

# SONOMA COUNTY HABITAT FOR HUMANITY SEBASTOPOL TOWNHOUSES

333 NORTH MAIN STREET, SEBASTOPOL, CA 95472

NOT FOR  
CONSTRUCTION



200 E STREET, SANTA ROSA, CA 95404  
707.544.3920 | www.jeffkatzarchitecture.com



## PROJECT DATA

**PROJECT ADDRESS:** 333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

**ASSESSOR'S PARCEL NO.:** 004-670-022000

**OWNER:** HABITAT FOR HUMANITY OF SONOMA COUNTY  
1201 FINER ROAD, SUITE 500  
SANTA ROSA, CA 95402

**GOVERNING AGENCY:** CITY OF SEBASTOPOL PLANNING DEPARTMENT  
7120 BODEGA AVENUE  
SEBASTOPOL, CA 95472

**GOVERNING CODES:** CITY OF SEBASTOPOL ZONING ORDINANCE  
2019 CALIFORNIA BUILDING CODE

**SCOPE OF WORK:** THE PROJECT AT 333 NORTH MAIN STREET CONSISTS OF (4) THREE BEDROOM, TWO STORY TOWNHOUSES WITH (4) ONE CAR GARAGES. THE FRONT ENTRANCES TO THE TOWNHOUSES WILL INCLUDE COVERED PORCHES FACING NORTH MAIN STREET AND EACH TOWNHOUSE WILL HAVE A PRIVATE PATIO AT THE REAR OF THE TOWNHOUSE. THE GARAGES WILL BE ACCESSED FROM A DRIVEWAY THAT IS EXISTING AT THE NORTH EDGE OF THE PROPERTY. THE SITE IMPROVEMENTS WILL INCLUDE A RETAINING WALL, GRADING, LANDSCAPING, PATIOS, WALKWAYS AND UTILITIES. THE TOWNHOUSES WILL BE PRIVATELY OWNED SINGLE FAMILY RESIDENCES.

## LEGAL DESCRIPTION

PARCEL: 004-670-022000

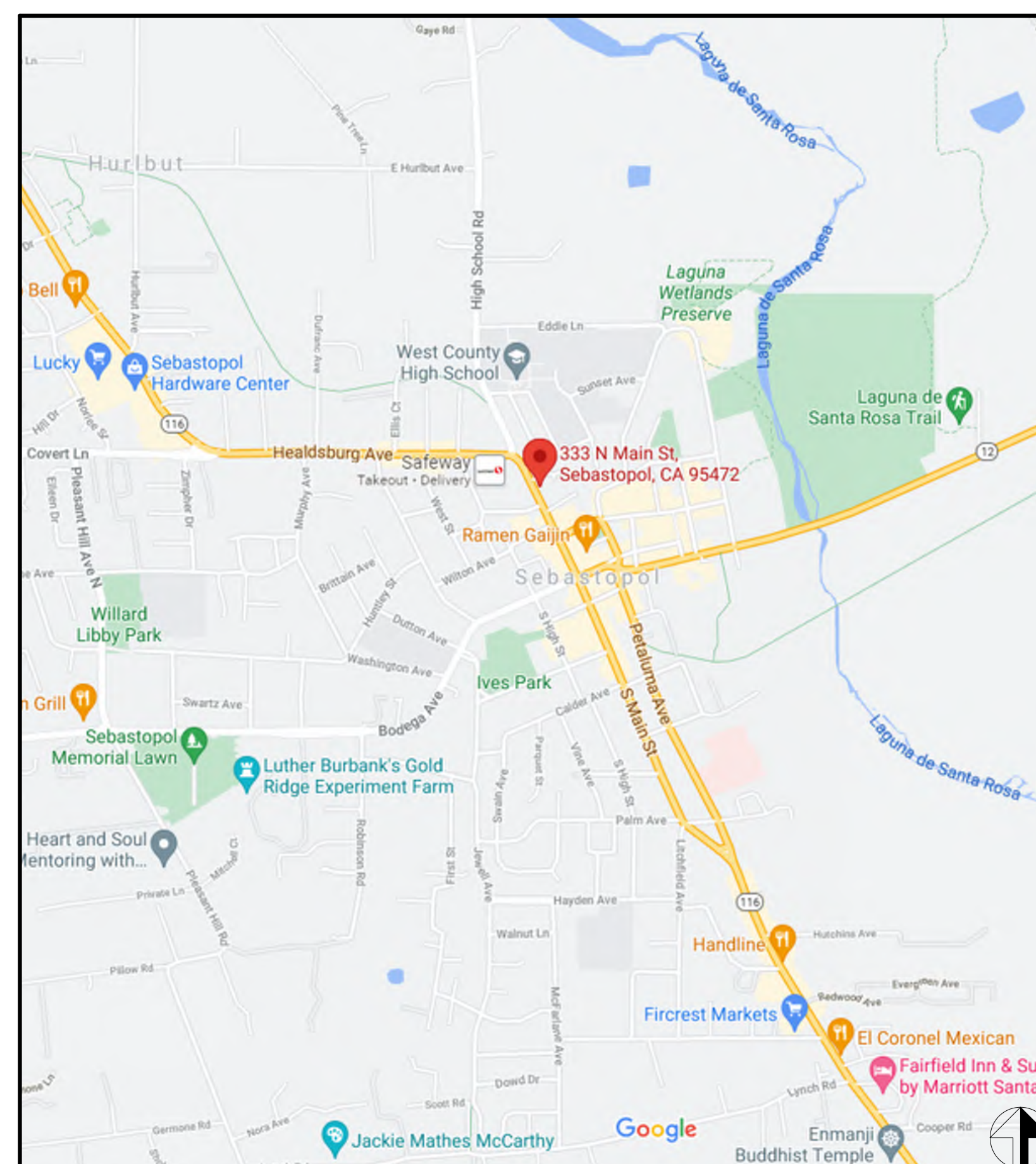
PROJECT:  
SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

## PROJECT TEAM

**ARCHITECTURE**  
JEFF KATZ ARCHITECTURE  
200 E STREET  
SANTA ROSA, CA 95404  
(707) 544-3920 / (707) 544-2514 (FAX)  
Contact: Jeff Katz, AIA  
jeff@jeffkatzarchitecture.com



## LOCATION MAP



## VICINITY MAP



**OCCUPANCY GROUP:** RESIDENTIAL, R-3 PER CRC

**CONSTRUCTION TYPE:** V-B

**ALLOWABLE BLDG AREA:** RESIDENTIAL, R-3 PER CRC UNLIMITED

**ACTUAL BLDG AREA:**

FIRST FLOOR	3,924 S.F.
SECOND FLOOR	2,600 S.F.
TOTAL BUILDING AREA	6,524 S.F.

**FLOOR AREA RATIO:** 0.89

**FLOOR AREA RATIO WITH EASEMENT AREAS DEDUCTED:** 1.09

**ZONING:** CD

**SITE AREA:** 7,286 S.F.

**SITE AREA WITH EASEMENT AREAS DEDUCTED:** 5,994 S.F.

**LOT COVERAGE:** 70%

**NUMBER OF STORIES:** 2

**MAX BUILDING HEIGHT ALLOWED:** 40 FT

**ACTUAL BUILDING HEIGHT:** 23 FT

**PARKING REQUIRED:** 8 SPACES

**PARKING PROVIDED:** 4 SPACES

**REQUIRED SETBACKS (PRIMARY BUILDING):** FRONT - 0 FT  
SIDE - 0 FT  
REAR - 5 FT

**REQUIRED SETBACKS (ACCESSORY BUILDING):** FRONT - 0 FT  
SIDE - 0 FT  
REAR - 3 FT

**PROPOSED SETBACKS (PRIMARY BUILDING):** FRONT - 5 FT  
SIDE - 5 FT  
REAR - 16.3 FT

**PROPOSED SETBACKS (ACCESSORY BUILDING):** FRONT - 5 FT  
SIDE - 1.5 FT  
REAR - 9 FT

## SHEET INDEX

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C2.0	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN
C2.1	SITE SECTIONS
C3.0	DETAILS
L1.0	PRELIMINARY LANDSCAPE PLAN
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A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	SCHEMATIC RENDERINGS
A4.1	BUILDING SECTIONS

Description: Date:  
CONCEPTUAL PLANNING REVIEW 07/16/21  
DESIGN REVIEW 10/15/21  
DESIGN REVIEW 01/10/22  
RESUBMITTAL

NOT FOR  
CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
TITLE SHEET

SHEET NUMBER:

T-1



**PROJECT INFORMATION**

PROJECT ADDRESS: 333 NORTH MAIN STREET SEBASTOPOL, CA 95472

OWNER/DEVELOPER: HABITAT FOR HUMANITY SONOMA COUNTY  
C/O JEFF KATZ  
200 EAST STREET  
SANTA ROSA, CA 95404  
(619)698-9177

CIVIL ENGINEER: THOMAS J. BILLETER, P.E.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

LANDSCAPE ARCHITECT: STEVE KOVANIS, P.L.A.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

ARCHITECT: JEFF KATZ  
JEFF KATZ ARCHITECTURE  
200 E STREET  
SANTA ROSA, CA 95404  
707-544-3920

SURVEYOR: RAY CARLSON AND ASSOCIATES, INC.  
411 RUSSELL AVENUE  
SANTA ROSA, CA 95403  
(707) 528-7649

AREA: 0.17 ACRES

**PRELIMINARY GRADING AND DRAINAGE DRAWINGS FOR  
HABITAT FOR HUMANITY SONOMA COUNTY**

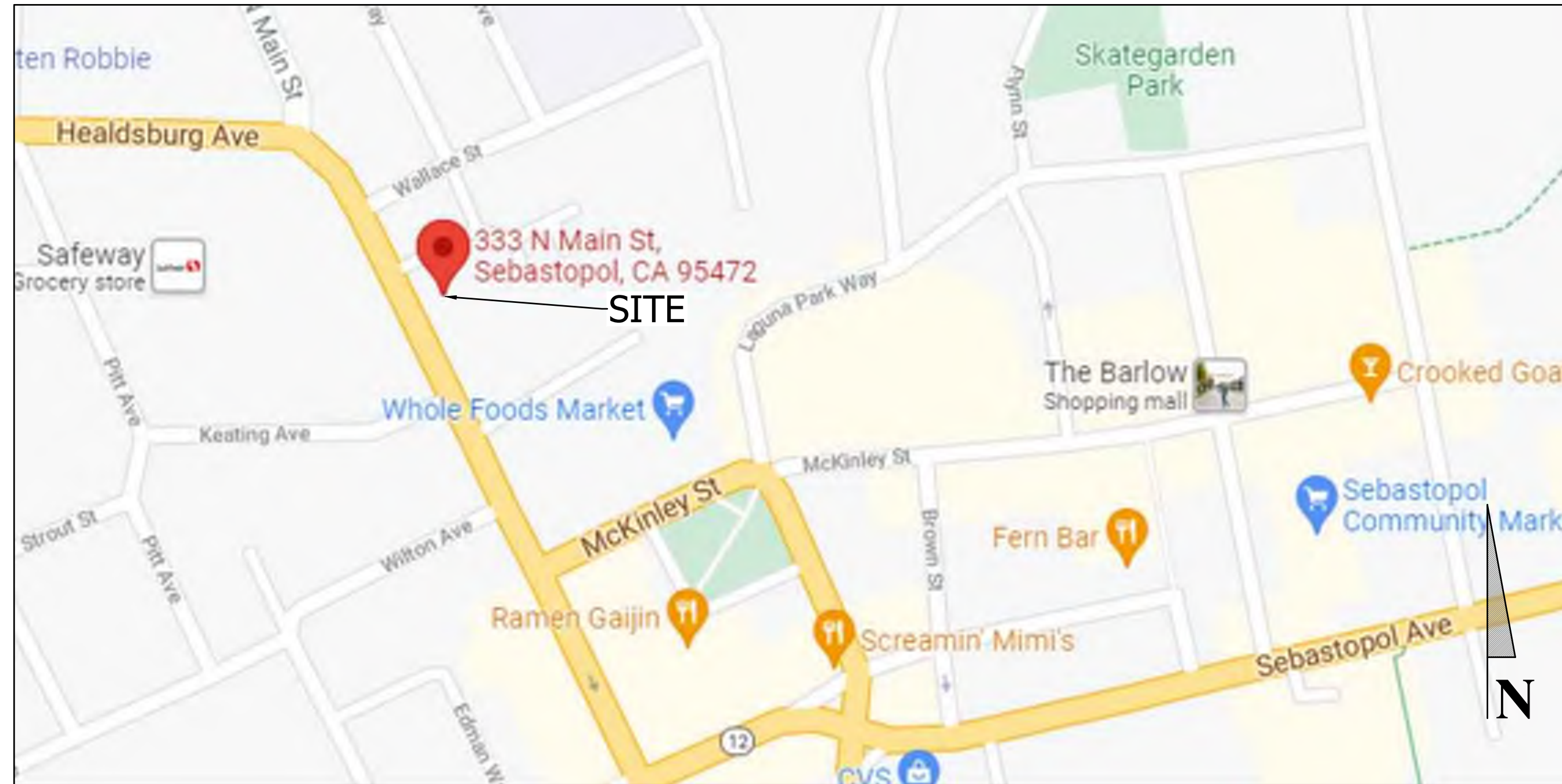
**333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472  
APN: 004-670-022**

**SHEET INDEX**

C1.0 PROJECT INFO  
C1.2 OVERALL SITE PLAN  
C2.0 PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN  
C2.1 SITE SECTIONS  
C3.0 DETAILS

**ABBREVIATIONS**

&	AND	HP	HIGH POINT
@	AT	HT	HEIGHT
t	CENTERLINE	HWY	HIGHWAY
°	DEGREE	ID	INSIDE DIAMETER
∅	DIAMETER	IG	INVERT GRADE
#	NUMBER	IN	INCH
//	PARALLEL	INT	INTERIOR
%	PERCENT	INV	INVERT
⊥	PERPENDICULAR	IJ	"I" JOIST
±	PLUS OR MINUS	JST	JOIST
AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	ASPHALT CONCRETE	L	LENGTH
AD	AREA DRAIN	LAT	LATERAL
ADDL	ADDITIONAL	LF	LINEAL FOOT
AFF	ABOVE FINISHED FLOOR	LGW	LIMITS OF GRADING WORK
AG	AGGREGATE	MAX	MAXIMUM
ALT	ALTERNATE	ME	MATCH EXISTING
ANCH	ANCHOR	MIN	MINIMUM
APN	ASSESSOR'S PARCEL NUMBER	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MO	MASONRY OPENING
ARCH	ARCHITECT / ARCHITECTURAL	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
AVG	AVERAGE	(N)	NEW
BC	BEGIN CURVE	NTS	NOT TO SCALE
BD	BELOW DECK	OC	ON CENTER
BFF	BELOW FINISHED FLOOR	OD	OUTSIDE DIAMETER OF OUTSIDE FACE
BLDG	BUILDING	OH	OVERHEAD
BLK	BLOCK	OPNG	OPENING
BLKG	BLOCKING	OPP	OPPOSITE
BM	BENCHMARK	ORIG	ORIGINAL
BOF	BOTTOM OF FOOTING	(P)	PROPOSED
BOT	BOTTOM	PCC	POINT OF COMPOUND CURVE
BRG	BEARING	PL	PROPERTY LINE
BSL	BUILDING SETBACK LINE	PQC	POINT OF CURVATURE
BT	BEGIN TRANSITION	PRC	POINT OF RETURN CURVE
BTWN	BETWEEN	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL	PVC	POLYVINYLCHLORIDE
CIP	CAST IN PLACE	PVMT	PAVEMENT
CB	CATCH BASIN	R or RAD	RADIUS
CBC	CALIFORNIA BUILDING CODE	RC	RELATIVE COMPACTION
CL	CENTERLINE	REF	REFERENCE
CLR	CLEAR	REINF	REINFORCING
CMU	CONCRETE MASONRY UNIT	REQD	REQUIRED
CONC	CONCRETE	RO	ROUGH OPENING
CONN	CONNECTION	ROW	RIGHT OF WAY
CONST	CONSTRUCTION	RT	RIGHT
CONT	CONTINUOUS	RWD	REDWOOD
CPC	CALIFORNIA PLUMBING CODE	S	SLOPE
CPP	CORRUGATED PLASTIC PIPE	SAD	SEE ARCHITECTURAL DRAWINGS
CRC	CALIFORNIA RESIDENTIAL CODE	SB	SOLID BLOCK
CTR	CENTER	SC	SPIRAL CURVE
CY	CUBIC YARD	SCD	SEE CIVIL DRAWINGS
D	DEPTH	SCH	SCHEDULE
DBL	DOUBLE	SD	STORM DRAIN
DI	DROP INLET	SDCO	STORM DRAIN CLEANOUT
DIA	DIAMETER	SDE	STORM DRAIN EASEMENT
DIAG	DIAGONAL	SDMH	STORM DRAIN MANHOLE
DIM	DIMENSION	SED	SEE ELECTRICAL DRAWINGS
DIST	DISTANCE	SF	SQUARE FEET
DL	DAYLIGHT	SG	SUBGRADE
DN	DOWN	SHT	SHEET
DS	DOWNSPOUT	SHTG	SHEATHING
DWG	DRAWING	SIM	SIMILAR
EACH	EACH	SLAD	SEE LANDSCAPE ARCHITECTS' DRAWINGS
EC	END CURVE	SMD	SEE MECHANICAL DRAWINGS
EE	EACH END	SO	SIDE OPENING
EF	EACH FACE	SPEC	SPECIFICATION
EG	EXISTING GROUND	SPD	SEE PLUMBING DRAWINGS
ELEV	ELEVATION	SQ	SQUARE
ELEC	ELECTRICAL	SS	SANITARY SEWER
EN	EDGE NAILING	SSCO	SANITARY SEWER CLEANOUT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EQPT	EQUIPMENT	STA	STATION
EQ	EQUAL	STD	STANDARD
ES	EACH SIDE	STRUC	STRUCTURAL
ESMT	EASEMENT	SWE	SIDEWALK EASEMENT
ET	END TRANSITION	SYM	SYMMETRICAL
EW	EACH WAY	T&B	TOP AND BOTTOM
EX or (E)	EXISTING	TB	TOP OF BANK
EXC	EXCAVATION / EXCAVATE	TC	TOP OF CONCRETE
EXT	EXTERIOR	TCC	TOP OF CONCRETE CURB
FC	FACE OF CURB	TD	TRENCH DRAIN
FD	FLOOR DRAIN	TG	TOP OF GRATE
FDN	FOUNDATION	THK	THICK
FF	FINISH FLOOR	TOF	TOP OF FOOTING
FG	FINISH GRADE	TOS	TOP OF STEEL / TOP OF STRUCTURE
FIN	FINISH	TOT	TOTAL
FL	FLOWLINE	TP	TOP OF PAVEMENT
FLR	FLOOR	TW	TOP OF WALL
FO	FACE OF	TYP	TYPICAL
FOW	FACE OF WALL	UNO	UNLESS NOTED OTHERWISE
FS	FINISHED SURFACE	VC	VERTICAL CURVE
FT	FOOT / FEET	VERT	VERTICAL
GB	GRADE BREAK OR GRAVEL BASIN	VIF	VERIFY IN FIELD
GR	GRATE	W	WATER / WIDTH
GRD	GRADE	W/	WITH
GRND	GROUND	W/O	WITHOUT
HDPE	HIGH DENSITY POLYETHYLENE	YD, YDS	YARD, YARDS
HORIZ	HORIZONTAL	Z	DITCH SIDE SLOPE



**VICINITY MAP**  
NTS

**PRELIMINARY EARTHWORK SUMMARY**

CUT = 560 CY  
FILL = 20 CY  
NET = 540 CY (CUT/FILL)

DISTURBED AREA = 0.19 ACRES W/DID # NA

EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES AREA BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND AND PROPOSED FINISH GROUND AND COULD VARY ACCORDING TO THESE FACTORS. CONTRACTOR SHALL CONFIRM EXISTING TOPOGRAPHY, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S), AND SHALL PERFORM AN INDEPENDENT QUANTITY TAKEOFF AND BID ACCORDINGLY.

**PURPOSE STATEMENT**

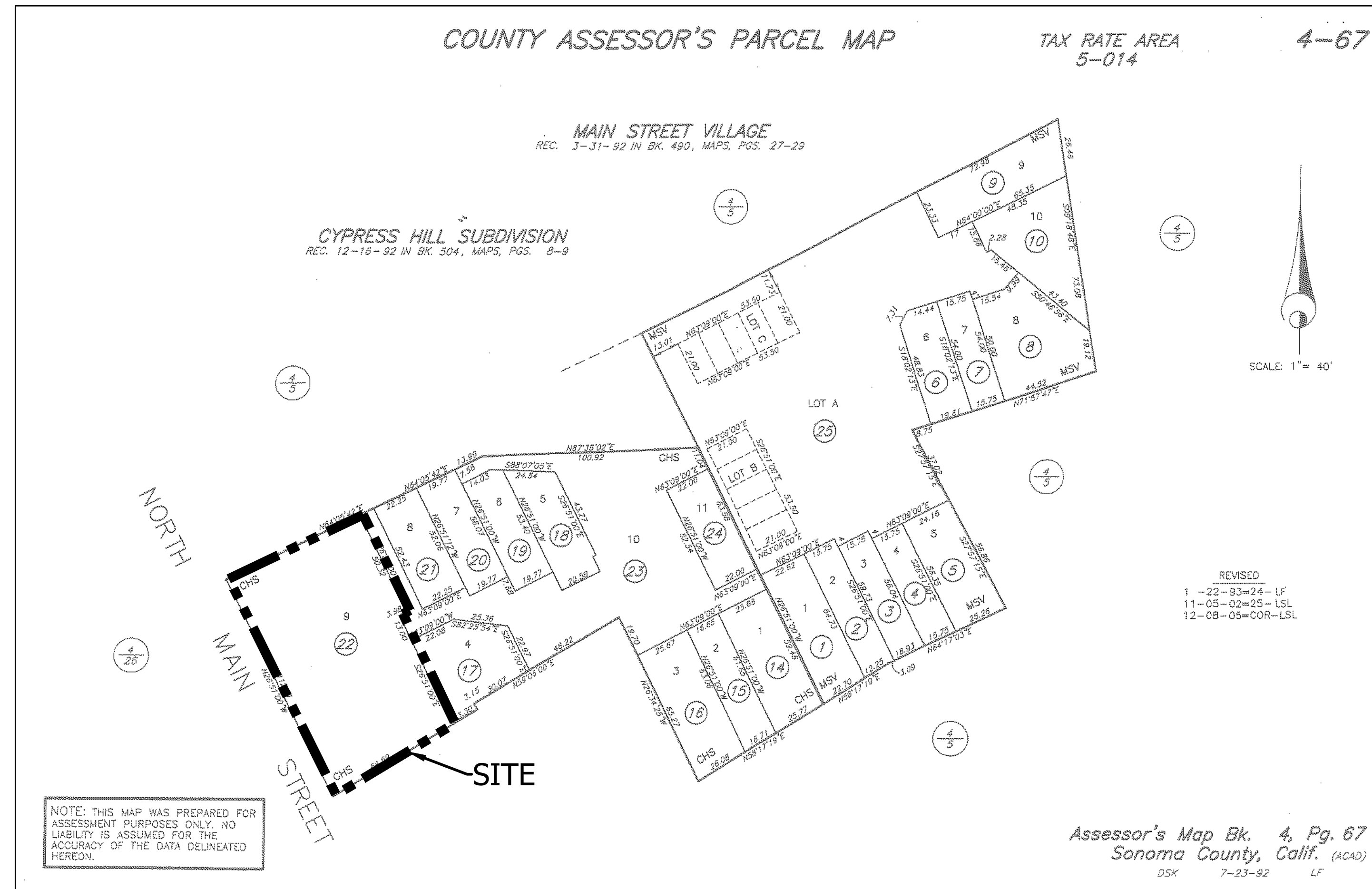
THE PURPOSE OF THIS PROJECT IS TO PROVIDE PRELIMINARY GRADING AND DRAINAGE IMPROVEMENTS FOR NEW RESIDENTIAL UNITS AND ASSOCIATED GARAGES TO SUPPORT A DESIGN REVIEW SUBMITTAL.

**SURVEY NOTE**

BENCHMARK NOTE: DESCRIPTION OF BENCHMARK: #3 RABAR AND RED CAP - POINT 5000  
ASSUMED ELEVATION: 94.89 FEET  
CONTOUR INTERVAL = 1 FOOT

**LEGEND**

EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD WIRE)
---	---	GAS LINE
---	---	GATE VALVE
---	---	HYDRANT
---	---	PIPE CAP
---	---	POINT OF COORDINATION
---	---	SANITARY SEWER PIPE
---	---	STORM WATER DRAIN PIPE
---	---	STREET LIGHT
---	---	SUB-DRAIN
---	---	WATER LINE
---	---	BUILDING OVERHEAD
---	---	DAYLIGHT LINE
---	---	DRAINAGE SWALE FLOW LINE
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	FEATURE TO BE REMOVED
---	---	FIBER ROLL
---	---	GRADE BREAK
---	---	LIMITS OF DISTURBANCE
---	---	RETAINING WALL
---	---	ROADSIDE SIGN
---	---	SAWCUT
---	---	TREE TO BE REMOVED
---	---	CONCRETE
---	---	ROCK DISSIPATER/RIP RAP



**ASSESSORS PARCEL MAP**  
NTS

DATE: \_\_\_\_\_ BY: \_\_\_\_\_ DESCRIPTION: \_\_\_\_\_ REV: \_\_\_\_\_

**BC ENGINEERING GROUP, INC.**  
CIVIL ENGINEERING & LAND PLANNING  
www.bcegroup.com  
Phone: 707.542.4321  
SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401  
UKAR OFFICE: 603 S. State Street, Ukiah CA 95482

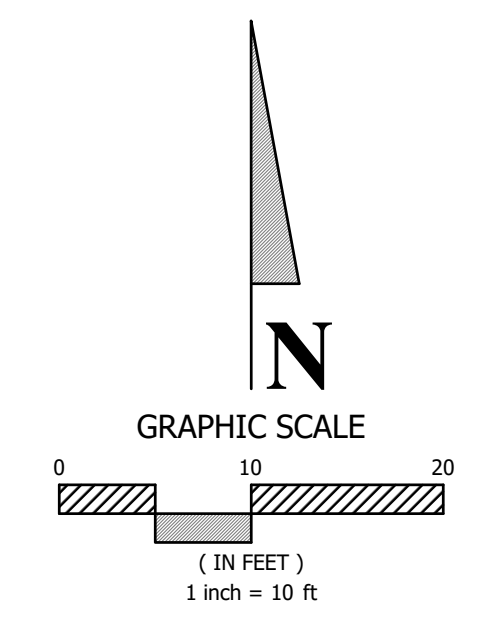
**HABITAT FOR HUMANITY SONOMA COUNTY**  
PROJECT INFO  
C/O JEFF KATZ  
333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472

**PRELIMINARY**

Date: 12/27/2021  
Job: 2157-21  
Drawn: TSL / EK / JAB  
Scale: AS SHOWN  
APN: 004-670-022  
Permit #: \_\_\_\_\_  
Sheet: **C1.0**  
1 of 5

NOT FOR CONSTRUCTION


S:\Clients\2157-21-Habitat for Humanity - 333 N. Main Street, Sebastopol, CA\CAD\Civil Engineering\2157-21 Overall Site Plan.dwg  
 12/27/2021 2:08 PM Plotted by Treor

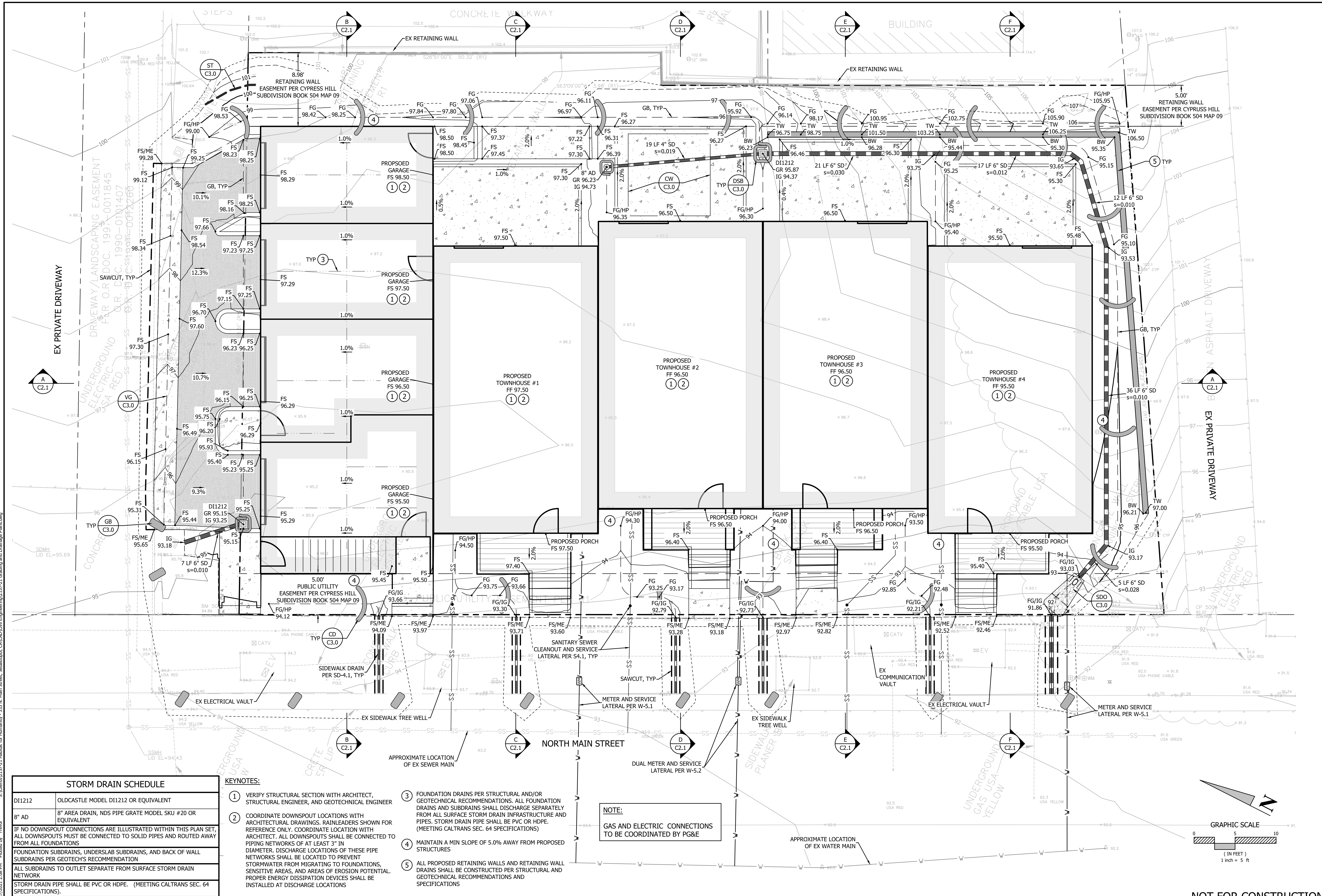


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REV.	DESCRIPTION	BY	DATE

<b>BC ENGINEERING GROUP, INC.</b> CIVIL ENGINEERING & LAND PLANNING www.bcegroup.com Phone: 707.542.4321 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482	
	
HABITAT FOR HUMANITY SONOMA COUNTY OVERALL SITE PLAN C/O JEFF KATZ 333 NORTH MAIN STREET SEBASTOPOL, CA 95472	
PRELIMINARY	
Date:	12/27/2021
Job:	2157-21
Drawn:	TSL / EK / JAB
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APN:	004-670-022
Permit #:	
Sheet:	<b>C1.1</b> 2 of 5



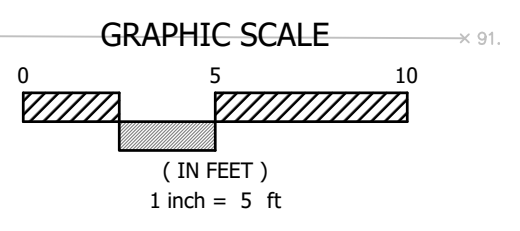
**STORM DRAIN SCHEDULE**

DI1212	OLDCASTLE MODEL DI1212 OR EQUIVALENT
8" AD	8" AREA DRAIN, NDS PIPE GRATE MODEL SKU #20 OR EQUIVALENT
IF NO DOWNSPOUT CONNECTIONS ARE ILLUSTRATED WITHIN THIS PLAN SET, ALL DOWNSPOUTS MUST BE CONNECTED TO SOLID PIPES AND ROUTED AWAY FROM ALL FOUNDATIONS	
FOUNDATION SUBDRAINS, UNDERSLAB SUBDRAINS, AND BACK OF WALL SUBDRAINS PER GEOTECH'S RECOMMENDATION	
ALL SUBDRAINS TO OUTLET SEPARATE FROM SURFACE STORM DRAIN NETWORK	
STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	

**KEYNOTES:**

- VERIFY STRUCTURAL SECTION WITH ARCHITECT, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER
- COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS. RAINFOLEDS SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION WITH ARCHITECT. ALL DOWNSPOUTS SHALL BE CONNECTED TO PIPING NETWORKS OF AT LEAST 3" IN DIAMETER. DISCHARGE LOCATIONS OF THESE PIPE NETWORKS SHALL BE LOCATED TO PREVENT STORMWATER FROM MIGRATING TO FOUNDATIONS, SENSITIVE AREAS, AND AREAS OF EROSION POTENTIAL. PROPER ENERGY DISSIPATION DEVICES SHALL BE INSTALLED AT DISCHARGE LOCATIONS
- FOUNDATION DRAINS PER STRUCTURAL AND/OR GEOTECHNICAL RECOMMENDATIONS. ALL FOUNDATION DRAINS AND SUBDRAINS SHALL DISCHARGE SEPARATELY FROM ALL SURFACE STORM DRAIN INFRASTRUCTURE AND PIPES. STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS)
- MAINTAIN A MIN SLOPE OF 5.0% AWAY FROM PROPOSED STRUCTURES
- ALL PROPOSED RETAINING WALLS AND RETAINING WALL DRAINS SHALL BE CONSTRUCTED PER STRUCTURAL AND GEOTECHNICAL RECOMMENDATIONS AND SPECIFICATIONS

**NOTE:**  
GAS AND ELECTRIC CONNECTIONS TO BE COORDINATED BY PG&E



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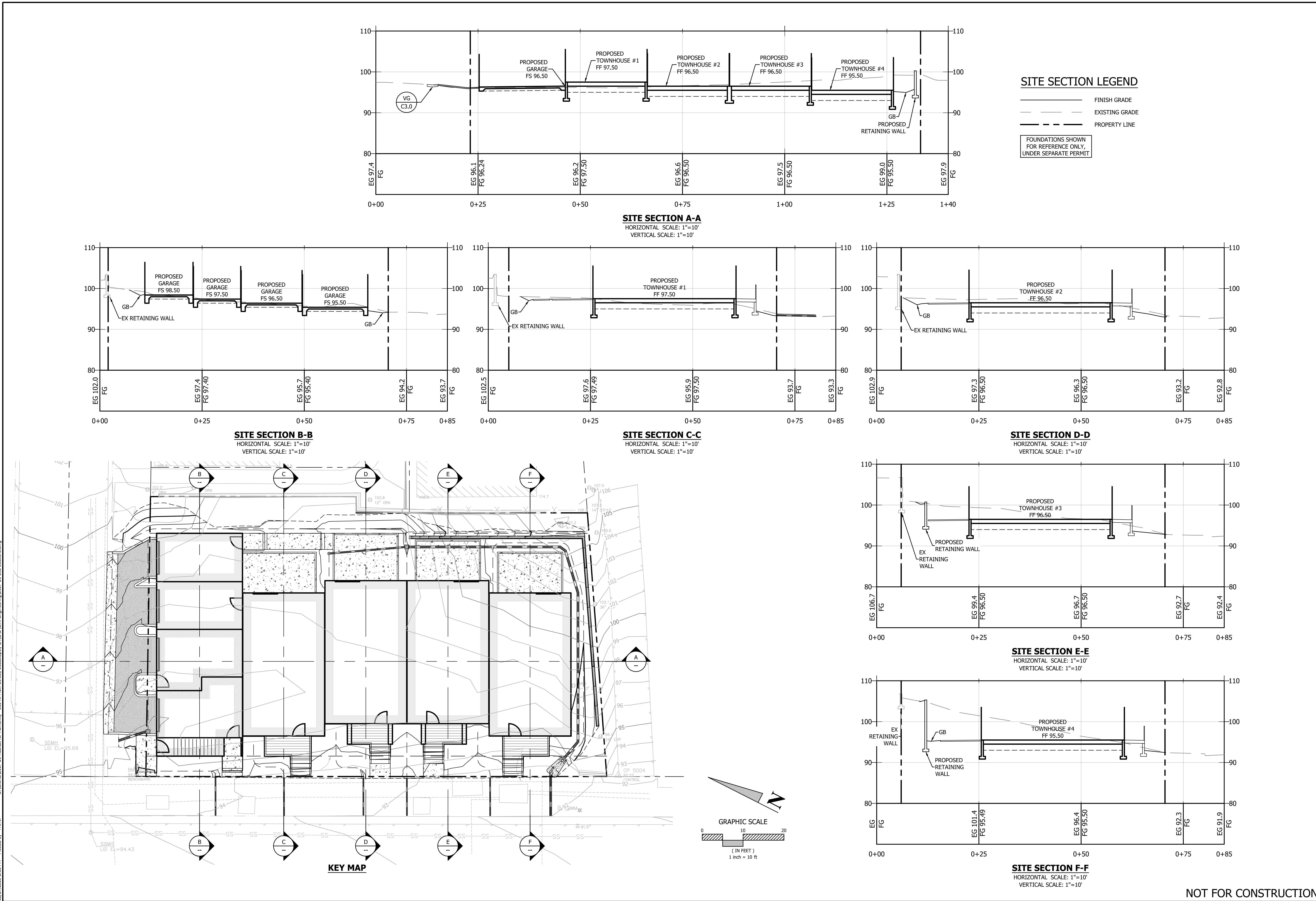
**BC ENGINEERING & LAND PLANNING**  
 CIVIL ENGINEERING & LAND PLANNING  
 www.bceengineering.com  
 Phone: 707.543.4321  
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401  
 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482

**HABITAT FOR HUMANITY SONOMA COUNTY**  
 PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

**PRELIMINARY**

Date: 12/27/2021  
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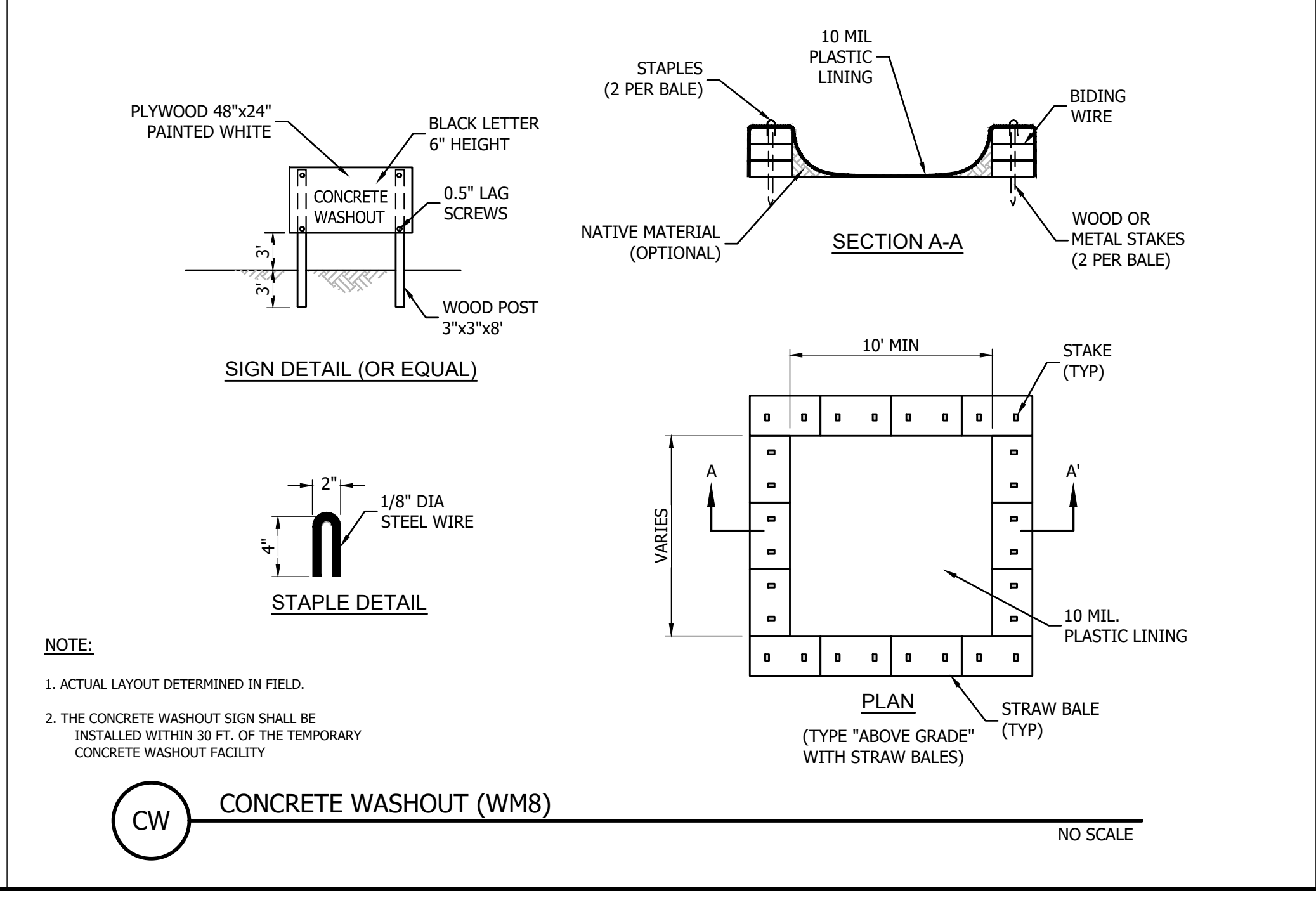
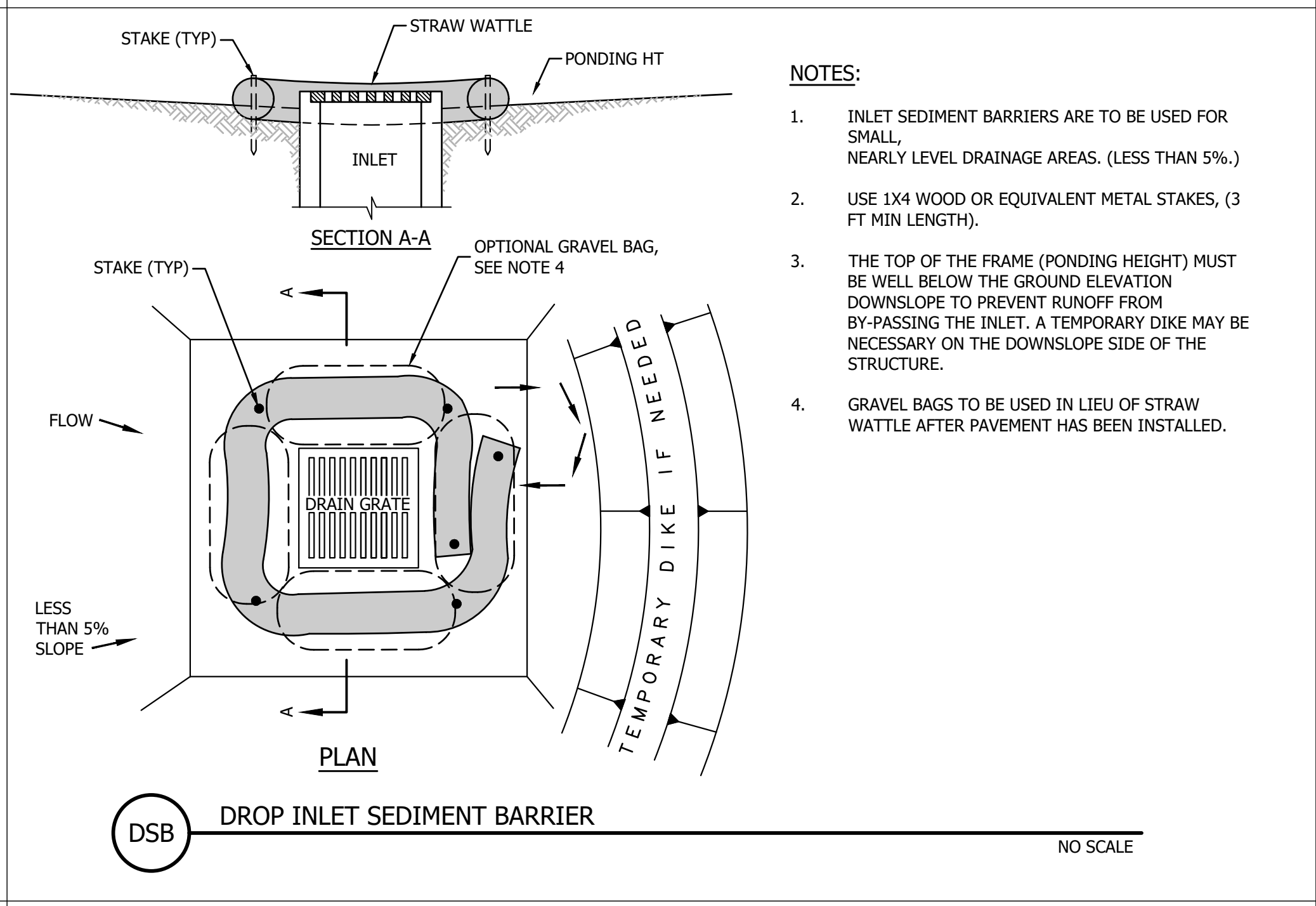
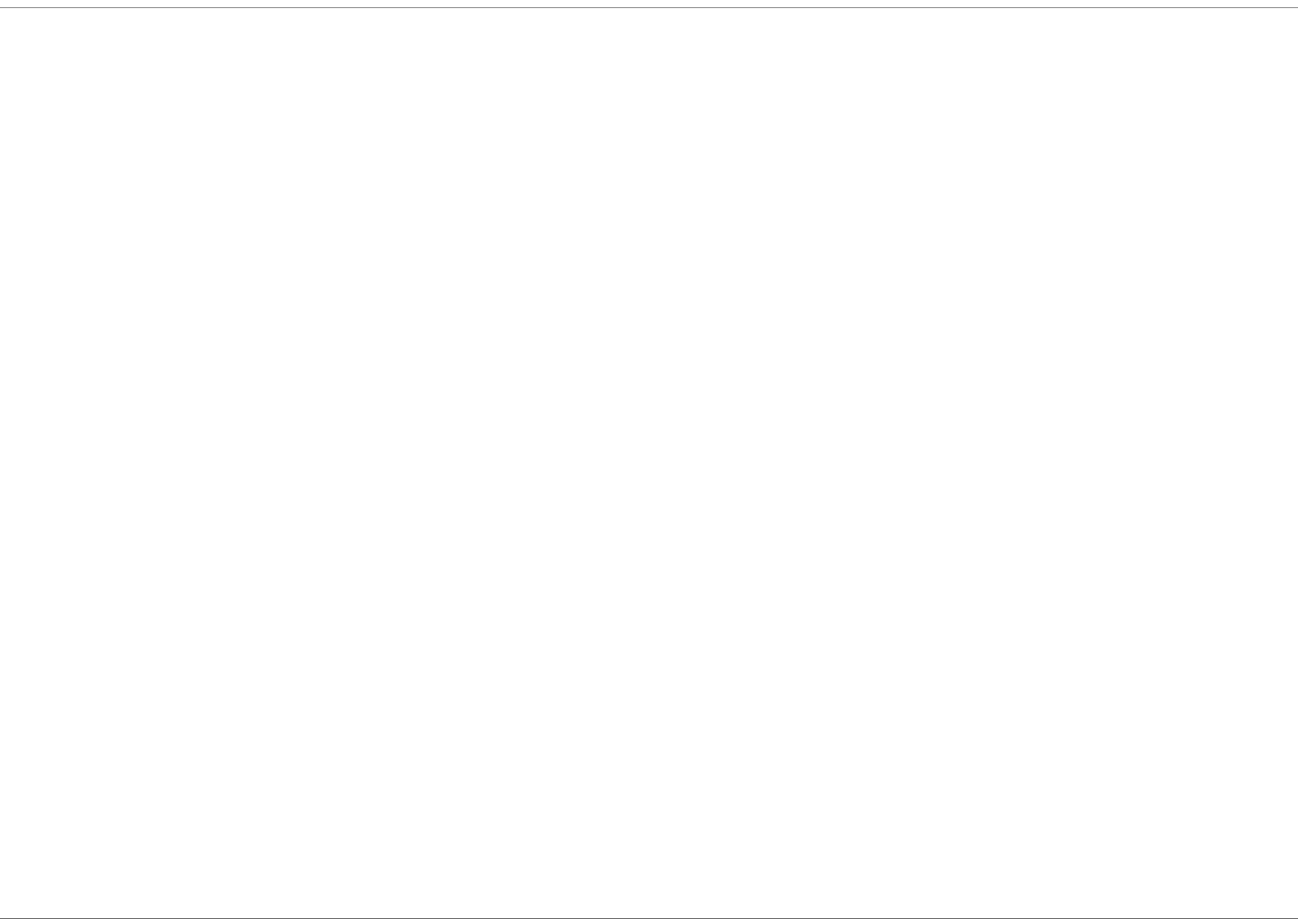
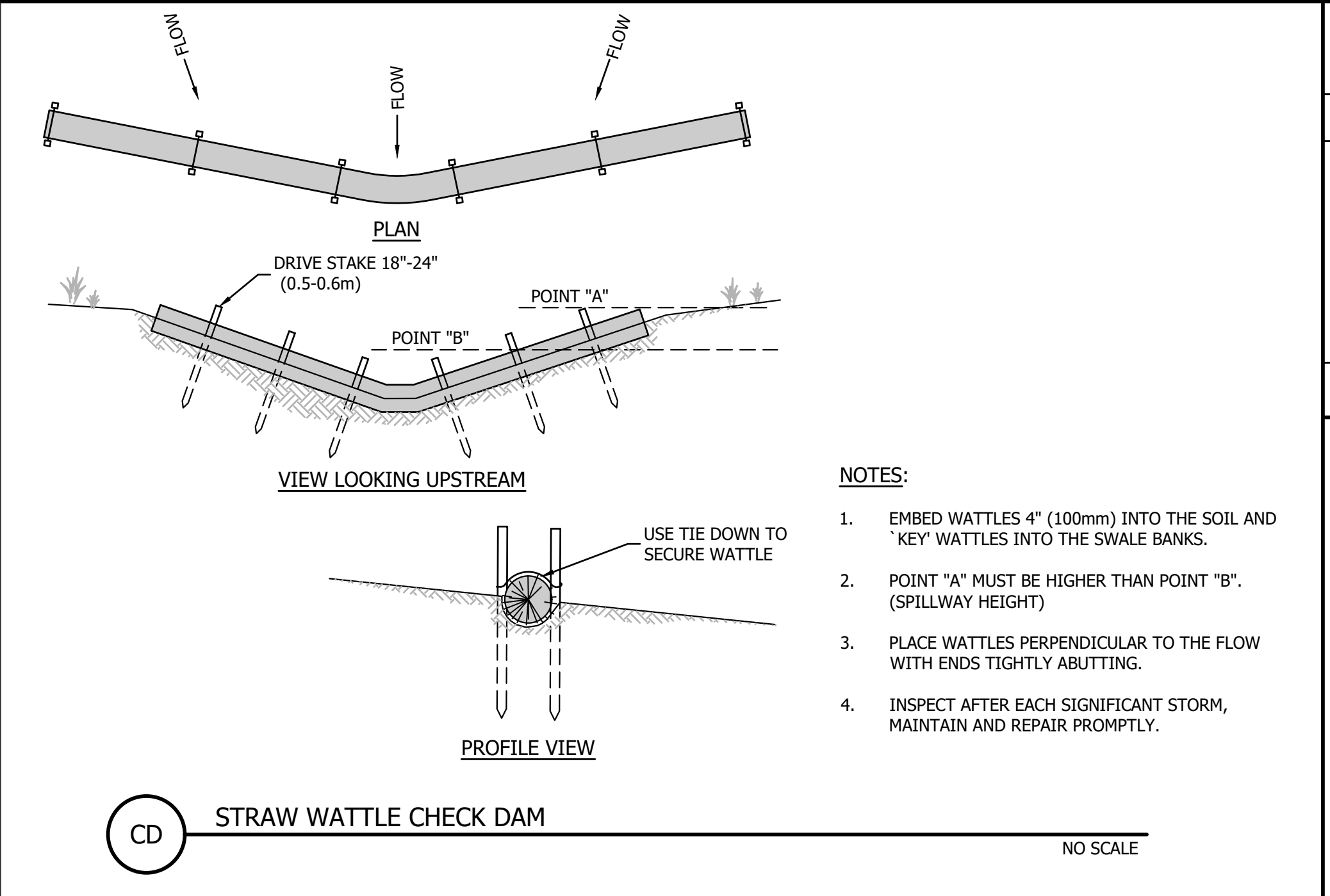
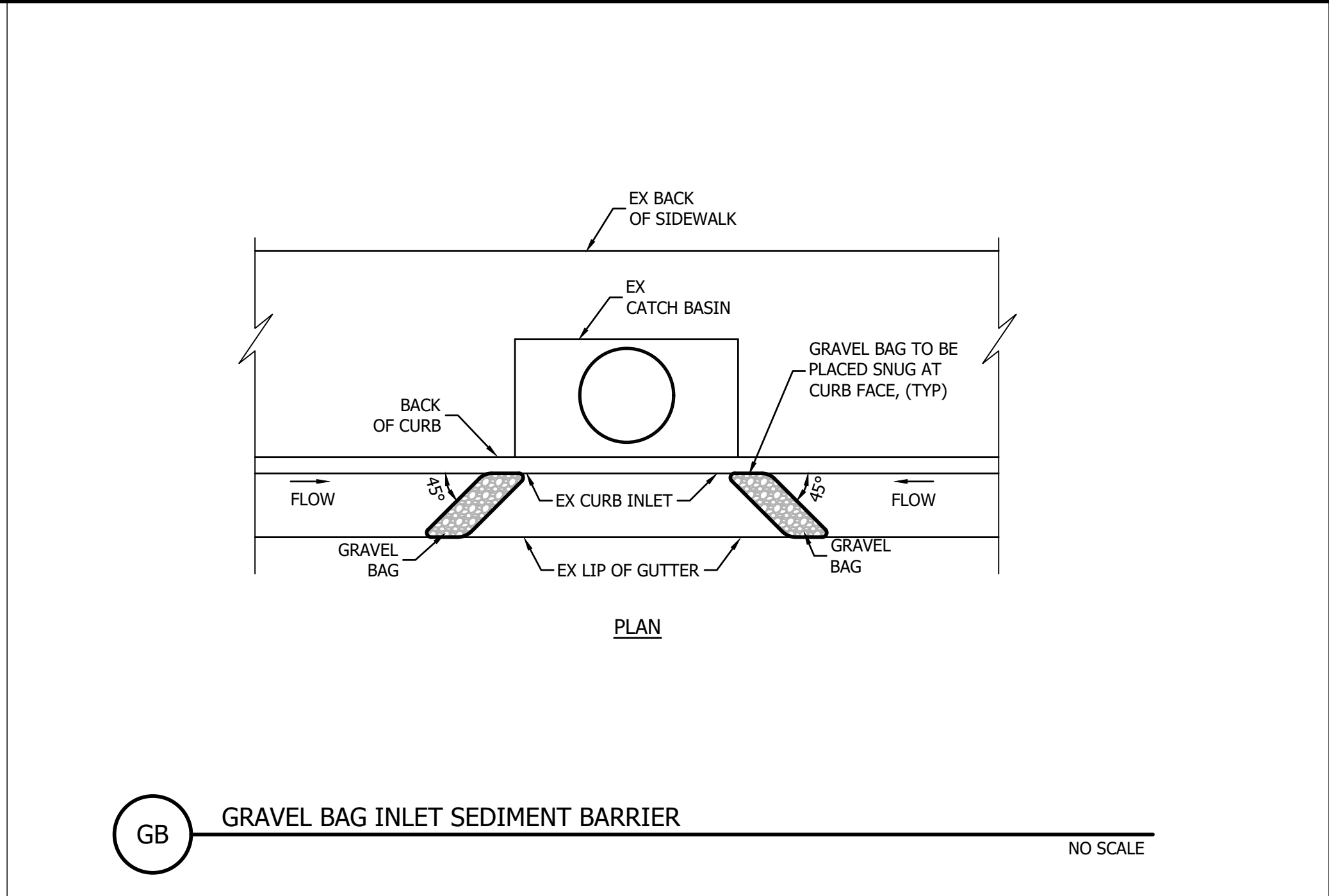
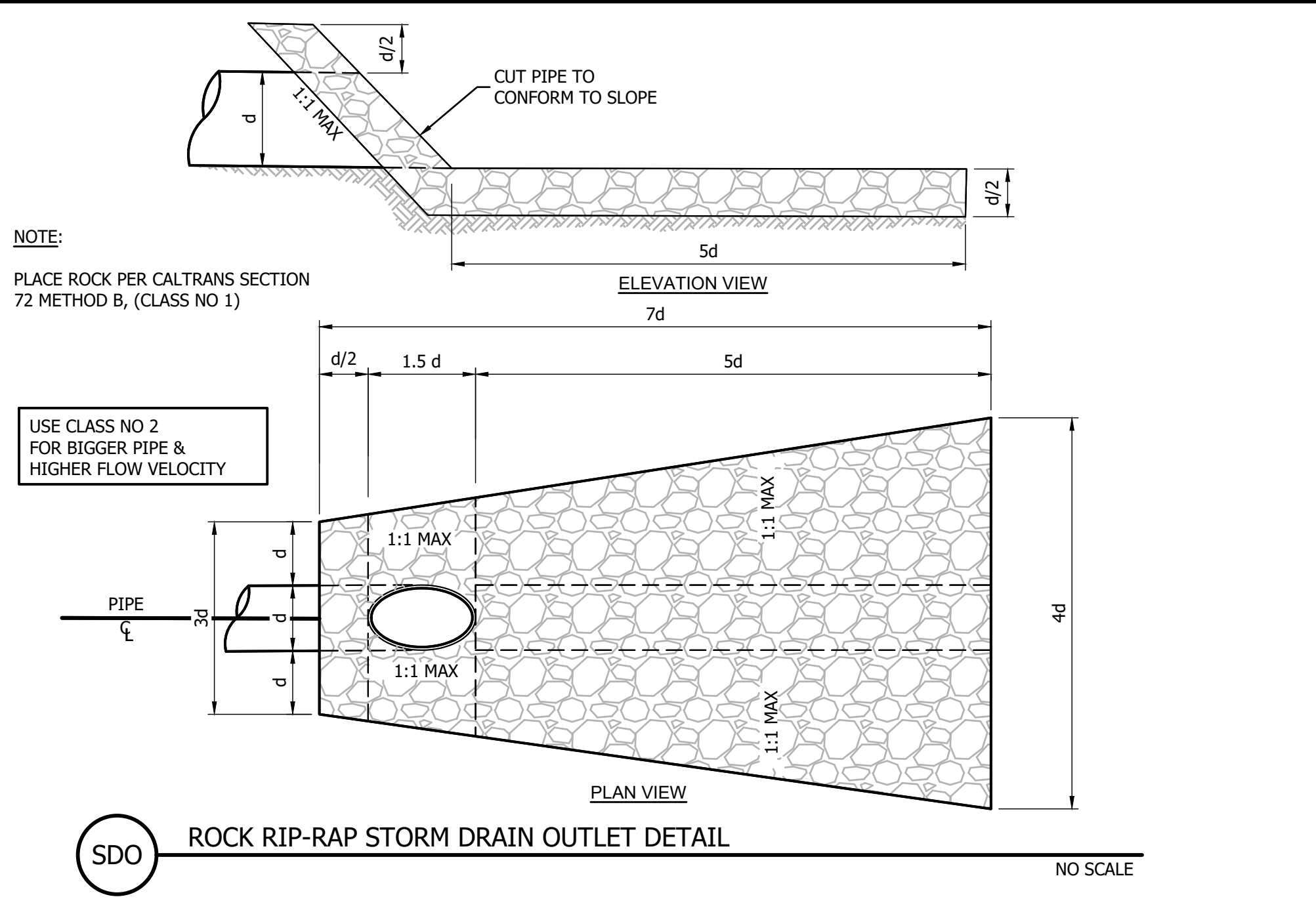
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 OAKVILLE OFFICE  
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**HABITAT FOR HUMANITY SONOMA COUNTY**  
 SITE SECTIONS  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

PRELIMINARY

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 418 B Street, Third Floor, Santa Rosa CA 95401  
 OAKRIDGE OFFICE:  
 603 S. State Street, Ukiah CA 95422

**HABITAT FOR HUMANITY SONOMA COUNTY**  
 DETAILS  
 C/O JEFF KATZ  
 333 NORTH MAIN STREET  
 SEBASTOPOL, CA 95472

**PRELIMINARY**

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200 E STREET, SANTA ROSA, CA 95404  
707.544.3920 | www.jkarchitecture.com

PROJECT:

SONOMA COUNTY  
HABITAT FOR HUMANITY  
SEBASTOPOL  
TOWNHOUSES

333 NORTH MAIN STREET  
SEBASTOPOL, CA 95472



Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

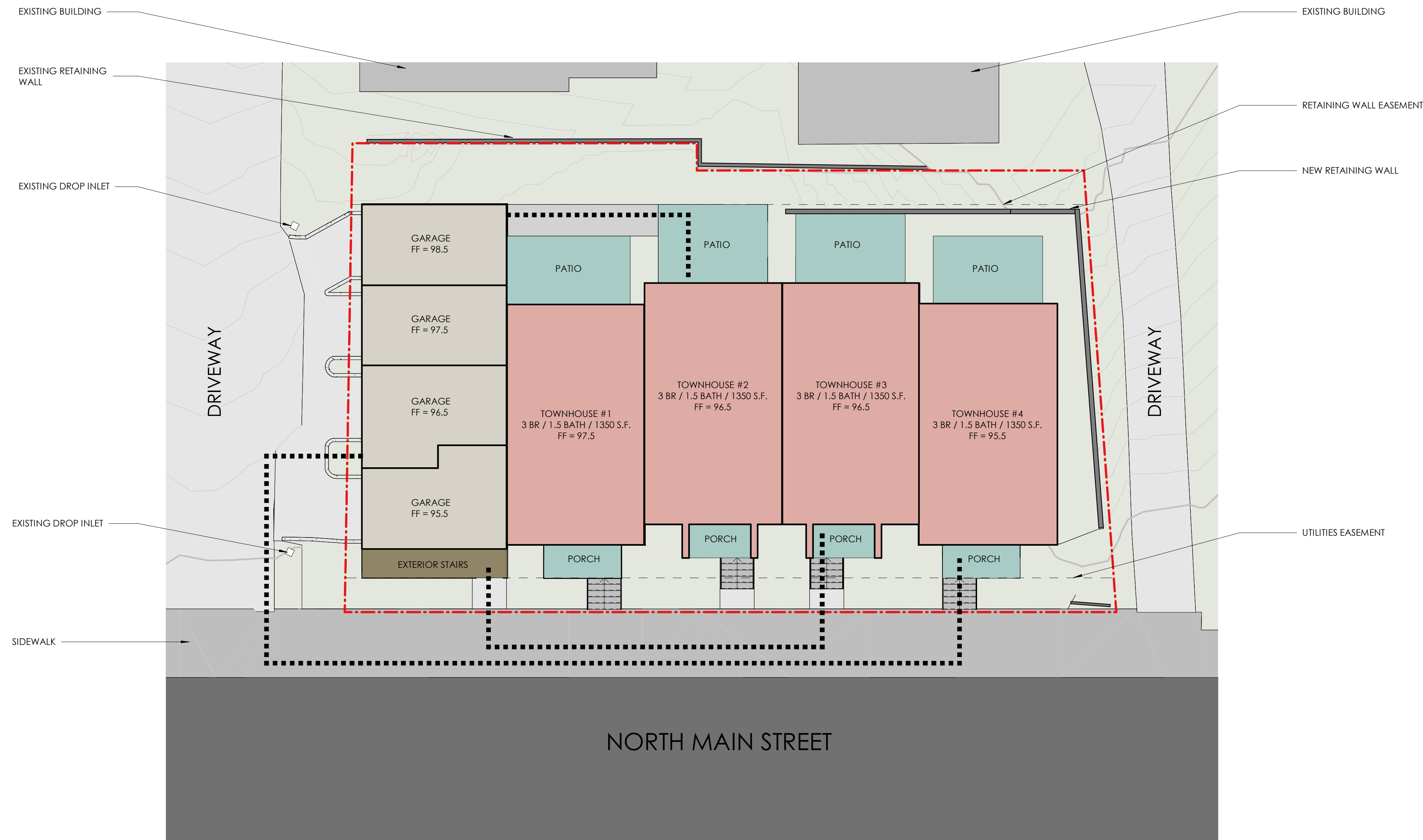
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Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**SITE PLAN**

SHEET NUMBER:

**A1.1**





1



2



3



4



5



6



7



8



9

**PHOTOGRAPH DESCRIPTIONS**

1. VIEW FROM NORTHWEST CORNER OF SITE LOOKING SOUTHEAST.
2. VIEW FROM NORTHWEST SIDE OF SITE LOOKING EAST.
3. VIEW FROM VIEW FROM WEST SIDE OF SITE LOOKING EAST.
4. VIEW FROM NORTH SIDE OF SITE LOOKING SOUTH.
5. VIEW FROM NORTHEAST CORNER OF SITE LOOKING SOUTHWEST.
6. VIEW FROM TOP OF DRIVEWAY ON NORTH END OF SITE.
7. VIEW FROM SOUTH SIDE OF SITE LOOKING NORTH.
8. VIEW FROM SOUTHWEST SIDE OF SITE LOOKING NORTHEAST.
9. VIEW FROM SOUTHWEST CORNER OF SITE LOOKING NORTHEAST.

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200 E STREET, SANTA ROSA, CA 95404  
707.544.3920 | www.jfkatzarchitecture.com

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Description:      Date:  
CONCEPTUAL      07/16/21  
PLANNING  
REVIEW  
DESIGN REVIEW      10/15/21  
DESIGN REVIEW      01/10/22  
RESUBMITTAL

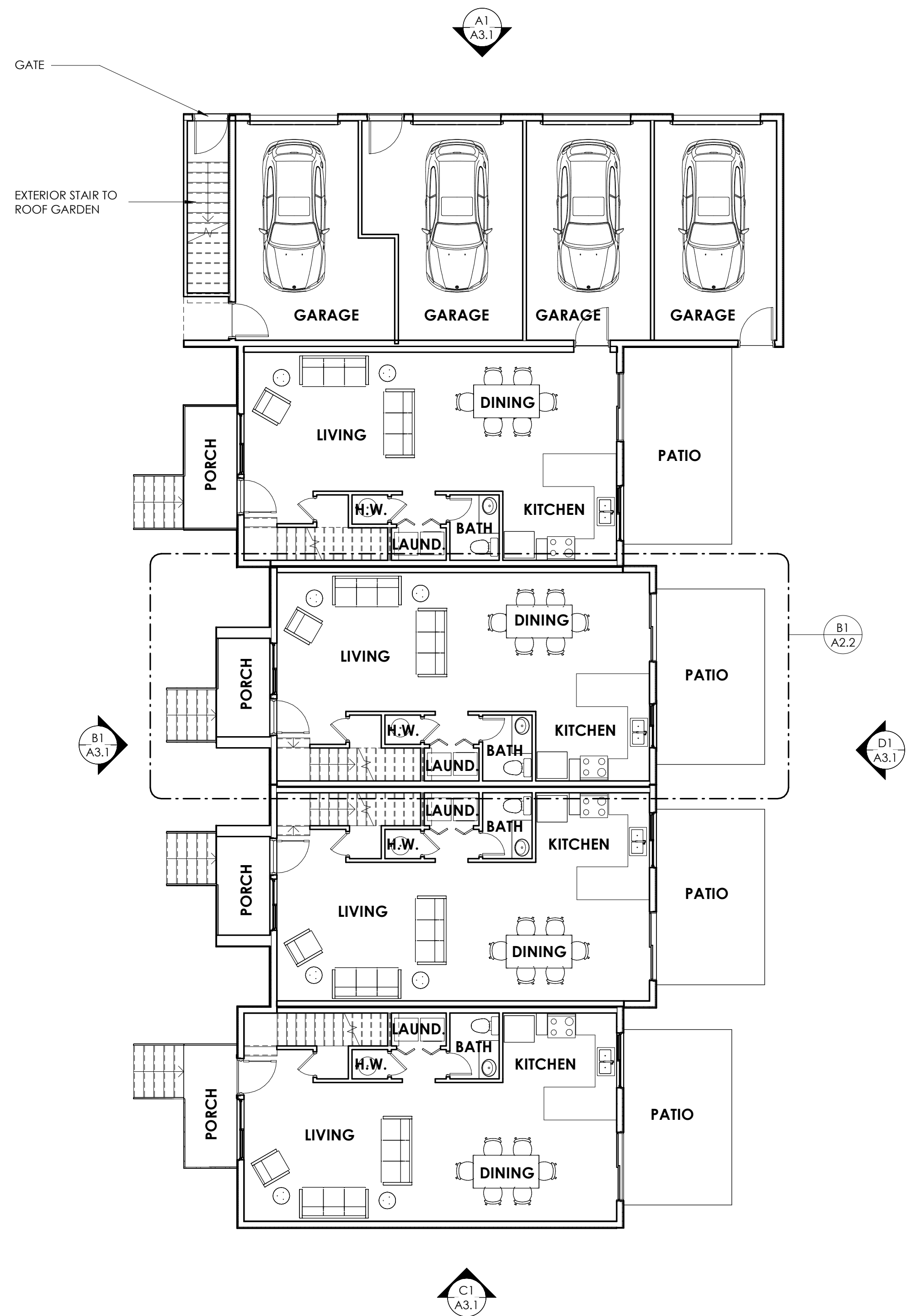
NOT FOR CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

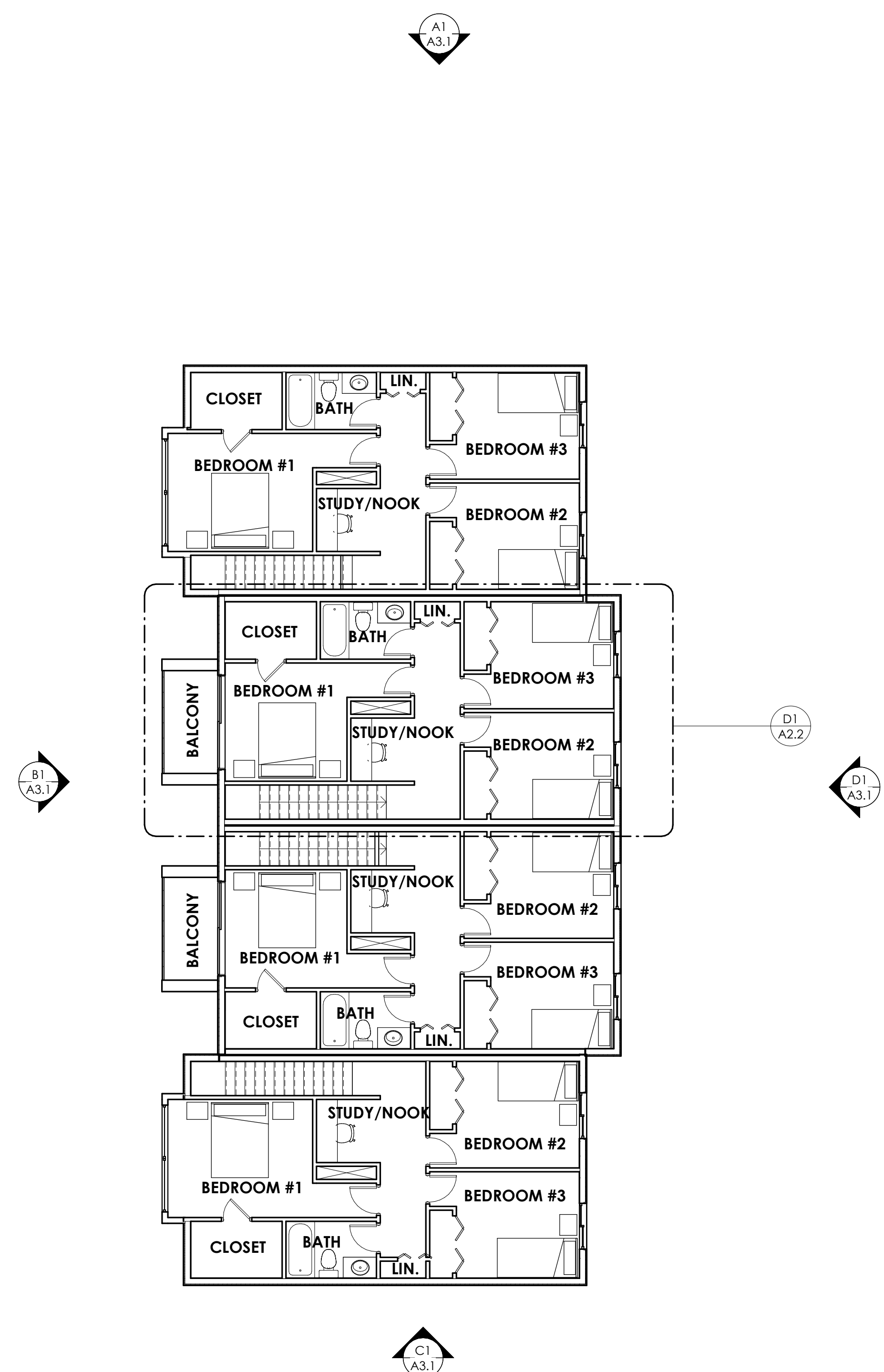
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**EXISTING SITE  
PHOTOGRAPHS**

SHEET NUMBER:

**A1.2**



D1 FIRST FLOOR PLAN  
A2.1 SCALE: 1/8" = 1'-0"



D2 SECOND FLOOR PLAN  
A2.1 SCALE: 1/8" = 1'-0"

NOT FOR  
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PROJECT:  
SONOMA COUNTY  
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TOWNHOUSES  
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CONCEPTUAL 07/16/21  
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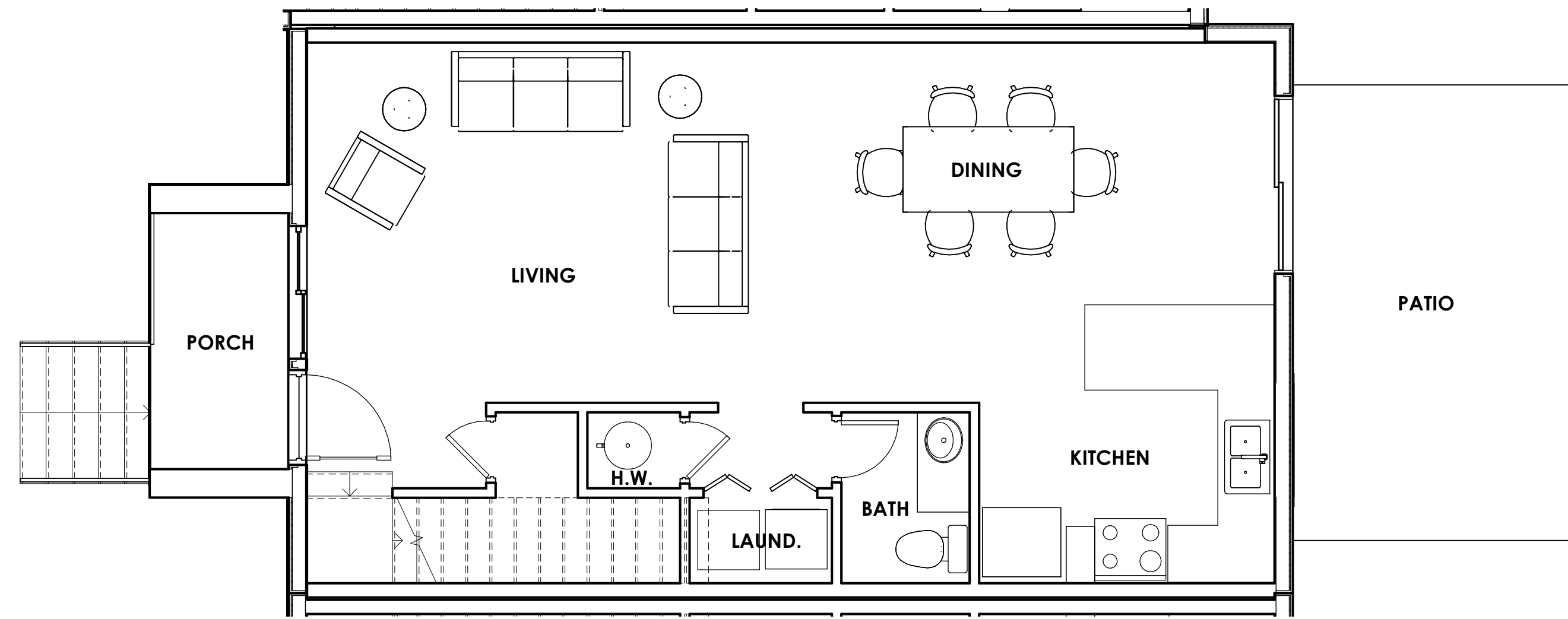
NOT FOR  
CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

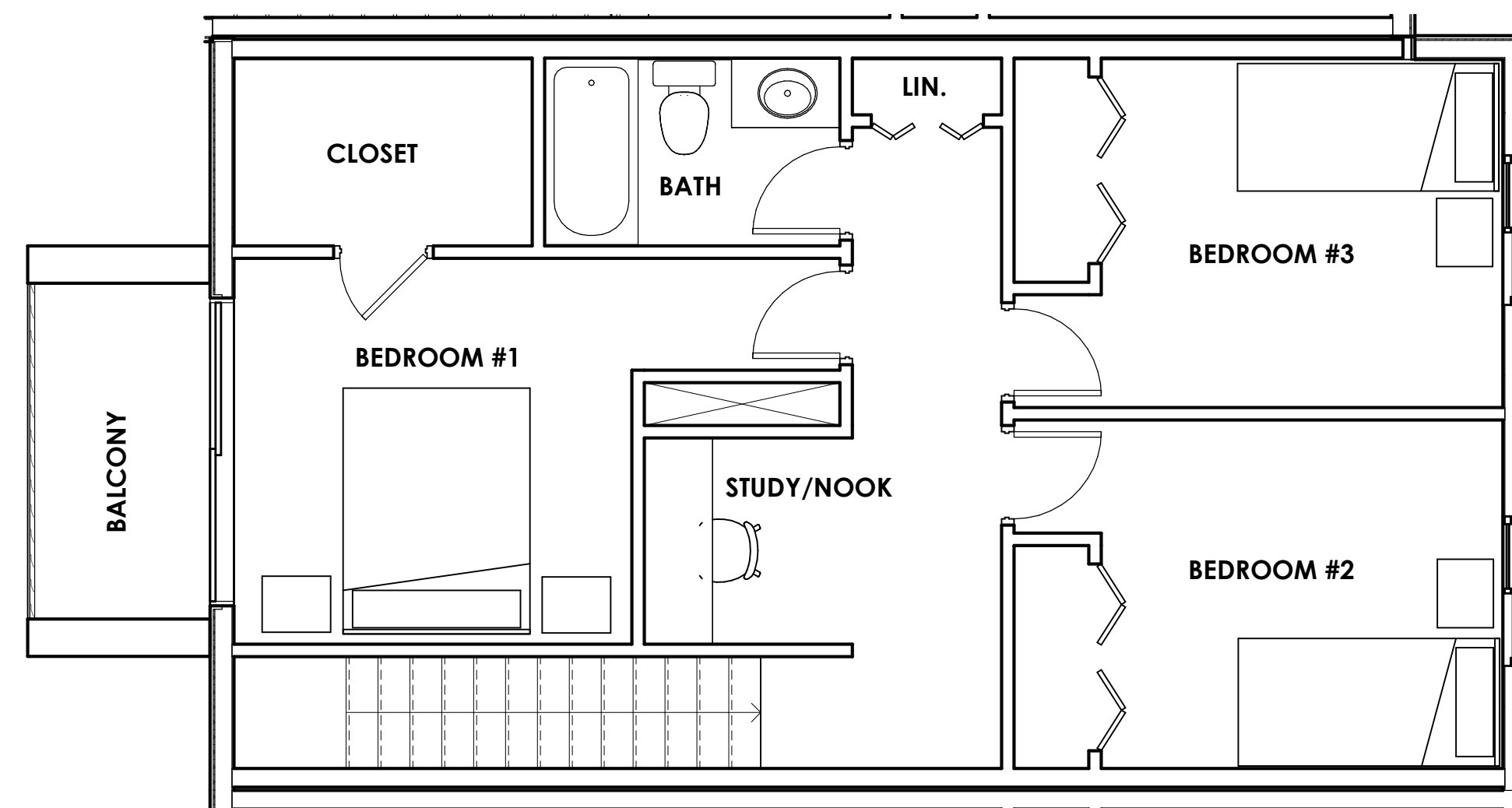
Sheet Title:  
**ENLARGED  
PLANS**

SHEET NUMBER:

**A2.2**



B1 ENLARGED FIRST FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"



D1 ENLARGED SECOND FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"

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Description:	Date:
CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

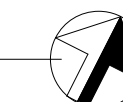
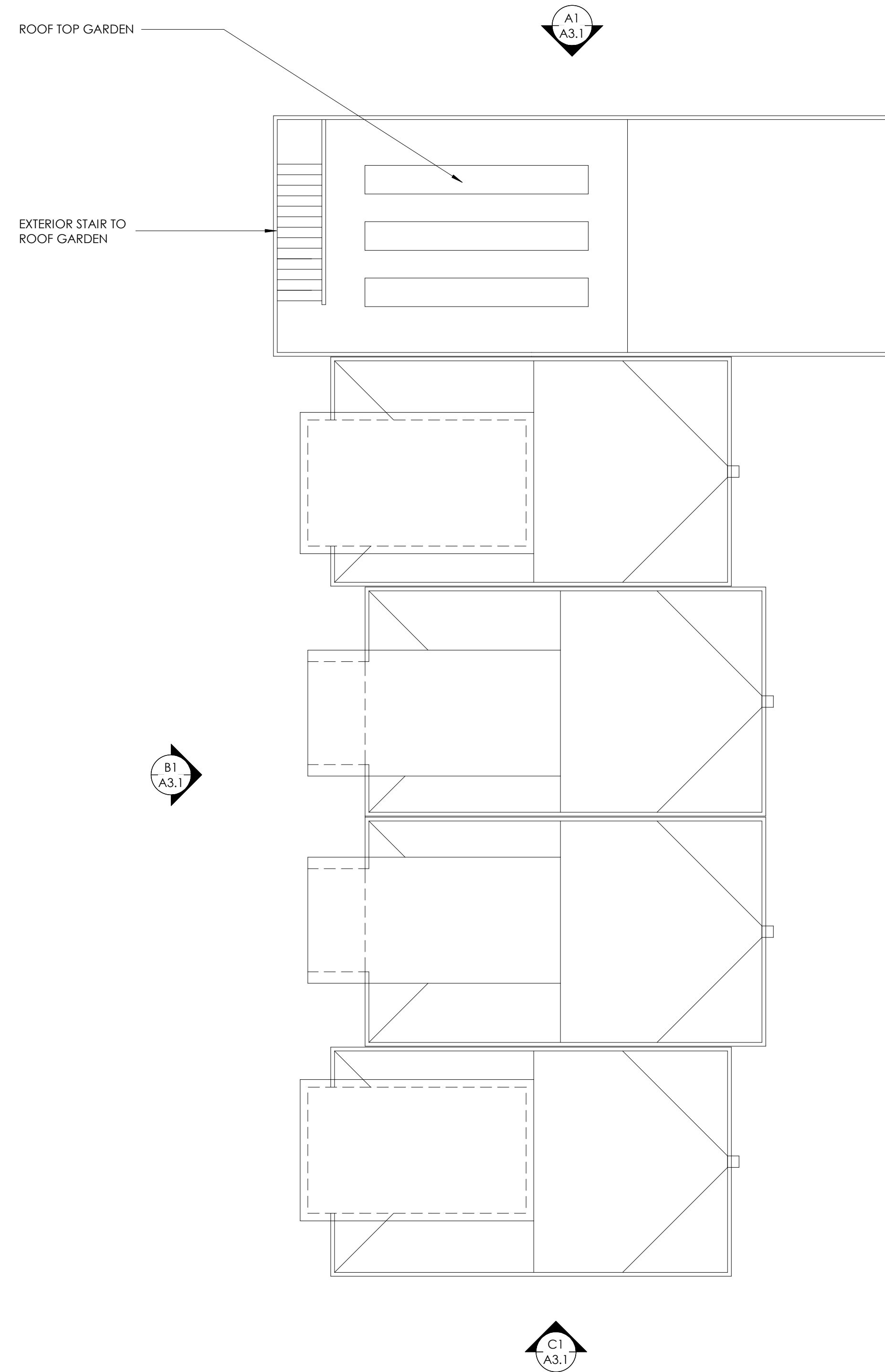
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CONSTRUCTION

Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**ROOF PLAN**

SHEET NUMBER:

**A2.3**



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**JKA**  
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CONCEPTUAL PLANNING REVIEW	07/16/21
DESIGN REVIEW	10/15/21
DESIGN REVIEW RESUBMITTAL	01/10/22

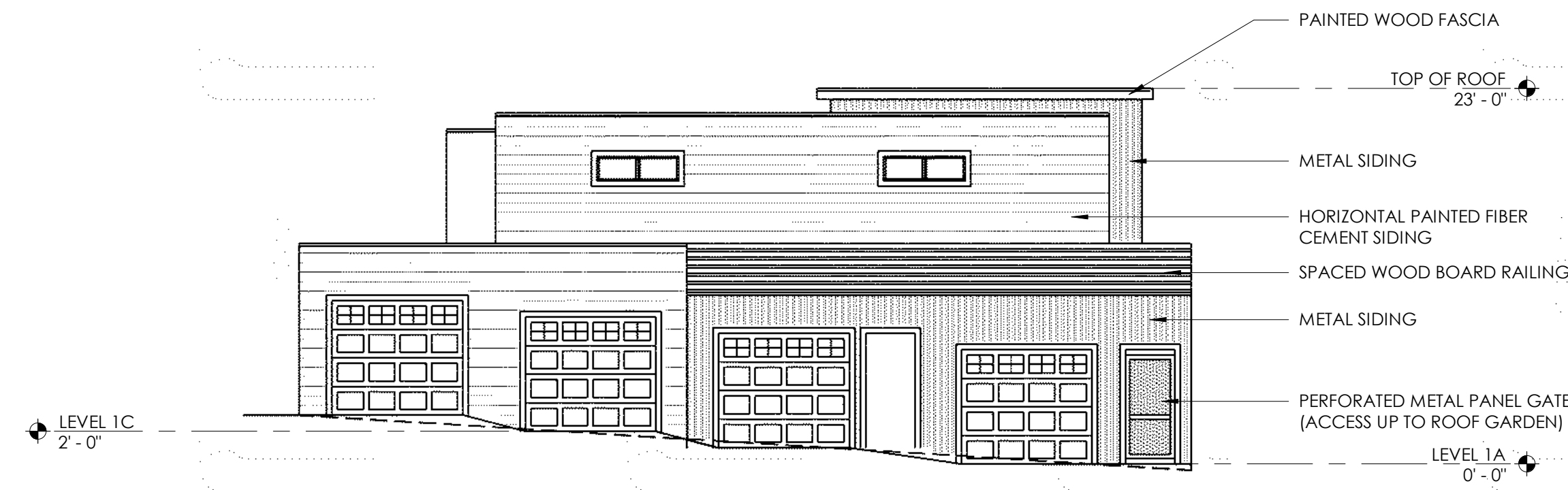
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Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

Sheet Title:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:

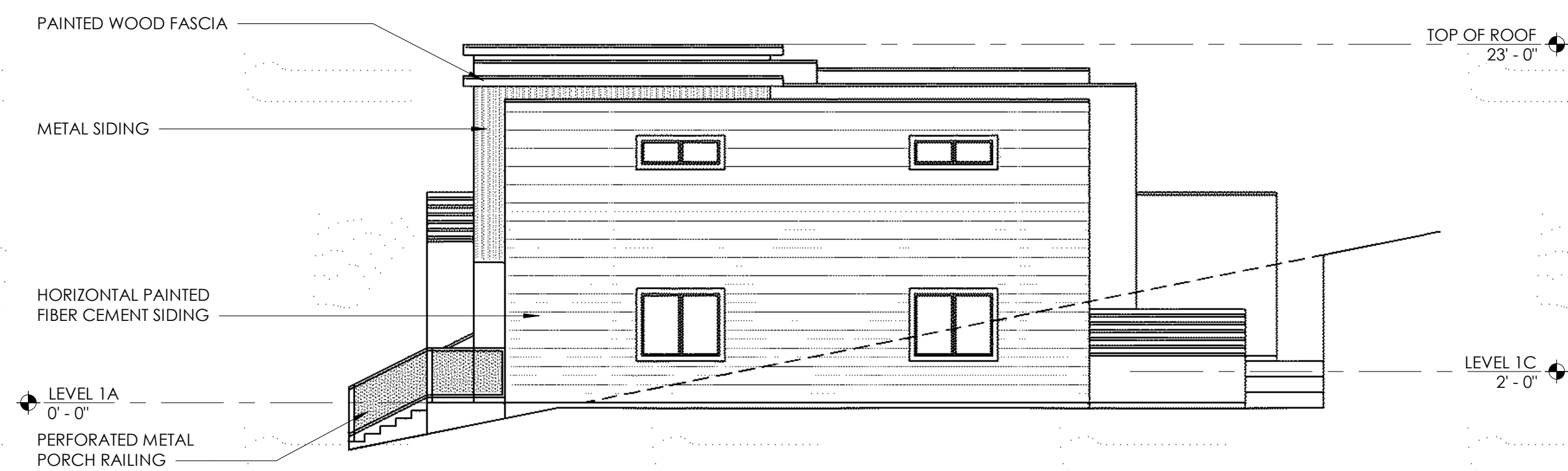
**A3.1**



A1 NORTH BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



B1 WEST BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



C1 SOUTH BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"



D1 EAST BUILDING ELEVATION  
A3.1 SCALE: 1/8" = 1'-0"

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B1 VIEW FROM NORTH MAIN STREET LOOKING EAST  
A3.2 N.T.S.

Description: Date:  
CONCEPTUAL PLANNING REVIEW 07/16/21  
DESIGN REVIEW 10/15/21  
DESIGN REVIEW RESUBMITTAL 01/10/22

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Project Number: 210401  
Approved By: JK  
Checked By: JB  
Drawn By: SC

SHEET TITLE:  
SCHEMATIC RENDERINGS

SHEET NUMBER:

A3.2



D1 VIEW FROM NORTH MAIN STREET LOOKING SOUTHEAST  
A3.2 N.T.S.



D2 VIEW FROM NORTH MAIN STREET LOOKING NORTHEAST  
A3.2 N.T.S.

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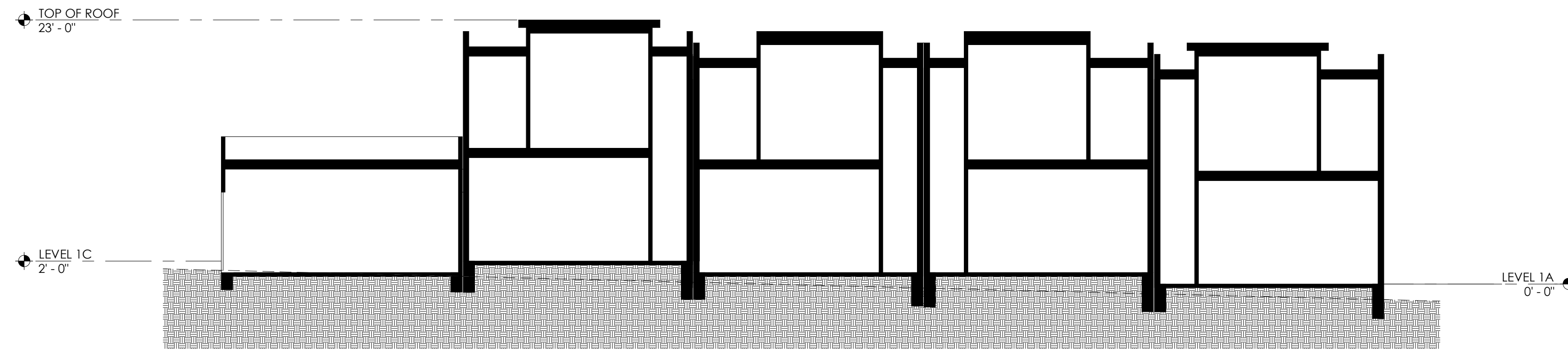
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Project Number: 210401  
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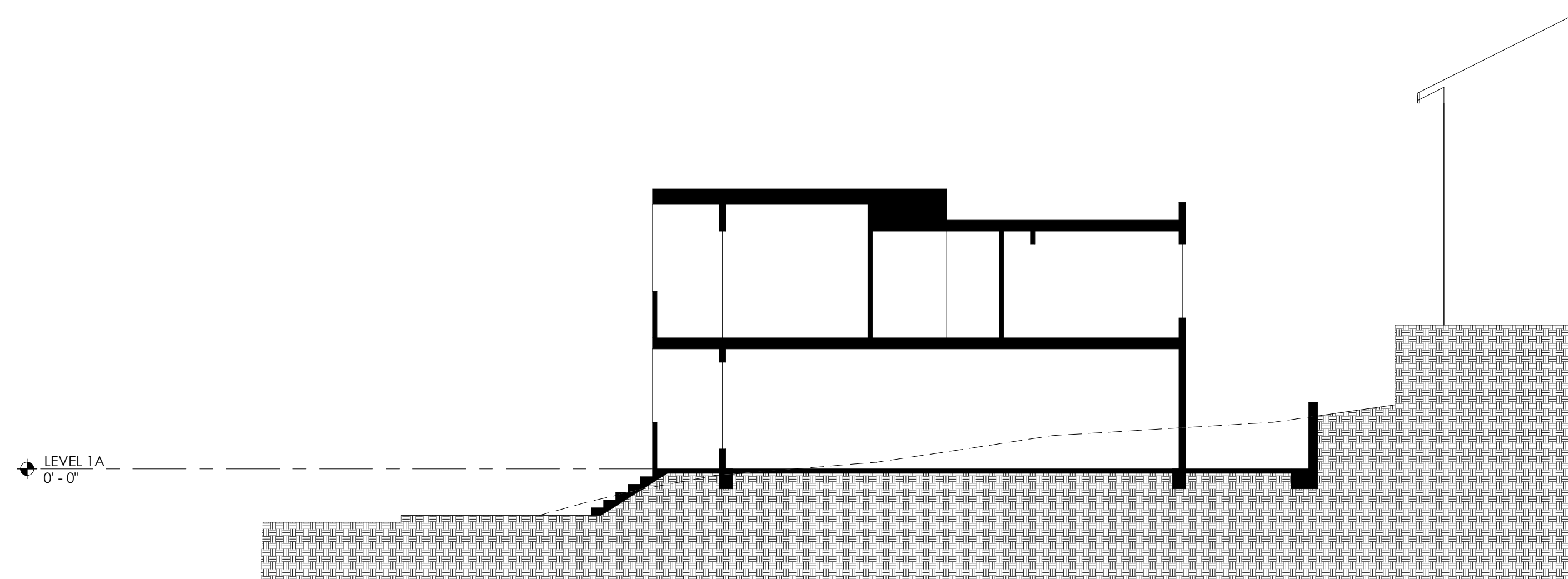
Sheet Title:  
**BUILDING  
SECTIONS**

SHEET NUMBER:

**A4.1**



B1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"



D1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"