule A.

2. Notice of Claim to be Given by Assured.

The Assured shall notify the Company promptly in writing in case knowledge shall come to an Assured of any assertion of facts, or claim of title or interest that is contrary to the assurances set forth in Schedule A and that might cause loss or damage for which the Company may be liable under this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice by the failure and then only to the extent of the prejudice.

3. No Duty to Defend or Prosecute.

The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.

4. Company's Option to Defend or Prosecute Actions; Duty of Assured to Cooperate.

Even though the Company has no duty to defend or prosecute as set forth in Paragraph 3 above:

- a. The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in Paragraph 4 (b), or to do any other act which in its opinion may be necessary or desirable to establish the correctness of the assurances set forth in Schedule A or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
- b. If the Company elects to exercise its options as stated in Paragraph 4(a) the Company shall have the right to select counsel of its choice (subject to the right of the Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
- c. Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order.
- d. In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, the Assured shall secure to the Company the right to so prosecute or provide for the defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such Assured for this purpose. Whenever requested by

GUARANTEE CONDITIONS (Continued)

the Company, the Assured, at the Company's expense, shall give the Company all reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the correctness of the assurances set forth in Schedule A to prevent or reduce loss or damage to the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.

5. Proof of Loss or Damage.

- a. In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Assured furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.
- b. In addition, the Assured may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this paragraph shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonable necessary information from third parties, as required in the above paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this Guarantee to the Assured for that claim.

6. Options to Pay or Otherwise Settle Claims:

Termination of Liability.

In case of a claim under this Guarantee, the Company shall have the following additional options:

- a. To pay or tender payment of the Amount of Liability together with any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

- b. To pay or otherwise settle with the Assured any claim assured against under this Guarantee. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay; or
- c. To pay or otherwise settle with other parties for the loss or damage provided for under this Guarantee, together with any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in 6 (a), (b) or (c) of this paragraph the Company's obligations to the Assured under this Guarantee for the claimed loss or damage, other than the payments required to be made, shall terminate, including any duty to continue any and all litigation initiated by the Company pursuant to Paragraph 4.

7. Limitation Liability.

- a. This Guarantee is a contract of Indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in Schedule A and only to the extent herein described, and subject to the Exclusions From Coverage of This Guarantee.
- b. If the Company, or the Assured under the direction of the Company at the Company's expense, removes the alleged defect, lien, or encumbrance or cures any other matter assured against by this Guarantee in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.
- c. In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom.
- d. The Company shall not be liable for loss or damage to the Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.

8. Reduction of Liability or Termination of Liability.

All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 4 shall reduce the Amount of Liability under this Guarantee pro tanto.

9. Payment of Loss.

- a. No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- b. When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions, the loss or damage shall be payable within thirty (30) days thereafter.

GUARANTEE CONDITIONS (Continued)

10. Subrogation Upon Payment or Settlement.

Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the Assured shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies.

If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.

11. Arbitration.

Either the Company or the Assured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision, or to any other controversy or claim arising out of the transaction giving rise to this Guarantee. All arbitrable matters when the amount of liability is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the amount of liability is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Assured. Arbitration pursuant to this Guarantee and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

12. Liability Limited to This Guarantee; Guarantee Entire Contract.

- a. This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- b. Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- c. No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

13. Severability.

In the event any provision of this Guarantee, in whole or in part, is held invalid or unenforceable under applicable law, the Guarantee shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

14. Choice of Law; Forum.

- a. Choice of Law: The Assured acknowledges the Company has underwritten the risks covered by this Guarantee and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of Guaranties of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims that are adverse to the Assured and to interpret and enforce the terms of this Guarantee. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

- b. Choice of Forum: Any litigation or other proceeding brought by the Assured against the Company must be filed only in a state or federal court within the United State of America or its territories having appropriate jurisdiction.

15. Notices, Where Sent.

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to the Company at **First American Title Insurance Company, Attn: Claims National Intake Center, 5 First American Way, Santa Ana, California 92707. Phone: 888-632-1642 (claims.nic@firstam.com).**



First American Title

Schedule A

CLTA Guarantee Form No. 28 - Condition of Title

ISSUED BY

First American Title Insurance Company

GUARANTEE NUMBER

5026900-6785606

File No.: 6785606

Guarantee No. 6785606

Amount of Liability: \$2,500.00

Date of Guarantee: February 07, 2022 at 7:30 A.M. Fee: \$400.00

1. Name of Assured:

Omega Mortgage Group

2. The estate or interest in the Land which is covered by this Guarantee is:

A FEE AS TO PARCEL(S) ONE; EASEMENT AS TO PARCEL(S) TWO

3. The Land referred to in this Guarantee is described as follows:

Real property in the City of Sebastopol, County of Sonoma, State of California, described as follows:

PARCEL ONE:

LOT 9 AS SHOWN UPON THE MAP OF CYPRESS HILL SUBDIVISION FILED DECEMBER 16, 1992 IN THE OFFICE OF THE COUNTY RECORDER OF SONOMA COUNTY IN BOOK 504 OF MAPS, PAGES 8 AND 9, SONOMA COUNTY RECORDS.

PARCEL TWO:

AN EASEMENT FOR PARKING PURPOSES LYING WITHIN PARCEL TWO AS SHOWN UPON CITY OF SEBASTOPOL PARCEL MAP NO. 126 FILED OCTOBER 10, 1990 IN THE OFFICE OF THE COUNTY RECORDER OF SONOMA COUNTY IN BOOK 463 OF MAPS, PAGES 38, 39 AND 40, SONOMA COUNTY RECORDS. SAID PARKING EASEMENT IS SHOWN UPON THE MAP OF CYPRESS HILL SUBDIVISION FILED DECEMBER 16, 1992 IN THE OFFICE OF THE COUNTY RECORDER OF SONOMA COUNTY IN BOOK 504 OF MAPS, PAGE 8 AND 9, SONOMA COUNTY RECORDS.

APN: 004-670-022-000

4. ASSURANCES:

According to the Public Records as of the Date of Guarantee,

a. Title to the estate or interest in the Land is vested in:

HABITAT FOR HUMANITY OF SONOMA COUNTY

- b. Title to the estate or interest is subject to defects, liens, or encumbrances shown in Schedule B which are not necessarily shown in the order of their priority.



First American Title

Schedule B

CLTA Guarantee Form No. 28 - Condition of Title

ISSUED BY

First American Title Insurance Company

GUARANTEE NUMBER

5026900-6785606

File No.: 6785606

1. General and special taxes and assessments for the fiscal year 2022-2023, a lien not yet due or payable.
2. The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.
3. An easement for UNDERGROUND STORM DRAIN and incidental purposes in the document recorded APRIL 24, 1969 as BOOK 2390, PAGE 217 of Official Records.
4. Covenants, conditions, restrictions and easements in the document recorded OCTOBER 12, 1990 as INSTRUMENT NO. [90-101407](#) of Official Records, which provide that a violation thereof shall not defeat or render invalid the lien of any first mortgage or deed of trust made in good faith and for value, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.
5. The terms, provisions and easement(s) contained in the document entitled "JOINT ACCESS EASEMENT MAINTENANCE AGREEMENT" recorded FEBRUARY 13, 1991 as INSTRUMENT NO. 91-12260 of Official Records.
6. Any and all offers of dedications, conditions, restrictions, easements, notes and/or provisions shown or disclosed by the filed or recorded map referred to in the legal description including but not limited to: PUBLIC UTILITY AND RETAINING WALL and incidental purposes affecting said land.
7. Any easements and/or servitudes affecting easement parcel(s) TWO herein described.



First American Title

First American Title Company
2230 East Bidwell Street, Suite 100
Folsom, CA 95630

Illegal Restrictive Covenants

Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable by law.

TENTATIVE MAP WRITTEN DESCRIPTION

The property at 333 North Main Street is a 0.17-acre existing vacant lot. The proposed project would consist of (4) three-bedroom, two story townhouses with (4) one car garages. The front entrances to the townhouses would include partially covered porches facing North Main Street and each townhouse would have a private patio at the rear of the townhouse. The garages would be accessed from a driveway that is existing at the north edge of the property. There would be a roof top community garden. The site improvements would include a retaining wall, grading, landscaping, patios, walkways, and utilities. The townhouses would be privately-owned single-family residences.

The property will be divided into six lots. Lot descriptions are as follows:

- Lot #1 is 1,382 sf and contains one townhouse and one garage.
- Lot #2 is 2,061 sf and contains one townhouse and one garage.
- Lot #3 is 1,296 sf and contains one townhouse
- Lot #4 is 1,705 sf and contains one townhouse
- Lot #4 is 315 sf and contains the garage used by the Lot #3 townhouse.
- Lot #5 is 527 sf and contains the garage used by the Lot #4 townhouse.

Each townhouse is approximately 1,350 sf (675 sf each story)

The one car garages vary in size from 230 – 260 sf.

See Tentative Map sheet C1.0 for the dimensions of each lot.

The adjacent property to the south is an existing single-family residence and the property to the east is an existing townhouse development.

The project has been designed to have an exterior design consistent with an urban downtown setting.

Since the surrounding properties are primarily residential it would be a compatible use, and since Habitat for Humanity works to provide an affordable housing option, it would be a benefit to the City to allow this Tentative Map.

TENTATIVE MAP OWNER'S STATEMENT

- a) Tract Name & Number:
Cypress Hills Subdivision, Lott 22, recorded in Book 504 of maps 8 &9
Sonoma County Records
- b) Name and address of owners:
Habitat for Humanity of Sonoma County,
1201 Piner Road #500, Santa Rosa, CA, 95403
- c) Name and address of subdivider:
Surveyor – Ray Carlson & Associates Inc.
411 Russell Avenue, Santa Rosa, CA, 95403
- d) Name address & number of civil engineers:
BC Engineering Group
418 B Street, Third Floor, Santa Rosa, CA, 95401
- e) Existing use of property:
Vacant lot
- f) Propose use of property:
Residential. (4) Three Bedroom Townhouses with (4) one car garages
- g) Type of street improvements proposed:
NA
- h) Drainage facilities proposed:
Drop inlets piped to storm drain outlet then to storm drain. See sheet C2.0
Drainage and grading plan.
- i) Utilities proposed:
Sewer, water, power, gas, cable tv
- j) Proposed street lighting:
Street lighting is existing. None proposed.
- k) Proposed tree planting:
14 new trees as shown on sheet L1.0 Landscape plan
- l) Protective covenants to be recorded if any:
NA
- m) Public areas proposed if any:
NA



City of Sebastopol

TREE REMOVAL PERMIT Application and Checklist

The submittal information shall be provided to the Planning Department. All submittal information shall be presented along with the related fees, and any additional information required by the Planning Department before the application can be accepted as complete.

Planning File #: _____
Date Filed: _____
Total Fee Paid: \$ _____
Received by: _____
Date Application Deemed Complete: _____

PROJECT INFORMATION

ADDRESS: 333 North Main Street

ASSESSOR'S PARCEL #: 004-670-022000

Applicant's Information

Name: Jeff Katz Architecture
 Address: 200 E Street
 City, State, Zip: Santa Rosa, CA, 95404
 Phone #: (707) 544-3920
 Fax #: _____
 Email: jeff@jeffkatzarchitecture.com
 Signature: _____

Owner's Information

Name: Habitat for Humanities of Sonoma County
 Address: 1201 Piner Rd. Suite 500
 City, State, Zip: Santa Rosa, CA, 95402
 Phone #: (707) 578-7707
 Fax #: _____
 Email: info@habitatsoco.org
 Signature: _____

Date: 03/17/2022

I certify that this application is being made with my consent

Date: _____

Location Key	Species of Tree	Diameter at 4 ½ feet	Heritage Tree?	Area where tree is to be removed from?	Reason for Removal	Proposed Replacement
A	Monterey Cypress	24"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SW corner	incompatible w/grading	see attached landscape plan
B	Monterey Cypress	36"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	S Property line	incompatible w/grading	see attached landscape plan
C	Ornamental	16"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	SE corner	incompatible w/grading	see attached landscape plan
D	Ornamental	6"	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	E Property line	incompatible w/grading	see attached landscape plan
E			<input type="checkbox"/> Yes <input type="checkbox"/> No			
F	EXAMPLES LISTED BELOW:		<input type="checkbox"/> Yes <input type="checkbox"/> No			
Sample	(Q. lobata) Valley Oak	22.5"	[xx] Yes <input type="checkbox"/> No	Back Yard near existing house	Large areas of decay in main trunk	4-15 Gallon live oaks, 2 here and 2 in the front yard
Sample	(S. semiperv.)	Multi trunks	<input type="checkbox"/> Yes	Front Yard	Root-sprouted;	2-15 gallon

	Coast Redwood	5" – 9" diameter	[xx] No		weak; poor specimen/form.	redwoods @ rear property line
--	---------------	------------------	----------	--	---------------------------	-------------------------------

The submittal information shall be provided to the Planning Department. All submittal information shall be presented along with the Planning Application form, related fees, and any additional information required by the Planning Department before the application can be accepted as complete.

Upon receipt of this information the Planning Department has 30 days in which to determine if the application is complete. Once the application has been deemed complete, the project can be scheduled before the Tree Board. The Tree Board meets on the 1st and 3rd Wednesday of each month at Sebastopol City Hall, 7120 Bodega Avenue, Sebastopol, at 4:00 p.m.

The applicant and/or his representative must be present for any meetings. Failure to do so may result in the application being continued.

Size Limit: Plans should not be larger than 30" x 42" trimmed. All plans shall be folded into a 9" x 11" size. **Unfolded plans will not be accepted.**

Scale: The scale used on submittal plans shall generally be at a 1/8" = 1'0" for the architectural plans, 1" = 20' for site engineering plans. Include a north arrow, the scale and a bar scale on all plans.

- 1. **Application Form:**(1)
Completed and signed by applicant and property owner.
- 2. **Fee:** As defined on the fee schedule listed on the Master Planning Application. Checks should be made payable to the City of Sebastopol.
- 3. **Location Map:**(1)
Indicate the subject parcel(s) and adjacent streets on an 8 1/2" x 11" map.
- 4. **Written Statement**(1)
Written Statement providing a description of tree(s) proposed to be removed.
- 5. **Site Plans:**.....(1 set)
Clearly show the location of the tree(s) proposed to be removed on the property.
- 6. **Site Photographs:**(1 set)
Clearly show the views of and from the project, including neighboring development. Include a key map indicating where the pictures were taken from and in what direction they were taken. Label the pictures accordingly. It is often desirable to provide the City with a series of overlapping photographs of the surrounding neighborhood that show a panoramic view. Polaroids or digital photos on a CD are acceptable.

INDEMNIFICATION AGREEMENT

"As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect."

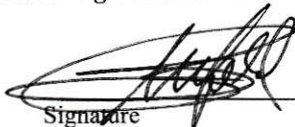
Applicant's Signature  **Date Signed** 3-17-2022 **Planning File No.** _____

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

NOTICE OF MAILING:

Effective immediately, email addresses or facsimiles will be used for sending out of staff reports and agendas to applicants, their representatives, property owners, and others to be notified if an email address or facsimile number is available.

Please sign and acknowledge you have been notified of the Notice of Mailing for applications and have provided an email address or fax number.



Signature

WAYNE KLEFFELD

Printed Name

Public Notification of Tree Removal

Trees proposed for removal shall be marked by THE APPLICANT with a form prescribed by the City (attached). Notice of a Tree Removal Permit application shall be posted on the subject parcel on affected tree(s), and in at least two public places within 300 feet of the affected trees, at least ten (10) calendar days prior to the date of the Sebastopol Tree Board meeting at which the application will be considered.

THIS IS TO CERTIFY THAT I, THE APPLICANT, AM RESPONSIBLE FOR POSTING THE TREE(S) PROPOSED FOR REMOVAL WITH THE ATTACHED FORM WITHIN 5 DAYS OF FILING THIS TREE REMOVAL APPLICATION. FAILURE TO POST THE PROPOSED TREE(S), AS REQUIRED, MAY RESULT IN THE APPLICATION BEING CONTINUED OR DENIED.

If you need help in posting the proposed tree(s), please contact the Planning Department at 707-823-6167

Please sign and acknowledge you have been notified of the Posting of Tree(s) Requirement



Signature

WAYNE KLEFFELD

Printed Name



City of Sebastopol

NOTICE OF REQUEST FOR APPROVAL TO REMOVE TREES

Species: _____
Address: _____
Diameter at Breast Height (per tree): “ d.b.h.
Date Posted: _____ (5 days from filing of application)
Designation: Protected Native or Heritage Size

An application has been submitted to the Sebastopol Tree Board to remove a tree(s). Anyone who holds an interest in this tree may call the Sebastopol Planning Department at 707-823-6167.

_____ at Sebastopol City Hall, City Hall Conference Room, 7120 Bodega Avenue, Sebastopol at 4:00 p.m.

IT IS A MISDEMEANOR TO DEFACE OR REMOVE THIS NOTICE.

TREE REMOVAL PERMIT WRITTEN DESCRIPTION

The property at 333 North Main Street is an existing vacant lot.

The proposed project would consist of (4) three-bedroom, two story townhouses with (4) one car garages.

There are (4) trees that are proposed to be removed.

The two larger trees are Monterey Cypress which are not on the list of trees native to Sebastopol. The two smaller trees are ornamentals and not of significance by either size or species.

The City has a preliminary arborist report for the two larger trees near the south property line. One of the two larger trees is on the neighbor's property to the south. The neighbor is in favor of this project and agrees that the tree can be removed.

The proposed landscape plan shows replacing trees with approximately (14) new trees.

The trees are proposed to be removed because the natural grade at the south property edge and the south east corner make the property unfeasible to develop unless grading and retaining walls are utilized there, and this grading and retaining would be incompatible with saving the trees.

SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

SITE DATA TABLE	REQUIRED / ZONING STANDARD	EXISTING	PROPOSED
Zoning	N/A		
Use	N/A		
Lot Size			
Square Feet of Building/Structures <i>(if multiple structures include all separately)</i>			
Floor Area Ratio (F.A.R)	_____ FAR	_____ FAR	Based on site area less easements _____ FAR
Lot Coverage	_____ % of lot	_____ % of lot	_____ % of lot
	_____ sq. ft.	_____ sq. ft.	_____ sq. ft.
Parking			
Building Height			
Number of Stories			
Building Setbacks – Primary			
<i>Front</i>			
<i>Secondary Front Yard (corner lots)</i>			
<i>Side – Interior</i>			
<i>Rear</i>			
Building Setbacks – Accessory			
<i>Front</i>			
<i>Secondary Front Yard (corner lots)</i>			
<i>Side – Interior</i>			
<i>Rear</i>			
Special Setbacks (if applicable)			
<i>Other (_____)</i>			
Number of Residential Units	_____ Dwelling Unit(s)	_____ Dwelling Unit(s)	_____ Dwelling Unit(s)
Residential Density	1 unit per _____ sq. ft.	1 unit per _____ sq. ft.	1 unit per _____ sq. ft.
Useable Open Space	_____ sq. ft.	_____ sq. ft.	_____ sq. ft.
Grading	Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees.	N/A	Total: _____ cu. yds. Cut: _____ cu. yds. Fill: _____ cu. yds. Off-Haul: _____ cu. yds
Impervious Surface Area	N/A	_____ % of lot	_____ % of lot
		_____ sq. ft.	_____ sq. ft.
Pervious Surface Area	N/A	_____ % of lot	_____ % of lot
		_____ sq. ft.	_____ sq. ft.

CONDITIONS OF APPLICATION

1. All Materials submitted in conjunction with this form shall be considered a part of this application.
2. This application will not be considered filed and processing may not be initiated until the Planning Department determines that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant of all application deficiencies no later than 30 days following application submittal.
3. The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the owner's behalf.
4. The Owner shall inform the Planning Department in writing of any changes.
5. **INDEMNIFICATION AGREEMENT:** As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

6. **REPRODUCTION AND CIRCULATION OF PLANS:** I hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
7. **NOTICE OF MAILING:** Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
8. **DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
9. **NOTICE OF ORDINANCE/PLAN MODIFICATIONS:** Pursuant to Government Code Section 65945(a), please indicate, by checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the following plans or ordinances if the City determines that the proposal is reasonably related to your request for a development permit:

A general plan

A specific plan

An ordinance affecting building permits or grading permits

A zoning ordinance

Certification

I, the undersigned owner of the subject property, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury. I hereby grant members of the Planning Commission, Design Review Board and City Staff admittance to the subject property as necessary for processing of the project application.

Property Owner's Signature: _____

Date: 3/10/22

I, the undersigned applicant, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.

Applicant's Signature: _____

Date: 3/10/22

NOTE: It is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

Neighbor Notification

In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, residents, and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight, or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times, development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project: Yes No

If yes, or if you will inform neighbors in the future, please describe outreach efforts:

Website Required for Major Projects

Applicants for major development projects (which involves proposed development of **10,000 square feet of new floor area or greater, or 15 or more dwelling units/lots**), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

- ✓ Project description
- ✓ Contact information for the applicant, including address, phone number, and email address
- ✓ Map showing project location
- ✓ Photographs of project site
- ✓ Project plans and drawings