



## City of Sebastopol Design Review Board Staff Report

Meeting Date: January 5, 2022  
Agenda Item: 7A  
To: Design Review Board  
From: John Jay, Associate Planner  
Subject: Design Review, Tree Removal, Tree Protection Plan for 771 and 773 First Street  
Recommendation: Provide direction on appropriate size of single-family dwelling that meets guidelines stated in the subdivision Resolution No.5220.  
Applicant/Owner: Thrive Construction/Builders' Studio, Gregory Beale & Marilyn Standley & Ryan Connelly  
File Number: 2021-28  
Address: 771 and 773 First Street  
CEQA Status: Exempt  
General Plan: Medium Density Residential (MDR)  
Zoning: Single Family Residential (R3)

### **Introduction:**

This is a continuance of the December 15<sup>th</sup>, 2021, meeting of the Design Review Board. Please see the attached staff report from that meeting as the report has not been changed.



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Zoning: Single Family Residential (R3)

### **Introduction:**

This is a continuance of the August 18<sup>th</sup>, 2021, Design Review Board meeting where this project was heard for the first time. It was the decision of the Design Review Board to continue this item to another meeting to further discuss the Mitigation Measure #8 from the signed resolution for this subdivision in 2001. Below is a description of what the project entails.

The applicant is seeking approval of Design Review, Tree Removal, and Tree Protection Plan to construct a new single-family residence and accessory dwelling unit at 771 and 773 First Street. Design Review Board approval is required because the application involves the development of a new single-family dwelling unit in a new residential subdivision of three or more units per Section 17.450,010.A(2) of the Zoning Ordinance. The single-family dwelling will be located on one of the three lots approved by the City Council on September 18, 2001, as part of the 'Schoch Subdivision.'

### **Project Description:**

***Note: No revised project has been submitted or is being requested for review at this time.***  
The applicant will submit a revised project submittal following the DRB's discussion and direction on the interpretation of Mitigation Measure #8.

The project as originally proposed included: a new 5,321 square foot (SF) single family residence with a 1,481 SF attached garage/workshop; a new 801 square foot detached accessory dwelling unit with a 306 SF attached garage; and the removal of one existing protected oak tree. The primary dwelling unit will be located within a 6,613 square foot area and will have two-stories, a

main floor area of 2,990 square feet, a 3,623 square foot lower floor (including 611 square foot unconditioned space and the 1,481 square foot garage/shop/storage). The accessory dwelling unit will be located within a 1,107 square-foot area and will include a 306 square foot garage. The project proposes 3 covered parking spaces for the primary residence and 1 covered parking for the accessory dwelling unit. Landscaping will consist of trees, shrubs, and grasses that are native to West Sonoma County and greater California.

**General Plan Consistency:**

The General Plan Land Use Designation for this site is Medium Density Residential. The General Plan describes Medium Density Residential as the following: “Designates areas suitable for single family dwellings at a density of 2.1 to 6.0 units per acre. Smaller existing parcels within this designation would not be precluded from developing one housing unit. Population density for this designation for this density would range from 5.0 to 14.4 persons per acre.” The project is consistent with the Medium Density Residential Designation in that it involves the development of a single-family dwelling in an area that contains an array of residential uses.

**Zoning Ordinance Consistency:**

The project is consistent with the Zoning Ordinance in terms of building height, lot coverage, and required parking. It is consistent with the Building Envelope designated in the Parcel Map. It is also consistent with the R3: Single-Family Residential zoning district in that it proposes to develop a single-family dwelling and accessory dwelling, both of which are permitted uses.

**Subdivision Approval Consistency:**

City Council Resolution No.5220 approved a three-lot subdivision located off First Street in the Southwest corner of the City of Sebastopol. This resolution was approved by the City Council on October 16<sup>th</sup>, 2001, with mitigation measures to ensure the character of Sebastopol as well as preservation of its trees and creek systems, this site has a portion of Calder Creek running through the western portion. The mitigation measure that is most important to this discussion is M8, which states:

*“The homes to be built within this project shall be subject to the review and approval of the Sebastopol Design Review Board. The Board will be guided in their review of the proposal by their adopted Project Review Guidelines; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of the more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).”*

This language provides some discretion as to what an allowable home size is and gives the authority to the Design Review Board to make that determination as to what an allowable home size is, based on the “Project Review Guidelines”, as well as the “infill development standard” as specified in the Resolution. With that, the Board is tasked to determine what an appropriate home size should be for this site but it’s also important to keep in mind the other mitigation measures relevant to this resolution which also include a Tree Protection Plan prior to the approval of a grading permit.

**Analysis**

The project involves the development of a single-family dwelling, accessory dwelling, and hot tub/spa area on a vacant lot. The property is accessed from a private drive with Lots 1 and 2 of the subdivision, perpendicular to First Street. The dwelling will be developed in a neighborhood that contains several single-family dwellings of moderate size and various architectural styles.

The proposed main residence is much larger than those in the area. Staff felt that homes constructed from 1990 to present best captures the “recent construction” requirement of mitigation measure 8. From staff’s research the largest home totals 3732 square feet and the smallest home totals 1328, with an average of 2440 square feet. If the language from the signed resolution, specially M8 states “In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of the most recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden)” is to be taken for its intent then it is appropriate to conclude that the proposed home far exceeds this requirement.

The picture below shows the project site along with the parcels in the attached table. The parcels shown are within a 650’ radius from the proposed project. Staff feels that this unit of measurement also adheres to the language of mitigation measure 8 as it is within the “general area”.



Within this resolution there is also mention of a Tree Protection Plan that is required before the grading permit is issued. While Measure 8 does not talk to the protection of trees, the protection of trees on the site does directly affect the location of the home, size, and scale. Specifically, the large multi-trunked Oak tree at the eastern end of the property. As mentioned within the previous staff report, modifications to the building would allow the retention of these trees.

Finally, the project does meet the design guidelines in that it avoids box-like forms, has extensive articulated facades or large, and varied roofs. However, with the excess amount of additional square footage staff is concerned that it far exceeds the allowable square footage of the surrounding residences.

**Letter to the Board from the applicant (applicant statements in italics):**

*Adopted Design Review Guidelines*

- *Because the August 18, 2021, Staff Report concedes that the proposed single-family home is consistent with the design guidelines, and because the Board will review the actual design details at a future meeting, these items will not be addressed in this letter. (See 2021 Staff Report, pp. 7-8.)*
  - Staff feels that the project is generally consistent with the design guidelines in that it avoids box-like forms, has extensive articulated facades or large, and varied roofs. However, staff is still concerned with the overall mass and bulk of the primary dwelling and described in the design guidelines large structures should be designed to reduce their perceived height and bulk by dividing the building mass into smaller-scale components. Another concern staff has is the existing slope of the site and the proposed grading work. The site has a slope from east to west at a grade of about 6% with steeper areas of 10-12% slope along the bank of Calder Creek. The project proposed original grading at 660 cubic yards of cut, and 300 cubic yards of off-haul. Based on the concerns of staff, the project's civil engineer preformed a more detailed estimate, and provided revisions at 550 cubic yards of cut, and 380 cubic yards of off-haul. While the amount of cut has been reduced relative to staff's original concerns, staff finds that the extensive grading in order to accommodate the proposed structures may not reflect the existing topography and protect significant site features, including Calder Creek, which is located downhill of the proposed project. Specifically, the design review guidelines encourage balancing the cut and fill when it does not result in further adverse effects to the natural topography. Additionally, if the amount of grading/cut were minimized as specified by the design guidelines, the bulk and mass of the home would likely be perceived as a larger structure.
- *The visual impacts of a home to the public rights of way are minimal--there will be limited and partial view of the house or ADU from Jewell Avenue; there will be a limited, partial and distant view of the house from one view 'window' limited to the driveway on First Street. Thus, a home and other site improvements will have a minimal visual impact on the greater neighborhood, which should lessen potential Board concerns about general compatibility. Focusing on solely or primarily on square footage is an abstract consideration that does not comply with M8.*
  - The City does not have a "view ordinance". While the location of the ADU and house may not visually impact the view of other neighbors as the home sits low on the lot and doesn't affect the view of the upper three homes on Jewell Ave., there is also an issue of visual perception and fit of the home's scale and massing (height, bulk, and mass) in relation to the neighborhood.

- *In interpreting the mitigation measure and applying design review criteria, it is important to consider the site characteristics: a large lot (much larger than the typical City lot); sloping land conditions that reduce the visual impact of proposed improvements on neighboring properties and also facilitate consolidation of elements of a project; and a large amount of existing vegetation and trees that screen the site from most of the neighborhood, most of which will remain.*
  - While this comment is true, and the lot is much larger than other lots within incorporated Sebastopol it should also be mentioned that this Resolution also requires a tree protection plan, and the proposed project involves the removal of both invasive and heritage trees on the property. Most importantly is the large multitrunked oak tree that sits at the eastern property line, with the City Arborist as well as the DRB felt should be retained. For construction of the proposed home, it would require that this tree cluster be removed thus creating the need for more screening of the neighbors to the East. Additionally, the home construction proposes a large amount of grading work to sink the home lower in its attempts to reduce its mass and scale, which can also cause issues with surrounding trees as well as being contrary to the Design Guideline regarding minimizing grading.
- *However, like development of many homes in a suburban neighborhood, there will be modest visual impacts to some immediate neighbors. In particular, three existing neighboring properties to the east will have views of portions of a house and ADU, however these views will be similar in character and scale to development on typical urban lots, where homes adjoin each other, often with lesser setbacks and/or greater relative height. In addition, the site slope (which means a proposed home is lower than its immediate neighbors fronting on Jewell Avenue), proposed grading, and height of proposed structures lessen visual impacts to these neighbors. The applicant will work with adjoining neighbors on appropriate landscaping and fencing to provide additional screening.*
  - Staff feels that this mitigation is appropriate for the proposed home and agrees with the applicant that there is a perceived amount of visual impact that will always occur on an infill development within a residential setting.

#### *Design Criteria in the General Plan*

- *The General Plan has one relevant policy and one relevant action plan. General Policy LU 5-5 states: require design review of new residential development to be consistent with the City's design guidelines, to ensure harmony with Sebastopol's unique, small-town character and compatibility with existing land uses.*
- *General Plan Action Item LU-5a: Through the design review process, screen development proposals for land use compatibility and ensure that development proposals are designed to be compatible with existing residential and other lands uses, designed to reduce aesthetic, noise, safety, odor, and lighting impacts to residential areas, and are consistent with Sebastopol's unique, small-town character.*
- *The General Plan is silent on what specifically comprises the town's "unique, small-town character." The closest guidance is found in the "Guiding Principles" table in the General Plan. (General Plan, p. 1-3.) This table lists General Plan policies that implement this guiding principle. The listed General Plan policies range from quality of life to trails, to*

*promoting downtown, to health and wellness. None of the listed policies are related to physical construction or height or size of new, single-family homes.*

Under the General Plan, the design criteria are compatibility with existing residential uses and reducing aesthetic, noise, safety, odor, and lighting impacts in residential areas. Staff has already stated that the proposed home is compatible with existing residential uses and there is no evidence that the proposed home will change noise, safety, odor or lighting in residential areas in any unusual or extreme manner.

- Staff feels that project does not adhere to the General Policy LU 5-4 in that the proposed square footage is more than 500% of any home in the general area, shown in the parcel map in this staff report, of homes built within the last 30 years. The size and scale of this residential proposal does not fit within the “small-town character” of Sebastopol. However, the Design Review Board shall be the deciding factor in what is deemed an appropriate home size for this lot as directed by the resolution.

#### *Specified Infill Development Standard*

- *“Size and height” are not specifically defined in the M8. M8 did not provide a specific height or square footage formula, did not state that an average size should be used as a standard, and did not have some other specific numerical limitation. M8 contained its own infill development standard. This “infill development standard” requires the size and height of the single-family homes to not exceed similar homes, of recent construction in the general area.*
  - While there is no specific language as to what those numbers shall be, the resolution does state that the Design Review Board is guided to determine what that number should be based on Project Review Guidelines and the General Plan.
- *Height is defined by the Zoning Ordinance and we accept that definition. Two-story homes are common in the ‘general area’ as well as in the Swain Woods and First Street neighborhoods. Two-story homes are permitted as-of-right by the Sebastopol zoning code in all residential districts.*
  - Staff agrees with this in that the size of the house does not exceed the height requirements of the zoning code.
- *Size - The Zoning Ordinance does not have a definition of this word. The Zoning Ordinance does define ‘dwelling’: “Dwelling” or “dwelling unit” means a room or group of internally connected, habitable rooms that have sleeping, cooking, and sanitation facilities, but not more than one kitchen occupied by or intended for one household on a long-term basis. A “dwelling” is the same as an independent housekeeping unit.” This definition is consistent with the common understanding of home size: habitable or livable square footage, which is what is listed in standard descriptions of homes for sale, or when people talk generally about the size of their homes. Thus, ‘size’ does not include unconditioned spaces.*
  - While home size is typically referred to as habitable, or “conditioned” (heated/cooled)space it is unfair to discount the unhabitable/unconditioned or storage space as it relates to this project, and considerations of the size of the

home, particularly as the unconditioned spaces are a significant part of the primary residence building envelope. The rooms that are not defined as “habitable” because they do not offer sleeping, cooking or sanitation still take up space in the overall footprint and add to the home size. It would be unfair to discount the lower level of the proposed project because it is mostly storage, workshop, and multi-purpose rooms.

- Most storage rooms, workshops, or other non-habitable structures fall under a detached accessory structure category. While that doesn’t preclude you from having these attached to the primary dwelling the Zoning Ordinance does limit the size of them. Within the definition of **Accessory Use, Structure, or Building** of the Zoning Ordinance it allows a maximum of two accessory structures of 400 square feet each, exclusive of garages and storage space. If the structure exceeds that amount storage areas shall be accessed from outside of the structure.
- While the Zoning Ordinance clearly does not limit *attached* accessory spaces such as is proposed for this project, these regulations may provide the DRB with a general guideline of the scale of reasonable accessory space for most homes in the City. The applicant has noted that the lower floor, which is connected to the main home via an internal staircase, is primarily to be considered storage or unconditioned space (a total of 1784 unconditioned square feet), while simultaneously noting that they should not be considered to be part of the size of the home (see Attachments for diagram). This is far in excess of 400 or even 800 square feet, staff feels this is not consistent with the intent of mitigation measure M8, which is to ensure a reasonable home size in comparison with the surrounding context. This area still takes up space within the lot and being on the lower floor, the main dwelling area would be above. If these areas are not to be considered, then the term “square footage” significantly lowers a homes overall size. Staff feels that the correct review of “size” should include the unconditioned space.
- *Similar Homes - For this lot, a commonsense interpretation of ‘similar homes’ requires the comparison of similarly situated homes, on larger lots of more rural character, such as homes in the First Street area and the unincorporated areas of greater Sebastopol. However, M8 also calls for consideration of the Swain Woods area, which is not rural residential in character. This reference may come more into play when the other two, smaller lots in the subdivision are developed. In addition, an appropriate reading of ‘similar homes’ must acknowledge the diverse styles and sizes of homes and lots in the Sebastopol area.*
  - The connection to similar homes in the area should only be applied to those home within the incorporated limits of Sebastopol. To include the unincorporated County does not seem to be a fair measuring stick for the debate of what an appropriate home size should be. Given the location of the lot the intent behind this measure could have been to develop a smaller scale rural sized home within the smaller residential character of a Swain Woods. Staff has provided further analysis of this below.
- *“General Area” - M8 does not define this term. Neither the General Plan nor the Sebastopol City Code define this term. Notably, this language does not limit the area to incorporated Sebastopol. Thus, the plain meaning of “general area” must be used. In other contexts, ‘general area’ can mean an entire city or a groundwater basin, or in one case,*

*the Oregon Coast Mountain Range. Thus 'general area' means 'greater Sebastopol' including both incorporated and unincorporated properties encompassed within the 95472 'Sebastopol' mailing address zip code, particularly since this particular lot is most similar to properties in unincorporated Sebastopol.*

- Staff agrees that the resolution does not clearly define the “general area”, nor does the General Plan or City Code have a definition for this term. But as mentioned before to include the unincorporated area, entire city, or Oregon Coast Mountain Range does not clearly relate to the intent of Mitigation 8. The Mitigation clearly denotes an area of Jewell and Hayden and Swain Woods which is within a 600’ radius buffer of the project site. The research that staffs provided for this project which details the home size and years of construction falls within this buffer.
- *M8 goes on to say that the ‘general area’ shall be considered to be ‘including’ two geographical subcomponents of the ‘general area,’ specifically “...both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).” The word ‘including’ does not limit the areas to be considered to these two areas, rather they are a subset of the ‘general area.’ M8 does not define the ‘Swain Woods neighborhood’ although it does direct attention to the area of a particular intersection. However, the common understanding of what constitutes the ‘Swain Woods neighborhood’ would encompass a larger area than that intersection, to encompass homes on several streets including but not limited to all or portions of Swain Avenue, Swain Woods Terrace, Blossomwood Avenue, Palm Avenue, Jewell Avenue, and Parquet Street.*
  - Staffs research does include some of these named areas as they fall within the 600’ radius of the project site. Staff believes to include anything more than that would fall out of the scope of “general area”.
- *The size, height and recent construction parts of M8 do not include a specific formula or numerical limit. Unfortunately, due to the dearth of construction of single-family homes within the city in the general area, and that definitions for “recent” could range from three months to multiple years, this part of the standard is unclear. There are typically multi-year economic cycles affecting residential construction activity. Sebastopol has not been immune to these cycles, resulting in a dearth of construction here. Thus, and in order to ensure that there are sufficient similar single-family homes to compare the proposed home to, a reasonable standard would be to define ‘recent’ as having been constructed within approximately 25 years prior to the application.*
  - Staff’s research includes a look at the homes built from 1990 to present, thus including the 25 years mentioned above.

**Public Comment:**

Public comments received after the prior DRB hearing and as of the writing of this staff report are included in the attachments.

**Recommendation:**

Staff recommends the Board review and discuss the intent of Mitigation Measure #8 from Resolution No.5220 to determine if the proposed project meets this condition and provide guidance on how to meet this requirement.

**Attachments:**

1. Letter to the board from the applicant
2. Conditions of Approval of original Tentative Subdivision Map (2000-049)
3. Staff report from August 18<sup>th</sup> 2021 meeting
4. Table of home sizes in general area
5. Diagram of unconditioned space
6. Schoch DRB-Response to planning report
7. Public Comments

12/6/2021

Ted Luthin, Chair  
Design Review Board  
c/o Planning Department  
7120 Bodega Ave.  
Sebastopol, CA 95473  
*Via email delivery*

RE: 771 and 773 First Street, Sebastopol

Dear Chair Luthin:

The Design Review Board (“Board”) requested a specific discussion of Mitigation Measure No. 8. Per the Board’s direction, the application of Mitigation Measure 8 to the proposed home will occur during a different meeting. The purpose of this letter is to request that the Board follow the law and Mitigation Measure No. 8, which can then be subsequently applied to the proposed single-family home at 771 and 773 First Street.

#### Legal Standard

Much like a statute, when interpreting conditions of approval, courts must apply the plain-meaning rule. (*Torres v. Parkhouse Tire Serv., Inc.* (2001) 26 Cal.4th 995, 1003.) This means that a court must apply the plain language, or usual or ordinary meaning, of the condition of approval. If the language is ambiguous, or if a literal interpretation would lead to an absurd result, a court may look to the intent behind the statute or regulation. (*Castenada v. Holcomb* (1981) 114 Cal.App.3d 939, 942.) Courts are prohibited from inserting or ignoring language in the statute or regulation. (*Harbor Fumigation, Inc. v. County of San Diego Air Pollution Control District* (1996) 43 Cal.App.4th 854, 860.) The Board should be guided by these precedents when applying M8.

M8’s criteria are set forth within M8 and relative size is one of several considerations. Relying on only one component of the criteria and ignoring the language in M8 is an abuse of discretion because doing so ignores the remaining language in M8. Importantly, the City does not have a maximum house size, but it does have a 30 foot height limit in the R3 zoning. The proposed home complies with this height limit. The code allows for 30% lot coverage. The proposed

home meets this requirement. In applying M8, the Board should also consider the practical reality of this site, where the home will be all but invisible to the greater neighborhood.

### Background

The City of Sebastopol (“City”) approved a three-lot subdivision of 763 First Street in 2001. This subdivision created 771 and 773 First Street. As part of the subdivision approval the City adopted a Mitigated Negative Declaration, which included M8. The MND stated the purpose of M8 was to protect neighborhood character and protect surrounding residents’ privacy. (MND, p. 28.) Because CEQA requires mitigation measures to be enforceable, Mitigation Measure 8 (M8) became subdivision condition of approval M8. The MND was not challenged and is presumed valid for all purposes. (Pub. Res. Code, § 21080.1.)

By virtue of its First Street access, one-acre size, and secluded streamside character, the lot has more in common with the First Street area and other similar unincorporated West County properties, and less so with homes located at the Jewell Avenue/Hayden intersection.

In the subdivision approval process, access from an extension of Hayden was prohibited due to concern about removal of a native tree (the health of the tree was in question at that time; the tree died a few years after the subdivision was approved but the condition remains). Thus, as originally proposed by the subdivider, the project had a stronger relationship to the Jewell Avenue/Swain Woods area. When the access link was severed, the subdivision access shifted to First Street. Finally, unusually, the subdivision approval required the construction of a second dwelling unit, which is now called an Accessory Dwelling Unit, or ADU, on this lot.

### Board Action To Date

On August 18, 2021, the Board held a design review hearing for a proposed single-family home and accessory dwelling unit at 771 and 773 First Street. One of the issues during this hearing was compliance with M8. The staff report focused on one criterion to comply with M8 — the size of the proposed house relative to other homes. The staff report conceded that the proposed single-family home “...appears to be compatible with the neighborhood in that its design is consistent with several existing dwellings in the area and contributes to the architectural diversity of the community.” (2021 Staff Report, p. 7.) We agree with this statement, and the Board should so find when it acts on the design review application.

### M8's Criteria

There is no confusion about what M8 requires when undertaking design review of the proposed single-family home at 771 and 773 First Street because M8 says what criteria guides its consideration:

8. The homes to be built within this project shall be subject to the review and approval of the Sebastopol Design Review Board. The Board will be guided in their review of the of the proposal by their adopted Project Review Guidelines; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).

The plain language of M8 states that the Board considers these items:

1. Adopted project review guidelines;
2. Design criteria in the General Plan and an enumerated infill development standard that considers:
  - a. Size and height relative to
  - b. recent construction
  - c. in the general area, including the First Street area and the Swain Woods neighborhood.

Failure to use the language in M8 is an abuse of discretion and an illegal underground amendment to the condition and mitigation measure.

### *Adopted Design Review Guidelines*

- Because the August 18, 2021, Staff Report concedes that the proposed single-family home is consistent with the design guidelines, and because the Board will review the actual design details at a future meeting, these items will not be addressed in this letter. (See 2021 Staff Report, pp. 7-8.)
- The visual impacts of a home to the public rights of way are minimal--there will be *limited and partial view* of the house or ADU from Jewell Avenue; there will be a *limited, partial and distant view* of the house from one view 'window' limited to the driveway on First Street. Thus, a home and other site improvements will have a minimal visual impact on the greater neighborhood, which should lessen potential Board concerns

about general compatibility. Focusing on solely or primarily on square footage is an abstract consideration that does not comply with M8.

- In interpreting the mitigation measure and applying design review criteria, it is important to consider the site characteristics: a large lot (much larger than the typical City lot); sloping land conditions that reduce the visual impact of proposed improvements on neighboring properties and also facilitate consolidation of elements of a project; and a large amount of existing vegetation and trees that screen the site from most of the neighborhood, most of which will remain.
- However, like development of many homes in a suburban neighborhood, there will be modest visual impacts to some immediate neighbors. In particular, three existing neighboring properties to the east will have views of portions of a house and ADU, however these views will be similar in character and scale to development on typical urban lots, where homes adjoin each other, often with lesser setbacks and/or greater relative height. In addition, the site slope (which means a proposed home is lower than its immediate neighbors fronting on Jewell Avenue), proposed grading, and height of proposed structures lessen visual impacts to these neighbors. The applicant will work with adjoining neighbors on appropriate landscaping and fencing to provide additional screening.

#### *Design Criteria in the General Plan*

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- General Plan Action Item LU-5a: Through the design review process, screen development proposals for land use compatibility and ensure that development proposals are designed to be compatible with existing residential and other lands uses, designed to reduce aesthetic, noise, safety, odor, and lighting impacts to residential areas, and are consistent with Sebastopol's unique, small-town character.
- The General Plan is silent on what specifically comprises the town's "unique, small-town character." The closest guidance is found in the "Guiding Principles" table in the General Plan. (General Plan, p. 1-3.) This table lists General Plan policies that implement this guiding principle. The listed General Plan policies range from quality of life to trails, to promoting downtown, to health and wellness. None of the listed policies are related to physical construction or height or size of new, single-family homes.

Under the General Plan, the design criteria are compatibility with existing residential uses and reducing aesthetic, noise, safety, odor, and lighting impacts in residential areas. Staff has already stated that the proposed home is compatible with existing residential uses and there is no evidence that the proposed home will change noise, safety, odor or lighting in residential areas in any unusual or extreme manner.

*Specified Infill Development Standard*

- “Size and height” are not specifically defined in the M8. M8 *did not provide a specific height or square footage formula, did not state that an average size should be used as a standard, and did not have some other specific numerical limitation.* M8 contained its own infill development standard. This “infill development standard” requires the size and height of the single-family homes to not exceed *similar* homes, of *recent construction* in the *general area*.
- Height is defined by the Zoning Ordinance and we accept that definition. Two-story homes are common in the ‘general area’ as well as in the Swain Woods and First Street neighborhoods. Two-story homes are permitted as-of-right by the Sebastopol zoning code in all residential districts.
- Size - The Zoning Ordinance does not have a definition of this word. The Zoning Ordinance does define ‘dwelling’: “*Dwelling*” or “*dwelling unit*” means a room or group of internally connected, habitable rooms that have sleeping, cooking, and sanitation facilities, but not more than one kitchen occupied by or intended for one household on a long-term basis. A “dwelling” is the same as an independent housekeeping unit.” This definition is consistent with the common understanding of home size: habitable or livable square footage, which is what is listed in standard descriptions of homes for sale, or when people talk generally about the size of their homes. Thus, ‘size’ does not include unconditioned spaces.
- Similar Homes - For this lot, a commonsense interpretation of ‘similar homes’ requires the comparison of similarly situated homes, on larger lots of more rural character, such as homes in the First Street area and the unincorporated areas of greater Sebastopol. However, M8 also calls for consideration of the Swain Woods area, which is not rural residential in character. This reference may come more into play when the other two, smaller lots in the subdivision are developed. In addition, an appropriate reading of ‘similar homes’ must acknowledge the diverse styles and sizes of homes and lots in the Sebastopol area.

- General Area - M8 does not define this term. Neither the General Plan nor the Sebastopol City Code define this term. Notably, this language does not limit the area to incorporated Sebastopol. Thus, the plain meaning of “general area” must be used. In other contexts, ‘general area’ can mean an entire city or a groundwater basin, or in one case, the Oregon Coast Mountain Range. Thus ‘general area’ means ‘greater Sebastopol’ including both incorporated and unincorporated properties encompassed within the 95472 ‘Sebastopol’ mailing address zip code, particularly since this particular lot is most similar to properties in unincorporated Sebastopol.

M8 goes on to say that the ‘general area’ shall be considered to be ‘including’ two geographical subcomponents of the ‘general area,’ specifically “...both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).” The word ‘including’ does *not* limit the areas to be considered to these two areas, *rather they are a subset of the ‘general area.’* M8 does not define the ‘Swain Woods neighborhood’ although it does direct attention to the area of a particular intersection. However, the common understanding of what constitutes the ‘Swain Woods neighborhood’ would encompass a larger area than that intersection, to encompass homes on several streets including but not limited to all or portions of Swain Avenue, Swain Woods Terrace, Blossomwood Avenue, Palm Avenue, Jewell Avenue, and Parquet Street.

- The size, height and recent construction parts of M8 do not include a specific formula or numerical limit. Unfortunately, due to the dearth of construction of single-family homes within the city in the general area, and that definitions for “recent” could range from three months to multiple years, this part of the standard is unclear. There are typically multi-year economic cycles affecting residential construction activity. Sebastopol has not been immune to these cycles, resulting in a dearth of construction here. Thus, and in order to ensure that there are sufficient similar single-family homes to compare the proposed home to, a reasonable standard would be to define ‘recent’ as having been constructed within approximately 25 years prior to the application.

Ted Luthin, Chair  
Design Review Board  
RE: 771 and 773 First Street  
December 3, 2021  
Page 7

*Conclusion*

A fair and reasonable interpretation of M8 is required under the law. This analysis sets forth a detailed rationale for such interpretation. Moving forward with review of the project will facilitate the production of needed housing stock, including an accessory dwelling unit.

The Board should adopt a legally-valid interpretation of M8 as follows:

- For purposes of interpreting and applying Mitigation Measure No. 8, the Board finds that ‘size’ means habitable square footage; that ‘height’ means building height as defined in the Zoning Ordinance; ‘similar homes’ includes homes on sites that are similarly situated to this lot, on larger lots of more rural character; ‘more recent construction’ means within approximately 25 years prior to a subject application; ‘general area’ means greater Sebastopol, as defined by its zip code; ‘First Street area’ means First Street and areas adjacent to it; ‘Swain Woods neighborhood’ means homes on several streets including but not limited to all or portions of Swain Avenue, Swain Woods Terrace, Blossomwood Avenue, Palm Avenue, Jewell Avenue, and Parquet Street.

We thank you for your careful consideration of this matter.

Greg Beale, Design/Builder

cc: Larry McLaughlin, City Manager/City Attorney  
Rose and Steve Schoch  
Tina Wallace, Attorney at Law  
Kenyon Webster, Planning Consultant

*File*

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RESOLUTION NO. 5220

A RESOLUTION OF THE SEBASTOPOL CITY COUNCIL  
APPROVING A MINOR TENTATIVE PARCEL MAP  
TO ALLOW THE 3-LOT SUBDIVISION OF  
763 FIRST STREET,  
APN 004-172-007

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WHEREAS, an application for Minor Tentative Parcel Map was filed by Paul Schoch on May 10, 2000, to divide a 1.86 acre parcel located at 763 First Street (APN 004-172-007) into 3 lots;

WHEREAS, the Environmental Coordinator has prepared a Mitigated Negative Declaration for the project, based on an Initial Study dated May 22, 2001, performed pursuant to the California Environmental Quality Act (CEQA);

WHEREAS, on June 19<sup>th</sup>, 2001, the Planning Commission of the City of Sebastopol held a duly noticed Public Hearing to consider the application of Paul Schoch for the 3-lot subdivision of the property located at 763 First Street, heard public testimony and considered the staff report;

WHEREAS, the Planning Commission of the City of Sebastopol, at their meeting of June 19, 2001, reviewed and adopted said Mitigated Negative Declaration, along with all recommended Mitigation Measures contained therein, finding it to be appropriate for the project as conditioned;

WHEREAS, after hearing said application for subdivision, staff report, and public testimony, and after finding adequate and adopting the Mitigated Negative Declaration, the Planning Commission did find and determine that the proposed Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the Sebastopol General Plan, the State Subdivision Map Act, and with the Sebastopol Subdivision and Zoning Ordinances;

WHEREAS, having made the necessary findings of consistency, the Planning Commission did adopt Resolution No. 02-2001, recommending to the City Council adoption of the Mitigated Negative Declaration and approval of the Minor Tentative Parcel Map, together with the provisions for its design and improvements, subject to the conditions set forth therein; and,

WHEREAS, on July 18, 2001, the Sebastopol Tree Board held duly noticed public hearing to consider the separate request of Paul Schoch for removal of a 49" d.b.h. Black Oak tree from just beyond the Hayden Avenue Extension on the easterly side of this same property, said request having been filed as a separate application from that of the proposed subdivision of land, and thus to be considered on its own merits, pursuant to the Sebastopol Tree Protection Ordinance;

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WHEREAS, after due consideration of the facts, findings, analysis, staff report, expert testimony and recommendations, and public testimony, the Tree Board found that the subject tree, having been declared hazardous, did qualify for the issuance of a Tree Removal Permit under the requirements of the Tree Protection Ordinance, and having so found, the Sebastopol Tree Board did grant the requested Tree Removal Permit, subject to conditions to ensure the adequate and timely planting of the required replacement trees; and,

WHEREAS, the Sebastopol City Council held a duly noticed public hearing on September 18<sup>th</sup>, 2001, received public testimony and considered the environmental document, staff report, and the recommendations of the Planning Commission; and

WHEREAS, the City Council continued its discussion and deliberations on the project to October 16, 2001; and

WHEREAS, the City Council has determined and hereby declares that the proposed Mitigated Negative Declaration is both adequate and appropriate for this project;

WHEREAS, the City Council finds that the application for Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the goals, policies and objectives of the Sebastopol General Plan;

WHEREAS, the City Council finds that the application is consistent with the State Subdivision Map Act, and with the Land Use Designation of the Sebastopol General Plan; and that it meets all requirements and development standards of the Subdivision and Zoning Ordinances;

WHEREAS, the City Council finds that the granting of the Tree Removal Permit by the Sebastopol Tree Board eliminates the necessity of the design and access limitations imposed by the Planning Commission in the absence of such an approval for tree removal, and also eliminates the necessity of certain conditions recommended by the Planning Commission related to the placement of the proposed Jewell Avenue driveway and the protection of the subject tree;

WHEREAS, the City Council further finds that the subject division of property represents a residential infill project, such as is encouraged by the policies and programs set forth in the 1994 Sebastopol General Plan; and further, that it maintains consistency with the land use type and scale of adjacent development, and as such is consistent with the intent of the Land Use Chapter of the General Plan, and compatible with adjacent and surrounding land uses.

NOW, THEREFORE BE IT RESOLVED, after due consideration of the facts and analysis, and finding the proposal to be consistent with the Sebastopol General Plan, the State Subdivision Map Act, the Sebastopol Zoning Ordinance No. 913, and the

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Subdivision Ordinance No. 944, the Sebastopol City Council hereby approves the Minor Tentative Parcel Map application, together with the provisions for its design and improvements, subject to the conditions of approval set forth below:

**Conditions of Approval**  
Tentative Parcel Map  
763 First Street  
APN 004-172-007

*October 16, 2001*

**Planning Department Conditions of Approval:**

**General Conditions**

- P1. Approval is granted for the application date stamped May 10, 2000, except as amended herein.
- P2. All access for the subdivision shall be provided from First Street, and the subdivision map shall be revised to so indicate. No access shall be provided from the Hayden Avenue Extension.

**Prior to Issuance of a Grading Permit**

- P3. A Tree Protection Plan (TPP), including a TPP Map Sheet, is required to be submitted as a part of the Grading and/or Improvement Plans. The Map Sheet containing the Grading Plan shall reference the TPP Sheet with the following large, boxed note:

<p>“NOTE: Contractor is responsible for compliance with the approved Tree Protection Plan (Sheet x). Failure to fully comply with the restrictions, conditions, and mitigation measures of the Tree Protection Plan, as reflected on Sheet x, may result in the issuance of a stop-work order, or the imposition of fines and penalties, or both.”</p>
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- P4. The Grading and Improvement Plans, including the Tree Protection Plan Sheet (TPP Map Sheet), shall be reviewed and approved by the City Engineer, the City Planning Director, and the City Arborist prior to issuance of a Grading Permit. The Grading Plans may be referred to the Design Review Boards, the Sebastopol Tree Board, or both, if, in the sole opinion of the Planning Director, the proposed site grading is excessive, and/or will impact the privacy of surrounding residents, and/or does not afford the maximum level of protection to existing trees.
- P5. Any tree shown to be removed which is 8" or larger d.b.h. (unless named as exempt under the Sebastopol Tree Protection Ordinance) shall receive a Tree Removal Permit from the Sebastopol Tree Board prior to issuance of a Grading

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Permit.

Prior to Issuance of a Building Permit

- P6. The new residential development shall be subject to the review and approval of the Design Review Board. Design Review shall include consideration of the maintenance of privacy for adjacent properties, as well as compatibility with the existing neighborhood. Fencing materials at project boundaries shall also be subject to Design Review.
- P7. Prior to issuance of a Building Permit for Lot #3, the applicant for a Building Permit for this Lot shall file an application for a Second Dwelling Unit that is consistent with all applicable provisions of the City's Second Dwelling Unit Ordinance; if approved, the unit may be provided either simultaneous to the primary home, and rented out; or, it may be provided as a finished-space extension of the primary home, in such a manner that the provision of kitchen appliances and the construction of a simple firewall division between the units shall render it fully self-contained as a separate unit; or, it may be framed, plumbed, wired, ducted & insulated and closed in, but left unfinished until such time as the property owner elects to finish it and provide it as a rental unit, whether for a family member, or for any other person or household of approximately one to three persons, as the unit may be provided to, so long as the availability, advertisement, and rental or lease terms and practices associated therewith prohibit discrimination of any kind, and comply with all other applicable Fair Housing Laws.
- P8. A Traffic Impact Fee shall be paid prior to issuance of a building permit on each lot. The amount of the fee shall be determined by the City Traffic Engineer.
- P9. A Park In-lieu Fee shall be paid prior to issuance of a building permit on each lot.
- P10. Access to Lot 1-3 shall be provided to the satisfaction of the City Engineer, Fire Chief, and Planning Director.
- P11. The potential impacts associated with increased traffic along First Street shall be reviewed by the City Traffic Engineer, with recommendations made to address any increased impacts.
- P12. This condition deleted.
- P13. This condition deleted.
- P14. This condition deleted.

Mitigation Measures.

- M 1. A Geotechnical/Soils Report shall be submitted with the application for Final Map, if appropriate, or with each individual application for Building Permit, if

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applicable. The Report shall identify and discuss site soils, slopes, geological features and any other site conditions, and shall make recommendations as to the type of construction best suited for the site conditions; the recommendations shall be followed, and shall become conditions of approval of the project to be incorporated into the plans submitted with the Building Permit application, to the satisfaction of the Building Official. Notwithstanding, if circumstances and conditions so warrant, the soils report requirement may be duly waived, in writing with a copy of said waiver provided to the Environmental Coordinator, by the Building Official pursuant to and consistent with all applicable provisions of the UBC and the Subdivision Map Act, provided that the Building Official verifies that he has sufficient knowledge of soils in the area, such data having been previously provided by Geotechnical and/or soils reports for construction in the general area, and having had experience with similar or proximate sites, and appropriate knowledge of appropriate construction requirements, as specified in the UBC. In the case that no engineering-level soils report is required to be submitted with the application for Building Permit, then prior to the acceptance of an application for Design Review as complete, the applicant shall submit written verification from the Soils Engineer that the proposed type and size of construction is consistent with standard Geotechnical or Soils Report recommendations, as well as with any specific recommendation made for the particular Lot, as applicable.

- M 2. The Final Map shall indicate the approved areas upon which building may occur for each Lot (“building envelopes”), in order to reflect the following, as applicable:
- a) the exclusion of building construction within the SCWA-required 30’ creek setback;
  - b) the required front, rear, and/or side yard setbacks for each future home on each Lot, being those yards required in the Rural Residential (RR) Zone District unless another set of requirements are established as a part of the project and approved by the City Council, with only those approved shown and labeled;
  - c) the area to remain undisturbed, if any, within the root protection zone of any protected tree or trees, as may be required by the approved Tree Protection Plan; or, if there be no approved Tree Protection Plan for any particular Lot, as may be determined to be necessary and appropriate by the City Arborist; and
  - d) such other specific construction limit(s), restriction(s) or allowance(s), as may be applicable, whether requested by the applicant and approved by the Council, or by request of the Council and agreed to by the applicant, or as a condition of project approval, without which there would be no approval. The intent of this measure is to delineate, in an appropriate format, such specific criteria as are or may be established for any or all Lot(s) as may be related to building footprint limitations or allowances; reduced or increased setback(s), whether in general or as may be imposed for second stories; limitation(s) and/or allowance(s) as may be related to rooflines, such as ridge heights, roof slopes, and the like.

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- M3. All project-related grading, excavation, trenching, backfilling, compaction, and the like shall be conducted in strict accordance with City design specifications, and shall be approved in advance of work by the City Engineer. In general, all grading and excavation activities shall be limited to the "dry" season (between April 15 and October 15) in order to minimize wind or water erosion; any exceptions to the above time period shall only be allowed with the express written advance approval of the City Engineer upon his review and approval of the appropriate Engineered Grading Plans, including a weatherization plan; if applicable, such winterization plan shall be submitted as a part of the application for Grading Permit, and shall be approved as a part thereof. The winterization plan(s), if used, shall include specifications for the seeding and/or re-seeding of all exposed soil surfaces, both on-site and off-site, prior to the onset of normal winter rains, with supplemental fill-ins following any new exposure of soil surface area. Specifications shall adhere to the requirements that:
- a) native grasses are to be used whenever possible; and,
  - b) in no case shall any seed or seed mix containing greater than 0.1% noxious weeds be used for this purpose.
- M4. For any home proposed on any Lot(s) within this subdivision, if the proposal includes a fireplace/chimney, and said fireplace is not intended (and gas service provided for) decorative use only, the following requirement shall be made, and shall be noted on the plans submitted for Building Permit: Woodstoves, pellet stoves, and/or fireplace inserts are required to be installed in all non-decorative (i.e., not solely gas-serviced) fireplaces within the home(s). All stoves and inserts used shall be of the maximum efficiency type, certified as meeting or exceeding the requirements of the BAAQMD, or as otherwise deemed satisfactory by the Building Official. This restriction shall continue to apply to each Lot(s) until such time as the applicable standard is no longer valid, or the BAAQMD ceases to exist and there is no similar successor agency.
- M5. Prior to issuance of any Grading Permit or Building Permit for any particular Lot within this project, the Sebastopol Tree Board shall review and approve a Tree Removal and Tree Protection Plan, or, if applicable, a Specific Tree Protection/Contingent Removal Plan and Permit, unless such Plan does not involve removal or contingent removal of any protected tree such that the Tree Board has delegated review authority of the Tree Protection Plan to staff. The Tree Protection Plan and/ or Tree Removal Permit/Contingent Removal Permit shall meet all submittal requirements of the Tree Ordinance and the Tree Board. The Tree Protection Plan shall reflect any tree-related limitations to building envelope, as required by Conditions above. If site development will involve the removal of any protected tree, the Tree Removal Permit shall be required to be approved, with performance and protective bonds (if any) set and paid, prior to the commencement of any site clearing or site work on that Lot, and prior to

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issuance of any grading or building permit for that Lot, including a foundation-only permit.

- M6. A tree replacement plan consistent with the minimum replacement requirements discussed herein, and any required tree protection bonding or other performance/protection guarantees as may be required, shall be in place prior to issuance of any permit for grading or construction activities, to the satisfaction of the Planning Director. If the Tree Removal Permit is denied such that a re-design of site improvements is required, the re-design shall not be subject to further discretionary reviews so long as the changes are limited to those needed in order to provide tree protection.
- M7. For each tree heritage tree, if any, approved to be removed, the Tree Board shall require Tree Replacement at a rate equal to or exceeding the ratio established by the Ordinance, as provided for within the Ordinance, when a different requirement is warranted related to the size and age of the subject tree. The replacement program shall consist of a variety of tree sizes, including but not limited to the use of at least one 24" box tree (or equivalent) and two 15 gallon trees for each protected heritage-size tree removed; and of a variety of types and sizes to mitigate both short-and long-term effects of the loss of protected trees.
- M8. The homes to be built within this project shall be subject to the review and approval of the Sebastopol Design Review Board. The Board will be guided in their review of the proposal by their adopted Project Review Guidelines; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).
- M9. Garages and other off-street parking areas planned to serve the new residential development shall be located in such a way that vehicles entering or exiting the site from Jewell Avenue or First Street will not unduly produce direct, sustained headlight glare into the living areas of surrounding homes. If necessary, screening devices and/or plantings may be used to help dissipate any such direct glare, to the satisfaction of the Design Review Board.

**Fire Department Conditions of Approval:**

**General**

- F1. Fire protection for the homes to be built on Lots 2 and 3 shall be to the satisfaction of the City Fire Chief.

**Engineering Department Conditions of Approval:**

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General

- E1 Submittals for Engineering Plan Check shall be made at the Engineering Department. Plan Check deposit shall be paid at the time of submittal. Call 823-2151 for information.
- E2 Any exceptions or variances from the conditions stated herein will require the written approval of the City Engineer or approval of the City Council if required by the City Code.
- E3 No construction shall be initiated until the Improvement Plans have been approved by the City, all applicable fees have been paid, an encroachment permit and/or grading permit has been issued and a project schedule has been submitted to the City Engineer and a pre-construction conference has been held with the City Engineer or designee.
- E4 All construction shall conform with the City Standard Details and Standard Specifications dated July 1998, all City Ordinances, the State Subdivision Map Act, and the approved plans.
- E5 Public Utility easements shall be provided as requested by the Public Utility Agencies and shall be offered for dedication on the map.
- E6 All underground utilities within the private access street shall be installed prior to street construction.
- E7 All utility distribution facilities, within the Hayden Street access and in the new private access from First Street, shall be placed underground except for surface mounted transformers, pedestal mounted terminal boxes, meter cabinets, fire hydrants, and street lights. Appropriate easements shall be provided to facilitate these installations. Existing overhead utilities on the First Street frontage of the project are not required to be placed underground because this requirement would result in an additional pole and guy wires, defeating the intended purpose.
- E8 Any existing septic tank(s) shall be abandoned under permit and inspection by the Sonoma County Health Department prior to map recordation.
- E9 Any existing well(s) shall be abandoned under permit and inspection of the Sonoma County Health Department.
- E10 The applicant shall submit to the City of Sebastopol for review and approval by the City Engineer, improvement plans prepared by a Registered Civil Engineer. Plans shall show all street, drainage, water, wastewater and grading improvements.

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- E11 The following notes shall appear on the improvement plan cover sheet: “All utilities on site shall be placed underground”.  
“During construction, the Developer shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and streets”.
- E12 The subdivider shall either complete the required construction or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Parcel Map, agreeing to complete the required construction within 24 months after the filing of the map. The Improvement Agreement shall be recorded with the map.
- E13 The developer shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any buildings to the City water or wastewater system.

#### Grading and Site Work

- E14 All grading work shall be shown on a grading plan to be incorporated into the improvement plans.
- E15 Grading plan shall include the location and size of all existing trees to be removed, and trees to remain. The plans shall show all measures identified in the Tree Protection Plan as needed, to protect trees during construction.
- E16 Improvement plans shall be submitted showing all proposed improvements including grading, paving, utilities, drainage, structures to be built, lighting and trash collection. Improvement plans shall include a winterization and erosion protection plan.
- E17 The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.

#### Streets

- E18 Construction of curb, gutter, and sidewalk on First Street shall be deferred to such time as other portions of First Street are improved. The Subdivider shall guarantee eventual construction of these improvements through an agreement, to be recorded against the lots taking access from First Street. The Subdivider shall also provide a preliminary design, including plan, profile and cross-sections, for the future improvements on First Street.
- E19 Driveway entrances shall meet the requirements of the City Traffic Engineer.
- E20 The access easement on Lots 1 and 2 in favor of Lots 2 and 3 shall be a minimum width of 25 feet.

#### Storm Drainage/Flood Damage Protection

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- E21 Drainage facilities shall be provided within the subdivision to eliminate the effects of additional stormwater runoff on adjacent properties.
- E22 Calder Creek shall be protected from water quality impacts due to additional stormwater runoff. Subject to feasibility (as determined by the geotechnical engineer, the Sonoma County Water Agency, the Regional Water Quality Control Board, and/or the State Department of Fish & Game, as applicable), drainage shall be filtered by natural vegetation or infiltration prior to entering Calder Creek.
- E23 If any work is necessary in Calder Creek, the subdivider shall be responsible for obtaining any and all permits deemed necessary, including but not limited to the following:  
State Department of Fish and Game, Streambed Alteration Permit  
Regional Water Quality Control Board, Section 401 Permit

#### Water Distribution

- E24 Fire protection facilities shall be in accord with the requirements of Sebastopol Fire Department.
- E25 Backflow prevention devices will be required in accordance with the requirements of the City of Sebastopol's Backflow Prevention Ordinance.
- E26 Water services to serve this development shall be connected to the existing mains. Meter locations shall be subject to approval by the Sebastopol Public Works Department.

#### Sewer Collection

- E27 Sanitary sewer to serve this development shall be extended from the existing mains.
- E28 New sewer laterals shall be constructed in accordance with City Standards.

#### Parcel Map

- E29 A Parcel Map as defined in the State Subdivision Map Act and prepared by a licensed surveyor or civil engineer, showing at all parcel rights-of-way and easements, shall be filed with the City of Sebastopol Engineer's Office. The Parcel Map shall conform to the requirements of the State Subdivision Map Act and the City Subdivision Ordinance. Upon recordation of the Map, the Subdivision is valid.
- E30 All property corners of lots within the subdivision shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into the earth except as expressly permitted in writing by the City Engineer.
- E31 The Parcel Map shall show:           The assessor's parcel number

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Total area of land being subdivided (in acres)

Total number of lots being created

E32 NOTE ON PARCEL MAP: "Building permits shall be subject to payment of development fees in effect at time of permit issuance."

E33 The following covenant shall be recorded with each lot:  
An approved Grading, Drainage, and Erosion Control Plan shall be required for each lot (if such a plan has not already been approved for the entirety of this minor subdivision). The Grading, Drainage and Erosion Control Plan shall be submitted to the Engineering Department and shall be approved by the City Engineer, and by any other body as may be applicable as set forth herein, prior to issuance of a Grading Permit or a Building Permit, including but not limited to a foundation-only permit. (Note, recordation of this covenant may be waived if an inclusive Grading, Drainage, and Erosion Control Plan has been approved for the entirety of this subdivision, and work to be performed is consistent with the approved Plan.)

E34 The owner shall record contemporaneously with the Parcel Map an irrevocable offer of dedication to the City of Sebastopol to provide additional right-of-way along the First Street frontage as necessary to provide a width of 25 feet from the centerline of the street. Additionally, a 5-foot-wide public utility easement shall be provided outside of (and adjacent to) the right-of-way.

DULY ADOPTED by the Sebastopol City Council on this 16<sup>th</sup> day of October, 2001, by the following vote:

APPROVED: \_\_\_\_\_



Mayor

VOTING AYE: Councilmembers Roventini, Spooner and Mayor Robinson

VOTING NO: Councilmember Litwin

ABSENT: None

ABSTAIN: Councilmember Anderson

ATTEST: \_\_\_\_\_



City Clerk





## City of Sebastopol Design Review Board Staff Report

Meeting Date: August 18, 2021  
Agenda Item: 7A  
To: Design Review Board  
From: Kari Svanstrom, Planning Director  
Jeffrey Setterlund, Contract Planner  
Subject: Design Review, Tree Removal, Tree Protection Plan for 771 and 773  
First Street  
Recommendation: Approve with Conditions  
Applicant/Owner: Thrive Construction/Builders' Studio, Gregory Beale & Marilyn  
Standley & Ryan Connelly  
File Number: 2021-28  
Address: 771 and 773 First Street  
CEQA Status: Exempt  
General Plan: Medium Density Residential (MDR)  
Zoning: Single Family Residential (R3)

### **Introduction:**

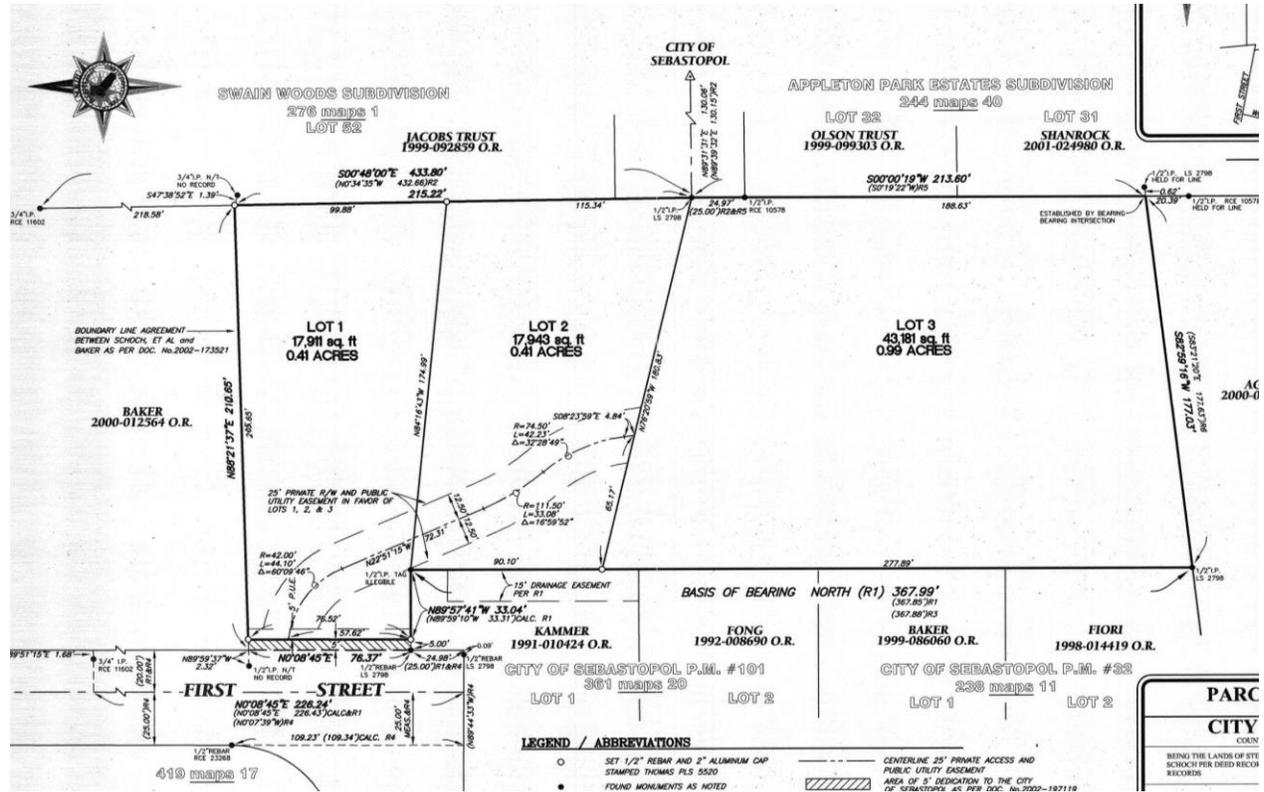
The applicant is seeking approval of Design Review, Tree Removal, and Tree Protection Plan to construct a new single family residence and accessory dwelling unit at 771 and 773 First Street. Design Review Board approval is required because the application involves the development of a new single-family dwelling unit in a new residential subdivision of three or more units per Section 17.450,010.A(2) of the Zoning Ordinance. The single-family dwelling will be located on one of the three lots approved by the City Council on September 18, 2001, as part of the 'Schoch Subdivision.'

### **Project Description:**

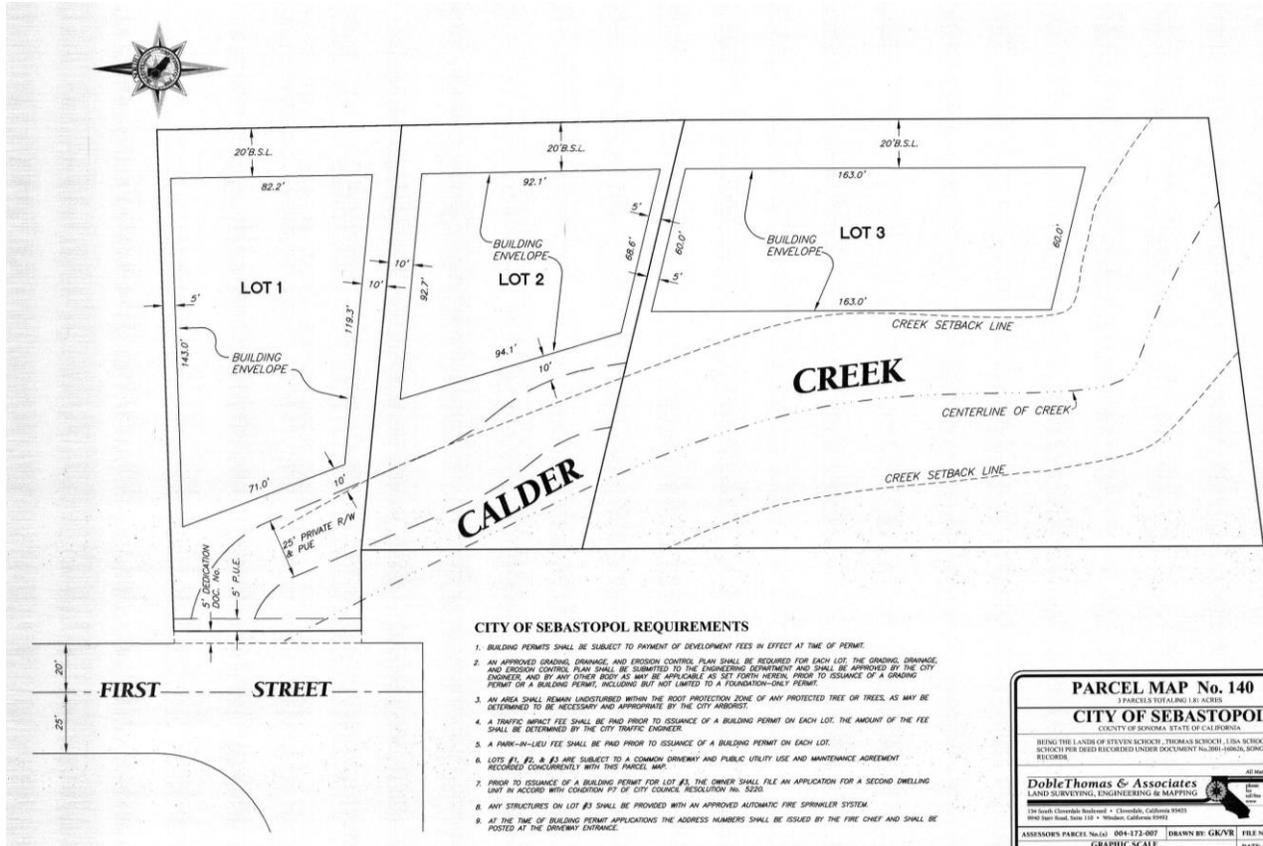
The project proposes to construct: a new 5,321 square foot (SF) single family residence with a 1,481 SF attached garage/workshop; a new 801 square-foot detached accessory dwelling unit with a 306 SF attached garage; and the removal of one existing protected oak tree. The primary dwelling unit will be located within a 6,613 square foot area and will have two-stories, a main floor area of 2,990 square feet, a 3,623 square foot lower floor (including 611 square foot unconditioned space and the 1,481 square foot garage/shop/storage). The accessory dwelling unit will be located within a 1,107 square-foot area and will include a 306 square foot garage. The project proposes 3 covered parking spaces for the primary residence and 1 covered parking for the accessory dwelling unit. Landscaping will consist of trees, shrubs, and grasses that are native to West Sonoma County and greater California.

**Project Location and Surrounding Land Uses:**

As noted above, the site is one of three lots created as part of a subdivision approved in 2001/ The site is accessed via a shared private driveway easement that includes a public utility easement as well, with utilities already installed to the edge of site. The easement ends at the north property line of the subject parcel (Lot 3):



The site contains a portion of Calder Creek along the western side of the site with a required creek setback; sloped topography from the creek upwards towards the eastern property line; as well as several onsite trees and shrubs. Development of the single-family dwelling and accessory dwelling unit will require the removal of 1 protected oak tree, which will require a Tree Protection Plan and a Tree Removal Permit.



The adjoining parcels to the east, south, and west are developed with single family residences, and Lots 1 and 2 to the north are currently vacant, and under the same ownership as the subject parcel (Lot 3).

**Environmental Review:**

The project is categorically exempt from the requirements of CEQA, pursuant to Section 15303, Class 3, which includes the construction and location of limited numbers of new, small facilities or structures. One single-family residence, or a second dwelling unit in a residential zone constitutes as a categorical exemption of CEQA under Section 15303(a). The project is consistent with this categorical exemption in that it involves the development of a single-family dwelling in a single family residential zoning district.

**General Plan Consistency:**

The General Plan Land Use Designation for this site is Medium Density Residential. The General Plan describes Medium Density Residential as the following: "Designates areas suitable for single family dwellings at a density of 2.1 to 6.0 units per acre. Smaller existing parcels within this designation would not be precluded from developing one housing unit. Population density for this designation for this density would range from 5.0 to 14.4 persons per acre." The project is consistent with the Medium Density Residential Designation in that it involves the development of a single-family dwelling in an area that contains an array of residential uses.

**Zoning Ordinance Consistency:**

The site is located in the R3: Single-Family Residential. The Zoning Ordinance states the following: "The purpose of the R3 District is to implement the "Medium Density Residential" land use category of the General Plan, and the General Plan goal of preserving Sebastopol's character

and image. This district is applicable to single-family residential areas with densities up to approximately 5.4 units per acre.” The project is consistent with the R3 Zoning District in that is a single-family dwelling and accessory dwelling, both of which are permitted uses.

In addition to the R3 District standards, the parcel map delineated Building Envelopes for each of the lots, which includes a smaller side yard setback to the north of 5 feet; a required creek setback as delineated on the parcel map to the east (front setback), which is approximate 105 feet from the west (front) property line; to the south of between 57-80 feet, and 20 feet to the east (rear) property line.

Code Section	Development Standard Required		Proposed Project
Section 17.20.30	Building Height	30 Feet	27 Feet – 8 ½ Inches
	Accessory Dwelling	17 Feet	16 Feet -1 Inch
	Stories	2 Stories	2 Stories
	Accessory Dwelling	1 Story	2 Story
	Lot Coverage	30%	5.6%
Schoch Subdivision 2001-160626 O.R.	Setback: North (side yard)	5 Feet	5 Feet
	Accessory Dwelling	5 Feet	5 Feet
	Setback: East (rear yard)	20 Feet	20 Feet
	Accessory Dwelling	20 Feet	20 Feet
	Setback: South (rear yard)	20 Feet Min./30 Feet Max.	30 Feet
	Accessory Dwelling	20 Feet Min./30 Feet Max.	30 Feet
	Setback: West (front yard)	30 Feet	30 Feet
Accessory Dwelling	30 Feet	30 Feet	
Section 17.110.030.A (1)	Required Parking	2 Spaces	4 Spaces

Building Height is defined as the following under Section 17.08.100.H of the Zoning Ordinance: “The maximum allowable height shall be measured as the vertical distance from the natural grade of the site to an imaginary plane located the allowed number of feet above and parallel to the grade. The natural grade shall not be artificially raised to gain additional building height.”

The project is consistent with the Zoning Ordinance in terms of building height, lot coverage, and required parking. It is consistent with the Building Envelope designated in the Parcel Map.

**City Departmental Comment:**

The Planning Department previously circulated the application to the following City departments for review prior to the August 4th DRB meeting: Building and Safety, Engineering, Fire, City Manager and Assistant City Manager, and Public Works. The following comments were received.

- Fire sprinklers, smoke detectors, and carbon monoxide detectors are required for both residences. 2019 California Building and Fire Codes apply.
- Developer shall submit a grading plan prepared by a registered civil engineer to the Public Works Department, and pay all fees associated with a grading plan check (may be deferred to building permit application).
- Developer's contractor shall obtain a Grading Permit from the Public Works Department before beginning any work on the property.

**Public Comment:**

The Planning Department previously posted the staff report item to the City's website for review by the public prior to the August 18th DRB meeting. The following comments are summarized below.

The Neighbor is concerned that the proposed project is out of character with the neighborhood due to its size; That the proposed project negatively impacts an ecologically sensitive area; and that the proposed project will negatively impact one of the last remaining parcels in a sensitive residential/rural corridor. Additional concerns include impacts on trees from the construction, and the amount of grading required for the project.

**Required Findings:**

Section 17.450.030.B.2 of the Zoning Ordinance states that in considering an application for design review, the Design Review Board shall determine whether the project is consistent with the following:

- a) The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol.
- b) The design provides appropriate transitions and relationships to adjacent properties and the public right of way.
- c) It would not impair the desirability of investment or occupation in the neighborhood.
- d) The design is internally consistent and harmonious.
- e) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter.

Additionally, the three parcels in this subdivision are subject to the Conditions of Approval and CEQA mitigations adopted by Council via Resolution No. 5220 (October 16, 2001). See attachments for the full Resolution text.

Of note, this Resolution requires design review, and also sets more stringent tree protection and tree removal requirements than the standard Tree Ordinance, in addition to setting specific Building Envelope limits that vary from the City's normal setbacks for the zoning district (as discussed earlier in this report). Additionally, it includes conditions related to appropriate size and height of the homes for this and the two lots north of this parcel, discussed further below.

The City's Tree Ordinance (SMC Section 8.12.060.D of the Tree Protection Ordinance) states that a Tree Removal Permit may be approved when an International Society of Arboriculture (ISA) Certified Arborist has verified at least one of the following conditions:

- 1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two (2) years.
- 2. The tree poses a likely foreseeable threat to life or property, which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
- 3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
- 4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems,

such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.

5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

**Analysis**

The project involves the development of a single-family dwelling, accessory dwelling, and hot tub/spa area on a vacant lot. The property is accessed from a private drive with Lot 2 of the subdivision, perpendicular to First Street. The dwelling will be developed in a neighborhood that contains several single-family dwellings of moderate size and various architectural styles.

The main residence is much larger than most of the homes in the area, it is set into the slope at the rear of the lot. While the City does not have a maximum home size, or floor area ratio (FAR) limits for residential parcels in the City, Mitigation 8 notes: *“The homes to the [sic] built within this project shall be subject the review and approval for the Sebastopol Design Review Board. The Board will be guided in their review of the proposal by their adopted Project Review Guidelines [now called Design Review Guidelines]; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).”*

While the Condition does not provide for a clear size limit, staff has received communications, and verified that the average size of homes in these referenced areas and the general neighborhood ranges from 2,000-3,000 square feet (not including garage/accessory structures, which are not included in the County’s records for square footage, or accessory dwelling units [ADUs]). Staff is aware of several larger barns, garages, and workshops in the general neighborhood; additionally, the County records do not include the square footage for these types of spaces. Staff has excluded ADUs as those are permitted to be specific sizes under State Law, which has superseded the 2001 subdivision approval and is now a ministerial process when built separately from primary residences.

While the size of the home does not need to be an exact match to the surrounding homes to comply with this Condition of Approval, staff believes it should be within a certain percentage. Staff recommends the Board discuss either 125% or 150% of the average or upper end of the surrounding homes, understanding that these homes could add an addition at any time and also increase over time. Staff further recommends that the Board not go beyond 150% of 3,000 square feet (the upper end of the range of sizes in the area), as staff believes this would be beyond the reference to ‘similar homes’ in the condition.

Staff has calculated what this means in terms of square footage (SF) as follows:

125% of 2,500 SF = 3,125 SF	125% of 3,000 SF = 3,750 SF
150% of 2,500 SF = 3,750 SF	150% of 3,000 SF = 4,500 SF

The main house, at 5,321 SF, is larger than any of these averages.

One consideration the Board may wish to consider is the size of the lot, which is larger than most of the other lots in the neighborhood, at just under an acre (43,181 SF). However, staff also notes that much of this lot is constrained with the Calder Creek and City's Creek Ordinance, which is reflected in the building envelope and the City's Creek Ordinance (SMC 17.100.060). Approximately 20,000 SF of the lot is within this creek setback area.

Other than the size of the primary structure, the dwellings appear to be compatible with the neighborhood in that its design is consistent with several existing dwellings in the area and contributes to the architectural diversity of the community. The primary and accessory dwellings incorporate similar design features, articulation, facade style, and are designed to create a cohesive visual relationship while also distinguishing its own visual identity and individual address. Applicable design guidelines include:

- *Design Guideline Site Planning A1: "Neighborhood Context" Infill development should be sensitively designed to respect existing patterns, and reinforce the character and context of existing neighborhoods consistent with applicable development regulations.*
- *Design Guideline Grading and Storm Water Management E1a: "Grading". Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees*
- *Design Guideline Architecture A1: "Relationship to Surrounding Architecture" Architectural design should be compatible with the developing character of the area, and should complement the unique aspects of the site. Design compatibility includes complementary building style, form, size, color and materials. Consider architectural styles of existing structures on the site, as well as other structures in the area when designing a new building and provide for a harmonious integration of the new improvements.*
- *Design Guideline Architecture A2: "Relationship to Surrounding Architecture" In subdivisions, houses with identical or similar building elevations and/or floor plans should not be located on adjacent lots or directly across the street from each other. Where a single house design is used repeatedly, materials and detailing of major facade elements should be varied.*
- *Design Guideline Architecture B1: "Massing." In Large structures should be designed to reduce their perceived height and bulk by dividing the building mass into smaller-scale components.*
- *Design Guideline B3: "Massing." In Box-like forms with extensive unarticulated facades or large, unvaried roofs should be avoided.*
- *Design Guideline B4: "Massing." A variety of levels and planes should be encouraged to reduce the massing of larger buildings.*
- *Design Guideline C1d: "Architectural Details." Building facades should be articulated by using color, arrangement, or change in materials to emphasize the facade elements. The planes of the exterior walls may be varied in height, depth or direction.*

The project is consistent with the design guidelines in that it avoids box-like forms, has extensive articulated facades or large, and varied roofs. However, while the project is well articulated and encourages a variety of levels and planes in order to reduce the massing, Staff is concerned that

the overall mass of the primary dwelling is considerably larger than existing surrounding residences within the vicinity. As described in the design guidelines, large structures should be designed to reduce their perceived height and bulk by dividing the building mass into smaller-scale components.

As noted above, the Board needs to discuss and determine what constitutes an appropriate infill development for the size and height of the home given the Subdivision Condition #M8, discussed above.

In addition, staff recommends the Board review and discuss the potential for a modified massing scale which represents the applicant wishes, but still provides greater variety to the development, which could be in combination with any square footage reductions or other requested modifications.

Staff was initially concerned with the project's suitability for the site in that its design did not adequately accommodate the existing slope and proposed significant cut and fill operations in order to place the proposed structures. The site has a slope from east to west at a grade of about 6% with steeper areas of 10-12% slope along the bank of Calder Creek. The project proposed original grading at 660 cubic yards of cut, and 300 cubic yards of off-haul. Based on the concerns of staff, the project's civil engineer performed a more detailed estimate, and provided revised calculations and a revised exhibit (see attachments) at 550 cubic yards of cut, and 380 cubic yards of off-haul. While the amount of cut has been reduced relative to staff's original concerns, staff finds that the extensive grading in order to accommodate the proposed structures may not reflect the existing topography and protect significant site features, including Calder Creek, which is located downhill of the proposed project. Specifically, the design review guidelines encourage balancing the cut and fill when it does not result in further adverse effects to the natural topography. Staff recommends the Board review and discuss the potential for a modified scheme which best accommodates the proposed structures, but reduces grading to the site.

While the city does not regulate color, the very light exterior color scheme of the residential structures may increase the massing of the building given the contrast to the surrounding exterior landscape. While the colors are likely neutral enough to be compatible with the landscape, the use of only a couple of shades of beige and white to be somewhat monotonous and may emphasize the sameness and massing of the structures. Staff finds a greater diversity of colors would also be more compatible with the of the surrounding neighborhood and with the general visual character of Sebastopol. While the colors are likely neutral enough to be compatible with the landscape, staff finds that the exterior color scheme, which is limited to a range of beige and whites, does not provide the same level of individuality to the units across the full set of structures. Staff recommends the Board review and discuss the potential for a modified scheme which represents the applicant wishes, but still provides greater variety to the development.

Furthermore, staff finds the design provides appropriate transitions and relationships to adjacent properties and the public right of way in that it contains sizeable setbacks and sets the structure low to the ground from the uphill properties to reduce the massing from adjacent parcels.. The proposed project complies with the required creek and existing drainage swale setbacks located at the western portion of the subject lot.

The design does not impair the desirability of investment or occupation in the neighborhood in that it revitalizes a vacant, unmaintained lot and creates a single family and accessory residence while leaving ample space to create an outdoor area with permeable surfaces, vegetation, trees and open space that softens the visual appearance of the existing site.

Finally, the design is internally consistent and harmonious in that it utilizes the same exterior colors and materials throughout both the primary residence and accessory dwelling unit.

### Tree Removal

The City's Tree Protection Ordinance requires the granting of a Tree Removal permit by the Sebastopol Tree Board prior to the removal of any protected trees 10" d.b.h (Diameter Breast Height) or larger in diameter. In addition, Resolution No. 5220 (October 16, 2001), approved by the Sebastopol City Council for the Minor Tentative Parcel Map, requires the granting of a Tree Removal permit by the Sebastopol Tree Board prior to the removal of any protected trees 8" d.b.h (Diameter Breast Height) or larger in diameter.

Prior to the issuance of any building permit or approval of any grading/improvement plans, a Tree Removal Permit would need to be approved by the Sebastopol Tree Board for any trees protected under the Tree Ordinance which are to be removed. The project proposed the removal of one (32" d.b.h) Oak Tree (Tree #4) located at the eastern project boundary of the site which another three (3) heritage trees of varying d.b.h recommended for removal by the project Arborist. The heritage black oaks on the east property line are very important trees to the neighbors and the site. The City Arborist is concerned about severe impacts to these trees as the roots pruning and pruning is in excess of Sebastopol's standards are proposed. The impacts on these trees needs to be further studied prior to construction and severing of the large roots and major pruning. There is also a significant group/grove of coast redwoods that are shown on the lot plan, but nowhere else, and not discussed in the arborist's report. At least two of the trunks appear to be 20" diameter, but definitely larger than the 8" diameter required in the subdivision Resolution. Additionally, some tree driplines do not appear to be accurate on the lot plan and those trees may be impacted by construction (the 13" Oregon oak at the southwest corner of the driveway entry). There's another small coast live oak on the north corner of the driveway on First Street that may have to be removed for the driveway installation and should be shown and discussed. The cottonwoods (*Populus fr.*) and acacias are exempt from protection, but are significant trees on the site and should be discussed even if they are to be removed. Appropriate replacements for these trees should be included in the project scope to maintain the character of the site.

Note, the applicant has been asked to provide a clearer tree plan and numbering for the Board's discussion.

While the trees recommended for removal are due to construction impacts, staff believes, in conjunction with other recommended modifications, there may be opportunities to reduce the impacts to the healthy trees to allow for their retention. The City Arborist will review the detailed Tree Protection Plan prior to issuance of a building permit to ensure that impacts to the remaining trees are minimal.

### **Recommendation:**

Staff recommends the Board discuss and determine what constitutes an appropriate infill development for the size and height of the home given the Subdivision Condition #M8, discussed above. Staff recommends the board set a maximum size of not more than 4,500 SF of conditioned space for the primary residence.

Staff further recommends the Board discuss tother potential modifications which, in coordination with the reduction of the size of the structure, could provide for modified massing, reduction in grading, and potential reduction in impacts to trees.

If it is the consensus of the Board that the proposed single family and accessory dwelling are compatible with the site, staff recommends that the application be reviewed and provide feedback to the applicant

If the Design Review Board feels the project can be approved, with conditions, based on the facts, findings, and analysis set forth in this staff report, and subject to the conditions of approval outlined. Key conditions recommended by staff include:

- Reduction of the size of the home to conform to the subdivision condition, with the reduction based on the Board's determination based on staff's analysis and the Board's deliberations. In considering these modification, include any conditions / direction that would reduce grading and potentially allow for additional protected trees to be retained.
- The proposed hot tub/spa be removed from the project scope given the current State of California's drought, and City of Sebastopol Mandatory 25% water reduction, which includes prohibitions on filling or refilling of pools/spas.

Alternatively, the Board may find that revisions are necessary and a continuance is appropriate. Staff recommends that the Board provide direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

Exhibit A: DRAFT Findings for Approval  
Exhibit B: DRAFT Conditions of Approval

**Attachments:**

1. Application Submittal Material
2. Conditions of Approval of original Tentative Subdivision Map (2000-049)
3. Schoch Subdivision Resolution No. 5220 (October 16, 2001).

**EXHIBIT A**  
**DRAFT FINDINGS FOR APPROVAL**  
**DESIGN REVIEW and TREE REMOVAL APPLICATION**  
**File 2021-28**  
**771 and 773 First Street**  
**Thrive Construction/Builders' Studio**

Design Review Findings:

1. That the project is categorically exempt from the requirements of CEQA, pursuant to 15303, Class 3, as it involves the construction and location of limited numbers of new, small facilities or structures.
2. That the project, as conditioned, will be consistent with the General Plan and Zoning Ordinance in that it involves the development of a single-family dwelling and accessory dwelling unit in an area that contains an array of residential uses, and is consistent with development standards.
3. That the dwelling, as conditioned, will be compatible with the neighborhood in that its size and design are consistent with several existing dwellings in the area.
4. That the dwelling, as conditioned, will be compatible with the general visual character of greater Sebastopol in that it is well designed and contributes to the architectural diversity of the community.
5. That the design, as conditioned, will provide appropriate transitions and relationships to adjacent properties and the public right of way in that it contains sizeable setbacks, and preserves the low to moderate density character of the neighborhood.
6. That the proposed improvements, as conditioned, will not impair the desirability of investment or occupation in the neighborhood as the exterior colors contribute to the overall design of the building, creating a more aesthetically pleasing environment.
7. That the design is internally consistent and harmonious in that the improvements, colors, materials, and design are consistent in character throughout the site.
8. That the design, as conditioned, will be in conformity with Design Review Guidelines as the improvements, colors, materials, and design will be complementary to the surrounding residential area.
9. That the project, as conditioned, will be consistent with Resolution No. 5220 of the Sebastopol City Council.

Tree Removal Findings:

The City's Tree Ordinance (SMC Section 8.12.060.D of the Tree Protection Ordinance) states that a Tree Removal Permit may be approved when an International Society of Arboriculture (ISA) Certified Arborist has verified at least one of the following conditions:

6. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two (2) years.
7. The tree poses a likely foreseeable threat to life or property, which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
8. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
9. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
10. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

**EXHIBIT B**  
**DRAFT CONDITIONS OF APPROVAL**  
**DESIGN REVIEW and TREE REMOVAL APPLICATION**  
**File 2021-28**  
**771 and 773 First Street**  
**Thrive Construction/Builders' Studio**

1. Approval is granted for the Design Review submittal described in the application and plans date-stamped May 19, 2021, except as modified herein:
  - a. The home size shall be reduced to be not more than \_\_\_\_\_ square feet of habitable space (not including unconditioned garage/workshop space or accessory dwelling unit structures).
  - b. The spa shall be eliminated from the project.
2. A final Tree Protection Plan shall be submitted to the Planning for the City's review and approval by the City prior to issuance of a building permit.
3. All tree removals shall be replaced within 365 days of removal, with two trees replaced for each protected tree that is removed. Tree replacement shall conform to the requirements of Resolution No. 5220.
4. All improvements shall conform to Conditions of Approval listed in the Schoch Subdivision Resolution No. 5220 (October 16, 2001).
5. A fire suppression sprinklers system is required.
6. Smoke and carbon monoxide detectors are required.
7. The new residence shall be connected to existing sewer and water lateral services installed at the time of the Minor Subdivision. All work shall be done in accord with City Standard Details and Specifications, and any modifications to existing services will require plan approval and permits from the Engineering Department.
8. Any work to be done within any street right of way or City utility easement will require a City Encroachment Permit.
9. Prior to approval of the Building Permit, the applicant shall submit a Grading Plan to the Engineering Department for Engineering Review and approval. Upon approval of the Grading Plan, the contractor shall obtain a Grading Permit.
10. All new utility services must be placed underground.
11. Storm water pollution prevention measures for erosion and sediment control will be required for any work performed between October 15th and April 15th.
12. Roof drainage from the new unit should be either piped through curb or connected to an existing onsite drainage system. No drainage may discharge across public sidewalks or across property lines.
13. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or

its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.

14. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.
15. This approval is valid for two (2) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section 17.400.100 of the Zoning Ordinance.



**City of Sebastopol**

Planning Department  
7120 Bodega Avenue  
Sebastopol, CA 95472  
(707) 823-6167

**MASTER PLANNING  
APPLICATION FORM**

**APPLICATION TYPE**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Administrative Permit Review    | <input type="checkbox"/> Lot Line Adjustment/Merger | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Alcohol Use Permit/ABC Transfer | <input type="checkbox"/> Preapplication Conference  | <input type="checkbox"/> Tree Removal Permit  |
| <input type="checkbox"/> Conditional Use Permit          | <input type="checkbox"/> Preliminary Review         | <input type="checkbox"/> Variance             |
| <input type="checkbox"/> Design Review                   | <input type="checkbox"/> Sign Permit                | <input type="checkbox"/> Other _____          |

This application includes the checklist(s) or supplement form(s) for the type of permit requested:  Yes  No

**REVIEW/HEARING BODIES**

- Staff/Admin  Design Review/Tree Board  Planning Commission  City Council  Other \_\_\_\_\_

**APPLICATION FOR**

Street Address: \_\_\_\_\_ Assessor's Parcel No(s): \_\_\_\_\_

Present Use of Property: \_\_\_\_\_ Zoning/General Plan Designation: \_\_\_\_\_

**APPLICANT INFORMATION**

Property Owner Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_ 408-732-4479 \_\_\_\_\_

City/State/ZIP: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Authorized Agent/Applicant Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_

City/State/ZIP: \_\_\_\_\_ Email: \_\_\_\_\_

Signature:  On behalf of Gregory Beale. Date: 5/13/21

Contact Name (If different from above): \_\_\_\_\_ Phone/Email: \_\_\_\_\_

**PROJECT DESCRIPTION AND PERMITS REQUESTED (ATTACH ADDITIONAL PAGES IF NECESSARY)**

**CITY USE ONLY**

Fill out upon receipt:	Action:	Action Date:
Application Date: _____	Staff/Admin: _____	Date: _____
Planning File #: _____	Planning Director: _____	Date: _____
Received By: _____	Design Review/Tree Board: _____	Date: _____
Fee(s): \$ _____	Planning Commission: _____	Date: _____
Completeness Date: _____	City Council: _____	Date: _____

## SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

SITE DATA TABLE	REQUIRED / ZONING STANDARD	EXISTING	PROPOSED
<b>Zoning</b>	N/A		
<b>Use</b>	N/A		
<b>Lot Size</b>			
<b>Square Feet of Building/Structures</b> <i>(if multiple structures include all separately)</i>			
<b>Floor Area Ratio (F.A.R)</b>	_____ FAR	_____ FAR	_____ FAR
<b>Lot Coverage</b>	_____ % of lot	_____ % of lot	_____ % of lot
	_____ sq. ft.	_____ sq. ft.	_____ sq. ft.
<b>Parking</b>			
<b>Building Height</b>			
<b>Number of Stories</b>			
<b>Building Setbacks – Primary</b>			
<i>Front</i>			
<i>Secondary Front Yard (corner lots)</i>			
<i>Side – Interior</i>			
<i>Rear</i>			
<b>Building Setbacks – Accessory</b>			
<i>Front</i>			
<i>Secondary Front Yard (corner lots)</i>			
<i>Side – Interior</i>			
<i>Rear</i>			
<b>Special Setbacks (if applicable)</b>			
<i>Other (_____)</i>			
<b>Number of Residential Units</b>	_____ Dwelling Unit(s)	_____ Dwelling Unit(s)	_____ Dwelling Unit(s)
<b>Residential Density</b>	1 unit per _____ sq. ft.	1 unit per _____ sq. ft.	1 unit per _____ sq. ft.
<b>Useable Open Space</b>	_____ sq. ft.	_____ sq. ft.	_____ sq. ft.
<b>Grading</b>	Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees.	N/A	Total: _____ cu. yds. Cut: _____ cu. yds. Fill: _____ cu. yds. Off-Haul: _____ cu. yds
<b>Impervious Surface Area</b>	N/A	_____ % of lot	_____ % of lot
		_____ sq. ft.	_____ sq. ft.
<b>Pervious Surface Area</b>	N/A	_____ % of lot	_____ % of lot
		_____ sq. ft.	_____ sq. ft.

## CONDITIONS OF APPLICATION

1. All Materials submitted in conjunction with this form shall be considered a part of this application.
2. This application will not be considered filed and processing may not be initiated until the Planning Department determines that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant of all application deficiencies no later than 30 days following application submittal.
3. The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the owner's behalf.
4. The Owner shall inform the Planning Department in writing of any changes.
5. **INDEMNIFICATION AGREEMENT:** As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

**NOTE:** The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

6. **REPRODUCTION AND CIRCULATION OF PLANS:** I hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
7. **NOTICE OF MAILING:** Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
8. **DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
9. **NOTICE OF ORDINANCE/PLAN MODIFICATIONS:** Pursuant to Government Code Section 65945(a), please indicate, by checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the following plans or ordinances if the City determines that the proposal is reasonably related to your request for a development permit:

A general plan

A specific plan

An ordinance affecting building permits or grading permits

A zoning ordinance

### Certification

*I, the undersigned owner of the subject property, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury. I hereby grant members of the Planning Commission, Design Review Board and City Staff admittance to the subject property as necessary for processing of the project application.*

**Property Owner's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

*I, the undersigned applicant, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.*

**Applicant's Signature:**  **Date:** 5/13/21  
On behalf of Gregory Beale

**NOTE:** It is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

## Neighbor Notification

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In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, residents, and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight, or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times, development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

**I have informed site neighbors of my proposed project:**       Yes                       No

If yes, or if you will inform neighbors in the future, please describe outreach efforts:

The attached letter was sent to the neighbors last August. We then sent them a Christmas card in December. The letters were sent to:  
761, 830, 835, 850, 855, 865, & 885 First Street; 810 & 814 Jewell Ave; and 7480 Hayden Ave.

We received email from Paul & Laurie Olson of 810 Jewell Ave; Jerry Threet & Seth Ubogy of 885 First Street, Delora & Robert Porter of 850 First Street; and Judy & Steve Fabian of 855 First Street.

## Website Required for Major Projects

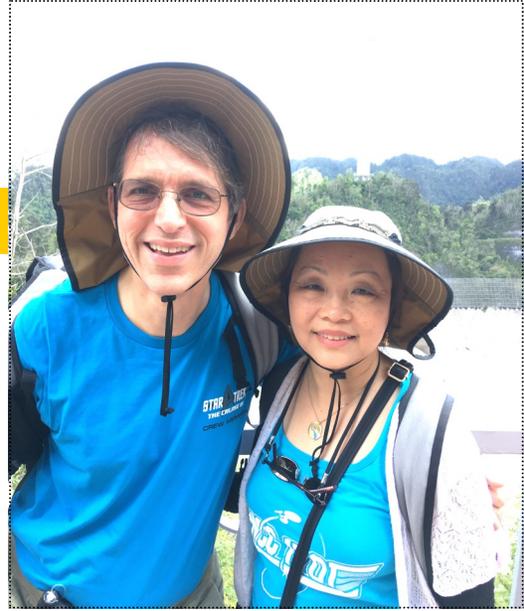
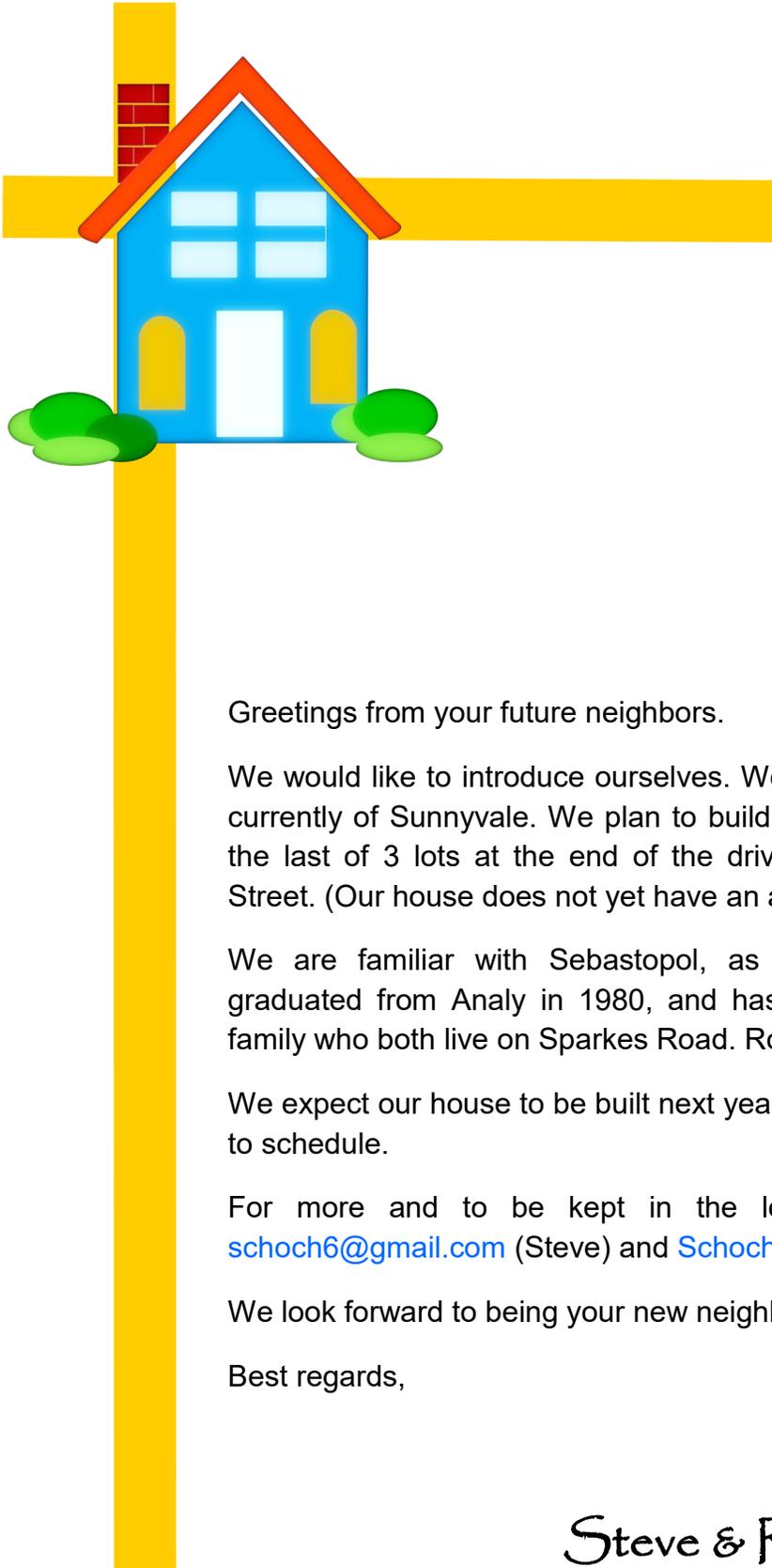
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Applicants for major development projects (which involves proposed development of **10,000 square feet of new floor area or greater, or 15 or more dwelling units/lots**), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

- ✓ Project description
- ✓ Contact information for the applicant, including address, phone number, and email address
- ✓ Map showing project location
- ✓ Photographs of project site
- ✓ Project plans and drawings



August 20, 2020

Greetings from your future neighbors.

We would like to introduce ourselves. We are Steven & Rose Schoch, currently of Sunnyvale. We plan to build a house on our lot near you, the last of 3 lots at the end of the driveway that starts at 763 First Street. (Our house does not yet have an address assigned.)

We are familiar with Sebastopol, as Steve has grown up here, graduated from Analy in 1980, and has parents, and a brother and family who both live on Sparkes Road. Rose grew up in Fremont.

We expect our house to be built next year, if everything goes according to schedule.

For more and to be kept in the loop, please send email to [schoch6@gmail.com](mailto:schoch6@gmail.com) (Steve) and [SchochEmail@yahoo.com](mailto:SchochEmail@yahoo.com) (Rose).

We look forward to being your new neighbors.

Best regards,

*Steve & Rose*



# City of Sebastopol

## DESIGN REVIEW PROJECT

### Application Checklist

The submittal information shall be provided to the Planning Department. All submittal information shall be presented along with the Planning Application form, related fees, and any additional information required by the Planning Department before the application can be accepted as complete.

Upon receipt of this information the Planning Department has 30 days in which to determine if the application is complete. The necessary level of environmental review must then be determined and completed. After this, the project can be scheduled before the Design Review Board within 3 to 6 weeks. The Design Review Board meets on the first and third Wednesday of each month at Sebastopol City Hall, City Hall Conference Room, 7120 Bodega Avenue, Sebastopol, CA at 4:00pm.

The Applicant and/or his representative must be present for any meetings. Failure to do so may result in the application being continued.

In most cases site plans for a major use permit or design review application must be prepared, stamped, and signed by a licensed architect, landscape architect, civil engineer, land surveyor, or building designer whose name, address and phone number must appear on the plan.

For small projects requirements may be waived by the Planning Department.

Size Limit: Plans shall not be larger than 30"x42" trimmed. All plans shall be collated and folded into a 9"x11" size. **Unfolded plans will not be accepted.**

Scale: the scale used on submittal plans shall generally be at 1/8" = 1'0" for architectural plans, 1" = 20' for site engineering plans. Include a north arrow, the scale and a bar scale on all plans.

#### SUBMITTAL REQUIREMENTS

			(# of copies)
X		<b>Application Form:</b> Completed and signed by applicant and property owner.	(1)
X		<b>Complete Design Review Project Checklist:</b> Complete and sign this checklist.	(1)
X		<b>Location Map:</b> Indicate the subject parcel(s) and adjacent streets on an 8 1/2" by 11" map.	(1)
X		<b>Written Statement:</b> Statement should include a description of the proposed use(s), as well as a description of current uses and conditions. If there will be multiple uses on the site, indicate the location and square footage of the different uses. Describe the project in detail, including any other entitlements/permits requested such as variances, tree removal permits, concessions/incentives, etc.	(1)

✗	<p><b>Site Photographs:</b> Clearly show the views of and from the project, including neighboring development. Include a key map indicating where the pictures were taken from and in what direction they were taken. Label the pictures accordingly. It is often desirable to provide the City with a photomontage (series of overlapping photographs) of the surrounding neighborhood and that shows a panoramic view. Digital photos on a CD, flash drive, drop box, google drive, etc. are acceptable.</p>	(1)
✗	<p><b>Preliminary Title Report:</b> A preliminary title report, prepared within three months of filing application, including a complete legal description. This item may not be required for all projects. Please check with the Planning Department.</p>	(3)
✗	<p><b>Copy of Deed(s):</b> This item may not be required for all projects. Please check with the Planning Department.</p>	(1)
✗	<p><b>Reductions:</b> One ½-size reduction of the project plans (50% scalable). For smaller projects 8.5"x11" may be suitable, please confirm with the Planning Department.</p>	(1)
✗	<p><b>Electronic Copy of plans:</b> An electronic copy may be provided as a CD, flash drive, drop box, google drive, etc.</p>	(1)
✗	<p><b>Materials and Colors Board:</b> A material and color board shall be submitted showing building colors and materials to be used.</p>	(1)
<b>PROJECT PLANS</b>		
✗	<p><b>Site Data:</b> A site data table shall be provided on the cover sheet or site plan and is required to identify the following information:</p> <ol style="list-style-type: none"> <li>1. <u>Zoning District</u></li> <li>2. <u>Use:</u> Existing and proposed uses.</li> <li>3. <u>Lot Size:</u> Lot size, if the lot size is proposed to change identify the existing and proposed.</li> <li>4. <u>Lot Coverage:</u> Existing, proposed, maximum allowed.</li> <li>5. <u>Number of units:</u> provide the existing and proposed number of residential units (if applicable).</li> <li>6. <u>Building Floor Area:</u> Existing and proposed (Total sq. ft., floor sq. ft./per floor and garage sq. ft.).</li> <li>7. <u>Floor Area Ratio (FAR):</u> For projects in industrial and commercial zones, provide existing, proposed, and maximum allowed.</li> <li>8. <u>Parking Spaces:</u> Existing, proposed, and required.</li> <li>9. <u>Height:</u> Existing, proposed, and maximum allowed.</li> <li>10. <u>Setbacks:</u> Existing, proposed, and required setbacks.</li> <li>11. <u>Landscaping:</u> Existing, proposed, and required landscaping.</li> <li>12. <u>Trees:</u> Number of trees proposed for removal and to be planted (regulated trees will require a tree removal permit).</li> <li>13. <u>Grading:</u> Proposed grading in cubic yards (Cut, Fill, Import, and Off-haul).</li> </ol>	(10)
✗	<p><b>Survey:</b> A signed, stamped and professional survey is required for any project submitted for Design Review that adds additional square footage. The survey shall be submitted</p>	(11)

	<p>as a standalone plan and incorporated into the plans. The data on the site plan (lot size, property lines, right-of-way, easements, setbacks, etc.) shall be consistent with the survey data. The survey shall show all existing trees with a diameter at breast height (DBH) of 6" or greater. Flat sites with an average slope of 5% or less, show 1-foot topographic contours. Sites with an average slope greater than 5%, show 2-foot topographic contours. All legal boundaries, property lines and easements from a current (within three months) preliminary title report shall be shown and labeled. All existing structures shall be shown.</p>	
<p>X</p>	<p><b>Site Plan:</b>  Site plans of the project shall be scaled, fully dimensioned, accurately drawn, include a north arrow, scale and a bar scale on all plans. The plans shall contain the following basic information listed below.</p> <ol style="list-style-type: none"> <li>1. <u>Legal Boundaries:</u> Identify all boundary lines, easements (identify size and type), rights-of-way, trails, paths, utility poles, etc.</li> <li>2. <u>Setbacks:</u> Identify all required setbacks on the plans.</li> <li>3. <u>Topography:</u> Identify the topography of the land with 1-foot contour lines for land with a slope of 5% or less, and 2-foot contours for land over 5%. This contour interval may be increased for land with over 20% slope. Show faults, flood zones, and slide areas.</li> <li>4. <u>Buildings/Structures:</u> Identify all existing and proposed buildings and structures. This should include all retaining walls, bicycle racks, trash enclosures, storage sheds and other accessory structures. Include the outside dimensions, height (ground to top of roof), location and use.</li> <li>5. <u>Streets, Driveways and Parking:</u> Identify existing and proposed streets (public and private), driveways, parking lots, off-street parking spaces and loading areas. This should include proposed circulation of vehicles, goods, pedestrians and bicycles. Dimension all parking spaces, drive aisles, roads, driveways, and maneuvering areas. Turning diagrams may be required by staff if there are sight distance limitations, topography or other unsafe circumstances.</li> <li>6. <u>Right-of-Way:</u> Identify all adjacent streets (name of street), off-site parking on both sides of the street, adjacent driveways, and offsite improvements (curbs, gutters, sidewalks, street trees, etc.).</li> <li>7. <u>Tree protection:</u> The site plan shall identify all trees by species and trunk diameter that have development or construction activities proposed within driplines. The plans shall clearly identify trees proposed to be removed with an "X". A separate Tree Protection Plan shall also be submitted that is prepared by a registered arborist. The requirements for this Plan are shown in a separate checklist that can be obtained at the Planning Department.</li> <li>8. <u>Creeks:</u> Identify "top of bank" and required 30-foot setback, if applicable.</li> <li>9. <u>Phasing:</u> Potential phasing limits of project should be indicated and a statement provided that sets forth the manner and phasing of the installation and maintenance of parking, lighting, landscaping, private grounds, streets, utilities and open space.</li> <li>10. <u>Utilities:</u> Identify existing and proposed utilities (gas, electric, water, sewer, underground conduit location, etc.) and connection locations.</li> </ol>	<p>(10)</p>

✕	<p><b>Demolition Plan:</b>  The demolition plan may be combined onto the Survey or Site Plan and shall include the following:</p> <ol style="list-style-type: none"> <li>1. Clearly identify structures, site features, and trees intended for demolition/removal.</li> <li>2. Indicate all surfaces to be removed (foundations, floors, interior walls, exterior walls, roof, siding, windows, etc.).</li> </ol> <p>The City may require a report by a structural engineer.</p>	(10)
✕	<p><b>Building Elevations:</b>  For projects involving exterior building changes, the following minimum information required:</p> <ol style="list-style-type: none"> <li>1. Existing and proposed elevations for all sides of the structure(s), to scale and dimensioned.</li> <li>2. Existing and proposed elevations for each side of the structure should be plotted on the same sheet (e.g., east proposed elevation on the same sheet as the east existing elevation).</li> <li>3. Show the location, height, size and type of exterior lights. Catalog cuts for each type of lighting must be submitted.</li> </ol>	(10)
✕	<p><b>Streetscape Elevations:</b>  A “Streetscape Elevation” showing the proposed project frontage in context with existing structures on adjoining properties on both sides of the proposed project site, including street trees. A streetscape elevation is required for a property which has one or more structures on either side within 50’ of the property lines. Corner properties and properties with multiple frontages will require a street elevation for each frontage.</p>	(10)
✕	<p><b>Renderings:</b>  On commercial and large residential projects, the City will require 3-D (color) renderings of the project to be incorporated into the plans. A streetscape rendering is required to be one of the projects renderings.</p>	(10)
✕	<p><b>Floor Plans:</b></p> <ol style="list-style-type: none"> <li>1. Existing and proposed floor plans showing floor levels, areas, walls, windows, doors, equipment (stove, water heater, furnace, etc.), rooms, and uses.</li> <li>2. Location, dimensions and square footage of project area.</li> <li>3. Additions shall identify the project area with outlines or shading.</li> </ol>	(10)
✕	<p><b>Sections:</b></p> <ol style="list-style-type: none"> <li>1. Site and Building Sections showing existing grades and new proposed grades. For remodel projects, show lightly dashed lines of existing improvements. A minimum of one section in each direction is required, additional sections may be required by Planning Staff.</li> <li>2. <u>Building sections</u> shall show roof and finished floor elevations, total height measure from natural grade, site slope, basements, crawl space, storage, underground garage, penthouse, natural grade, etc.</li> <li>3. <u>Site sections</u> are required in each direction, with the number and location of section cuts to be confirmed by staff. The site sections shall show adjacent properties in order to indicate any grade differential to show</li> </ol>	(10)

		<p>fence height, retaining walls, ground slope, approximate neighboring structures and trees.</p> <p>4. The section locations shall be referenced on the site, floor, and elevation plans.</p>	
✗		<p><b>Roof Plan:</b> The existing and proposed roof plan shall show the following:</p> <ol style="list-style-type: none"> <li>1. Property lines</li> <li>2. Outline of building footprint</li> <li>3. Direction of drainage</li> <li>4. Location of drainage collectors</li> <li>5. Rooftop structures (e.g., vents, equipment, screening, access)</li> <li>6. Material</li> <li>7. Ridge</li> <li>8. Various roof levels (heights/elevations)</li> <li>9. Slope</li> </ol>	(10)
✗		<p><b>Grading/Drainage Plan:</b> A preliminary grading/drainage plan shall clearly show existing and proposed contours carried a minimum of 50' beyond the project boundaries. Show direction and path of existing and proposed drainage channels or facilities. Indicate building pad, finished elevations, and retaining walls (with height and materials specified). Grading with retaining walls greater than 2' shall provide a cross section of 50' from retaining wall limits. Appropriate cross sections shall be shown to indicate slopes.</p>	(10)
✗		<p><b>Preliminary Landscape Plan:</b> A preliminary landscape plan shall be submitted showing major landscape structures such as fences, walls, walks, pools, and trellises with dimensions, paving material designations, and a proposed planting plan. Approval of a preliminary landscaping plan will be subject to submittal of a final landscaping and automatic irrigation plan to be checked by the Design Review Board for conformance prior to issuance of a building permit.</p> <p>The preliminary landscape plan shall indicate the general plant pallet that is proposed including a description of the type of plants, their rate of growth, size in 3-5 years, mature size, and container size at time of planting. Include both common and botanical names. Show the location of paths, fences and street furniture. The plan must adhere to the City's Water Reduction in Landscaping Ordinance.</p>	(10)
✗		<p><b>Sign Plans:</b> If signs are needed, a Sign Plan will be required for review by the Design Review Board or staff, as appropriate. This can be submitted with the application or later if the project is subject to design review. See Sign Plan application checklist available at the Planning Department.</p>	(10)
<b>REPORTS AND STUDIES</b>			
✗		<p><b>Arborist Report:</b> An Arborist Report is required for trees with a DBH of more than 10" are slated to be removed on a commercial, industrial, or multi-family property. On a single-family residential property, a report will be required for the proposed removal of four or more trees with a DBH of 20". The Arborist Report should include:</p>	(2 physical & 1 digital)

	<ol style="list-style-type: none"> <li>1. Type of tree, location, size, health and recommendations for alternatives to removal.</li> <li>2. Map of site with the location of all trees of interest outlined in the report. Each tree should be numbered in the report and correspond to the trees shown graphically on the map. Photos of affected trees shall be included in the report.</li> <li>3. Tree protection measures recommended before, during and after construction.</li> <li>4. Each tree mentioned in the Arborist Report within the project area shall be clearly marked with tape on the site 10 days prior to the hearing. <ul style="list-style-type: none"> <li>• Red Tape = Tree Proposed to be removed</li> <li>• Yellow Tape = Tree within the project area that will be preserved using the tree protection measures.</li> </ul> </li> </ol>	
<input type="checkbox"/>	<b>Photometric Study/Plan</b> A Photometric Study may be required for new or proposed lighting at commercial/industrial parking lots, sports courts, gas stations or other uses which may require significant lighting levels.	(1 physical & 1 digital)
<input type="checkbox"/>	<b>Other Reports or Studies may be required to comply with the California Environmental Quality Act (CEQA) or other City Policies and Regulations.</b> Any reports or studies submitted by the applicant may require peer review by a City-retained expert at the applicant's expense. As an alternative the applicant may request that the City have the report prepared in order to avoid the additional cost and time of a peer review. A report done under the auspices of the City will also be at the applicant's expense. These reports may include: <ul style="list-style-type: none"> <li><input type="checkbox"/> Historical Analysis</li> <li><input type="checkbox"/> Soils/Geotechnical</li> <li><input type="checkbox"/> Structural</li> <li><input type="checkbox"/> Biological</li> <li><input type="checkbox"/> Archaeological</li> <li><input type="checkbox"/> Parking Study</li> <li><input type="checkbox"/> Traffic</li> <li><input type="checkbox"/> Noise</li> <li><input type="checkbox"/> Solar/shadow</li> <li><input type="checkbox"/> Visual Impact Analysis</li> <li><input type="checkbox"/> Hydrological</li> <li><input type="checkbox"/> Shadow Diagram</li> </ul>	(1 physical & 1 digital)

**If there are any questions regarding the submittal requirements, please contact the planning Department at (707)823-6167**

Certification of Application Submittal	
<i>I, the undersigned applicant, have read this application for a development permit and certify that the information, drawings and specifications checked above and submitted herewith are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.</i>	
	on behalf of Gregory Beale
Applicant's Signature	Date <u>5/13/21</u>

Staff Use only:                      Received By: \_\_\_\_\_                      Submittal Date: \_\_\_\_\_



**Builders' Studio**  
OF SEBASTOPOL

555 S. Main Street  
Sebastopol, CA 95472

**NEW  
RESIDENCE  
& ADU**

**Schoch**  
763 First Street  
Sebastopol, CA  
95472

PROJECT NO: 20289

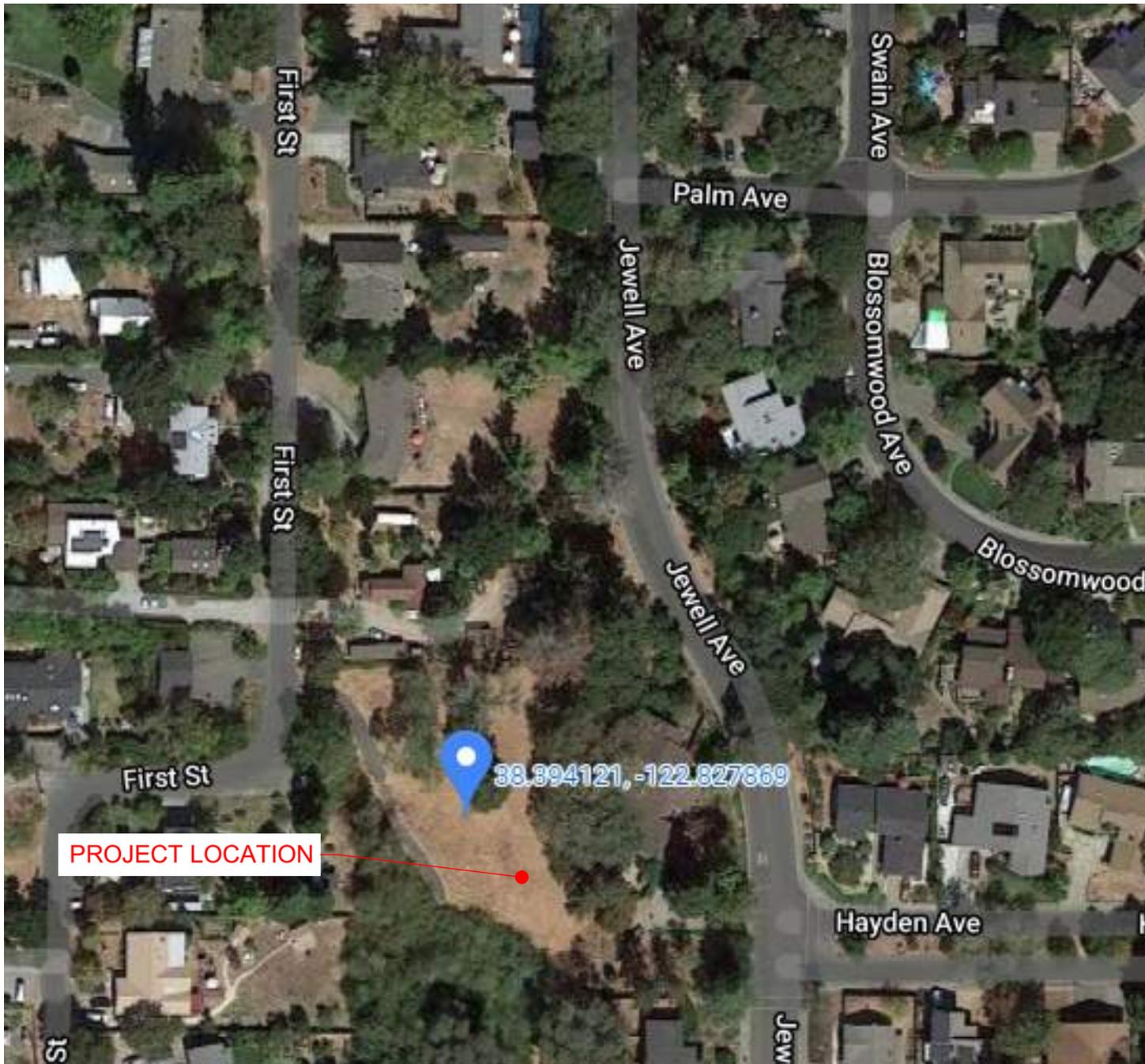
DATE: 5/4/2021

ARCHITECT: M. Standley

DRAFTING: R. Connelly

**LOCATION  
MAP**

**DR**





# Builders' Studio

OF SEBASTOPOL

Date:

Schoch – New Residence and ADU  
7?? First Street  
Sebastopol, CA 95472

Re: Written Statement – Design Review

New Residence and ADU on an existing R-3 zoned lot of .99 acres (43,181 SF).

1. Locate and construct a new two-story home that is 5,132 SF not including garage/storage.
2. Locate and construct a new one-story ADU that is 801 SF not including garage/storage.
3. Grading, landscaping, utilities for new residence and ADU.
4. Tree removal of one existing dying oak tree per arborist report.

## **PRELIMINARY REPORT**

**Sonoma Title Guaranty Company**  
**POLICY ISSUING AGENT FOR**  
**Security Union Title Insurance Company**

**137 South Main Street**  
**Sebastopol, CA 95472**

**Phone: (707) 823-5326**  
**Fax: (707) 823-4618**

**OUR ESCROW NO.: 02400070-004-MT**

**SELLING AGENT:**

**LISTING AGENT:**

**BUYER:**

**SELLER: STEVEN SCHOCH and THOMAS SCHOCH and LISA SCHOCH and  
DAVID SCHOCH**

**PROPERTY ADDRESS: 763 FIRST STREET  
SEBASTOPOL, CA 95472**

## PRELIMINARY REPORT

Sonoma Title Guaranty Company  
POLICY ISSUING AGENT FOR  
Security Union Title Insurance Company

137 South Main Street  
Sebastopol, CA 95472

Phone: (707) 823-5326  
Fax: (707) 823-4618

TO:  
Attn.:

ESCROW NO.: 02400070-004-MT  
YOUR NO.:  
ESCROW OFFICER: Mickey Tornay

Dated as of March 29, 2002, at 7:30 a.m.

In response to the above referenced application for a Policy of Title Insurance, Sonoma Title Guaranty Company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Security Union Title Insurance Company Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception in Schedule B or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said policy forms. The printed Exceptions and Exclusions from the coverage of said Policy or Policies are set forth in the attached list. Copies of the Policy forms should be read. They are available from the office which issued this report.

**PLEASE READ THE EXCEPTIONS SHOWN OR REFERRED TO HEREIN AND THE EXCEPTIONS AND EXCLUSIONS SET FORTH IN THE ATTACHED LIST OF THIS REPORT CAREFULLY. THE EXCEPTIONS AND EXCLUSIONS ARE MEANT TO PROVIDE YOU WITH NOTICE OF MATTERS WHICH ARE NOT COVERED UNDER THE TERMS OF THE TITLE INSURANCE POLICY AND SHOULD BE CAREFULLY CONSIDERED. IT IS IMPORTANT TO NOTE THAT THIS PRELIMINARY REPORT IS NOT A WRITTEN REPRESENTATION AS TO THE CONDITION OF TITLE AND MAY NOT LIST ALL LIENS, DEFECTS, AND ENCUMBRANCES AFFECTING TITLE TO THE LAND.**

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

The form of policy of title insurance contemplated by this report is:

Michael E. Galletti/dn , TITLE OFFICER

## SCHEDULE A

The estate or interest in the land hereinafter described or referred to covered by this Report is:

### A FEE

Title to said estate or interest at the date hereof is vested in:

**STEVEN K. SCHOCH, A MARRIED MAN, AS HIS SEPARATE PROPERTY, AS TO AN UNDIVIDED 25% INTEREST; THOMAS K. SCHOCH, A SINGLE MAN, AS TO AN UNDIVIDED 25% INTEREST; LISA M. SCHOCH, A SINGLE WOMAN, AS TO AN UNDIVIDED 25% INTEREST; DAVID P. SCHOCH, A MARRIED MAN, AS HIS SEPARATE PROPERTY, AS TO AN UNDIVIDED 25% INTEREST**

The land referred to herein is situated in the State of California, County of Sonoma, City of Sebastopol, and is described as follows:

**Being a portion of Lots 5 and 6 as shown upon the Map of The Lincoln Addition to the Town of Sebastopol, filed September 12, 1904 in the Office of the County Recorder of Sonoma County in Book 17 of Maps, page 2, Sonoma County Records, said portion being more particularly described as follows:**

**Beginning at a point on the Eastern line of said Lot 5, distant on said Eastern line, South 1° 03' 1/2' East, 110.30 feet from the Northeastern corner of said Lot 5; thence North 89° 50' West, a distance of 63.26 feet; thence South 85° 46' West, a distance of 149 feet to the Western line of said Lot 5; thence South along the Western line of said Lot 5, a distance of 75.90 feet to the Southwestern corner of said Lot 5; thence South 89° 30' East along the Southern line of said Lot 5, a distance of 43 feet; thence South 0° 22' West, a distance of 368.37 feet to the Southern line of said Lot 6; thence North 83° 06' East along the Southern line of said Lot 6, a distance of 179.50 feet, more or less, to the Southeastern corner of said Lot 6; and, thence North 1° 03' 1/2" West along the Eastern lines of said Lots 6 and 5, a distance of 433.85 feet, more or less, to the point of beginning.**

**SCHEDULE B**

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in the policy form designated on the face page of this Report would be as follows.

1. **Property Taxes (including special taxes, personal property taxes and/or assessment collected with taxes) for fiscal year 2002-2003, now a lien but not yet due or payable.**
2. **Property Taxes (including special taxes, personal property taxes and/or assessments collected with taxes) for fiscal year 2001-2002, as follows:**

<b>First Installment:</b>	<b>\$930.17, Paid</b>
<b>Second Installment:</b>	<b>\$930.17, Due and Payable</b>
<b>A. P. Number:</b>	<b>004-172-007</b>
<b>Code Area:</b>	<b>5-001</b>
<b>Full Value:</b>	
<b>Land:</b>	<b>\$156,060.00</b>
<b>Improvements:</b>	<b>\$None</b>
<b>Exemption:</b>	<b>\$None</b>
<b>Personal Property:</b>	<b>\$None</b>
<b>Flat Charge:</b>	<b>\$2.50 (ZN 1A,LAGUNA MARK WST)</b>
<b>Flat Charge:</b>	<b>\$6.00 (MARIN-SON. MOSQ &amp; VCD)</b>
<b>Flat Charge:</b>	<b>\$60.00 (PALM DRIVE HELTH CARE)</b>
<b>Flat Charge:</b>	<b>\$11.66 (SEBASTOPOL LGT MAINT.)</b>
<b>Assessed:</b>	<b>SEPARATELY</b>

3. **The herein described property lies within the boundaries of the Sebastopol Lighting Maintenance Special Assessment District and is subject to all taxes, assessments and obligations thereof.**
4. **The lien of supplemental taxes, if any, assessed as a result of transfer of interest and/or new construction, said supplemental taxes being assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.**
5. **Covenants, Conditions and Restrictions, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN unless and only to the extent said Covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) relates to handicapped persons, as set forth in the document:**

**Recorded: January 5, 1906 in Book 225 of Deeds, page 168, Sonoma County Records**

**NOTE: Section 12956.1 of the Government Code provides the following: If this document contains any restriction based on race, color, religion, sex, familial status, marital status, disability, national origin, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.1 of the Government Code. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.**

**Said document contains no express words of reversion or of re-entry in the event of violation thereof.**

**SCHEDULE B (Continued)**

**6. A Deed of Trust to secure an indebtedness in the original amount shown below:**

**Amount:** \$160,000.00  
**Trustor:** Steven K. Schoch, a married man as his sole and separate property, as to an undivided 25% interest; Thomas K. Schoch, a single man as to an undivided 25% interest; Lisa M. Schoch, a single woman as to an undivided 25% interest; David P. Schoch, a married man as his sole and separate property, as to an undivided 25% interest  
**Trustee:** New Century Title Company, a California Corporation  
**Beneficiary:** Paul L. Schoch and Patty J. Schoch, Trustees of the Schoch Family Trust dated Jan. 30, 1991  
**Dated:** November 22, 2001  
**Recorded:** December 5, 2001 as Document No. 2001-166875 of Official Records of Sonoma County  
**Returned to:** Steven K. Schoch, 974 Bluebonnet Drive, Sunnyvale, CA 94086

**\*\*\* END OF SCHEDULE B \*\*\***

NOTE NO. 1: EFFECTIVE JULY 1, 1994 ALL DOCUMENTS TO BE RECORDED IN CALIFORNIA MUST CONFORM TO THE FOLLOWING:

- (A) A PAGE FOR THE PURPOSE OF RECORDING SHALL BE ONE PRINTED SIDE OF A SINGLE PIECE OF PAPER WHICH IS 8 ½ INCHES BY 11 INCHES.
- (B) A SHEET SHALL BE ONE PRINTED SIDE OF A SINGLE PIECE OF PAPER WHICH IS NOT EXACTLY 8 ½ INCHES BY 11 INCHES BUT NOT GREATER THAN 8 ½ INCHES BY 14 INCHES.
- (C) IF A PAGE OR SHEET DOES NOT CONFORM TO THE DIMENSIONS OF 8 ½ INCHES BY 11 INCHES THE RECORDER SHALL CHARGE \$3.00 EXTRA PER PAGE OR SHEET OF THE DOCUMENT.

THESE CHANGES ARE PURSUANT TO THE GOVERNMENT CODE SECTIONS 27201, 27361 AND 27361.5 WHICH WERE ENACTED IN THE 1992 LEGISLATIVE SESSION TO BE EFFECTIVE JULY 1, 1994.

NOTE NO. 2: If a 1970 ALTA Lender's or 1975 ALTA Leasehold Lender's policy form has been requested, the policy, when approved for issuance, will be endorsed to add the following to the Exclusions From Coverage contained therein:

Loan Policy Exclusion:

Any claim, which arises out of the transaction creating the interest of the mortgagee insured by this policy, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that is based on:

- (i) the transaction creating the interest of the insured mortgagee being deemed a fraudulent conveyance or fraudulent transfer; or
- (ii) the subordination of the interest of the insured mortgagee as a result of the application of the doctrine of equitable subordination; or
- (iii) the transaction creating the interest of the insured mortgagee being deemed a preferential transfer except where the preferential transfer results from the failure:
  - (a) to timely record the instrument of transfer; or
  - (b) of such recordation to impart notice to a purchaser for value or a judgment or lien creditor.

NOTE NO. 3: The Buyers are hereby notified that a transfer of this property may be subject to the withholding provisions of California Revenue and Taxation Code Sections 18805 and 26131 regarding the sale of California property by non-resident sellers.

NOTE NO. 4: If this order is cancelled the charge for the cancellation will be that amount which in the opinion of the Company is proper compensation for its services, but in no event shall the charge be less than the minimum amount required under Section 12404.1 of the State of California Insurance Code.

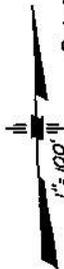
NOTE NO. 5: If this Company is requested to disburse funds in connection with this transaction, Chapter 598, Statutes of 1989 mandates hold periods for checks deposited to escrow or sub-escrow accounts. The mandatory hold period for cashier's checks, certified checks and teller's checks is one business day after the day deposited. Other checks require a hold period from three to seven business days after the day deposited.

**Sonoma Title Guaranty Company** will not be responsible for accruals of interest or other charges resulting from compliance with the disbursement restrictions imposed by State Law. (Wire transfer information available upon request).

TAX CODE AREA  
5-001

# COUNTY ASSESSOR'S PARCEL MAP

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA DELINEATED HEREON.



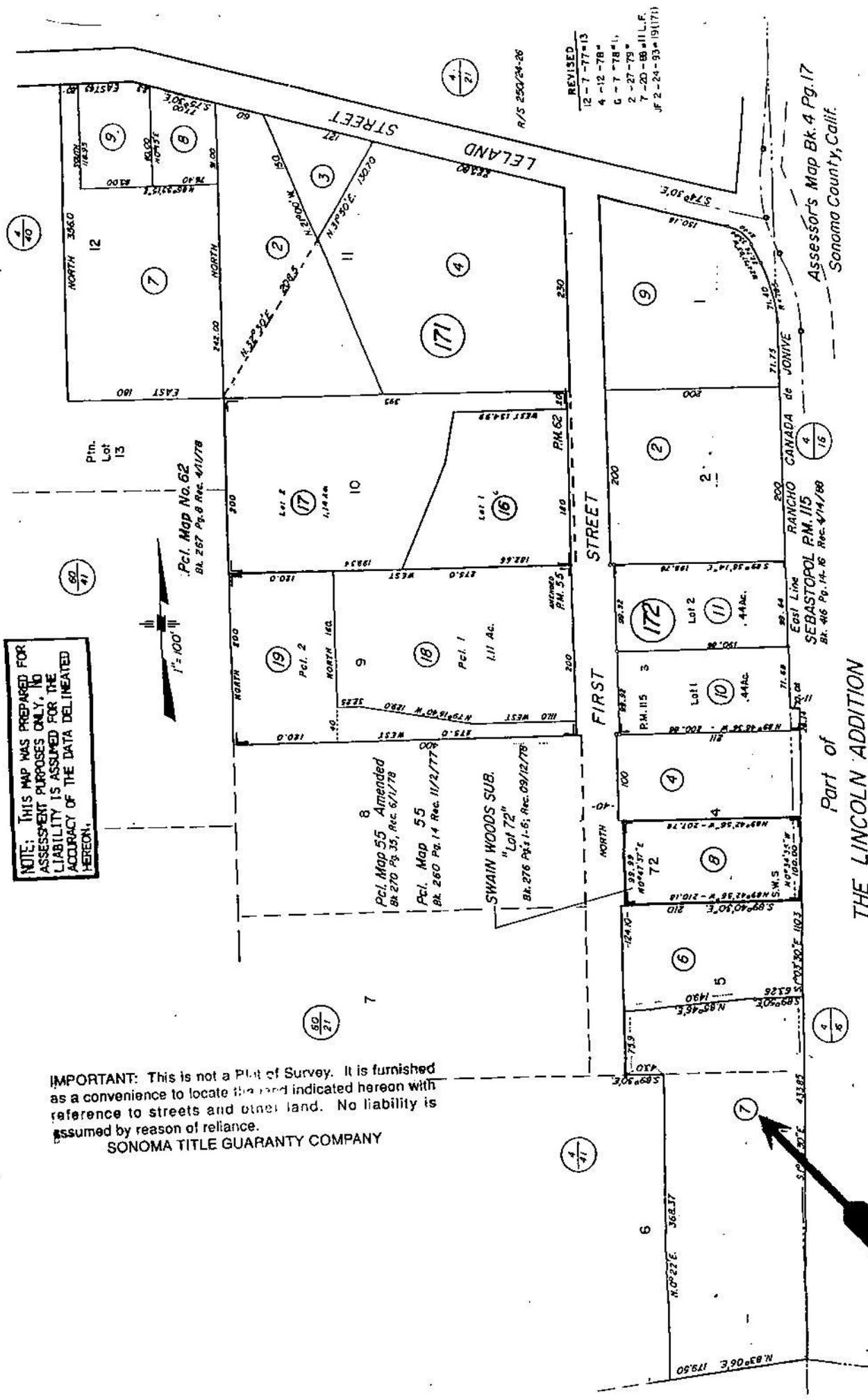
Pct. Map No. 62  
Bl. 267 Pg. 8 Rec. 4/11/78

Pct. Map 55 Amended  
Bl. 270 Pg. 35, Rec. 6/11/78

Pct. Map 55  
Bl. 260 Pg. 14 Rec. 11/2/77

SWAIN WOODS SUB.  
"Lot 72"  
Bl. 276 Pg. 1-6, Rec. 09/12/78

IMPORTANT: This is not a Plat of Survey. It is furnished as a convenience to locate the land indicated hereon with reference to streets and other land. No liability is assumed by reason of reliance.  
SONOMA TITLE GUARANTY COMPANY



- REVISED
- 12-7-77=15
  - 4-12-78=
  - 6-7-78=11
  - 2-27-79=
  - 7-20-88 all L.F.
  - 1F 2-24-93=19(171)

Assessor's Map Bk. 4 Pg. 17  
Sonoma County, Calif.

Part of  
THE LINCOLN ADDITION

East Line RANCHO CANADA de JONIVE  
SEBASTOPOL RM. 115  
Bl. 465 Pg. 14-16 Rec. 4/14/88

Pct. Map No. 62  
Bl. 267 Pg. 8 Rec. 4/11/78

Pct. Map 55  
Bl. 260 Pg. 14 Rec. 11/2/77

SWAIN WOODS SUB.  
"Lot 72"  
Bl. 276 Pg. 1-6, Rec. 09/12/78

Pct. Map 55 Amended  
Bl. 270 Pg. 35, Rec. 6/11/78

# LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS

## CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY

### EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy covering any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value.
3. Defects, liens, encumbrances, adverse claims or other matters:
  - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured.
  - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
  - (c) resulting in no loss or damage to the insured claimant;
  - (d) attaching or created subsequent to Date of Policy; or
  - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the insured any subsequent owner of the indebtedness, to comply with applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidence mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction created of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

### EXCEPTIONS FROM COVERAGE — SCHEDULE B, PART I

- This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:
1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property by the public records.  
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records agency or by the public records.
  2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which be asserted by persons in possession thereof.
  3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
  4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which not shown by the public records.
  5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.



# Builders' Studio

OF SEBASTOPOL

Date: 5/11/21

Schoch – New Residence and ADU  
7?? First Street  
Sebastopol, CA 95472

Re: Site Data - Design Review

1. Zoning District: R-3
2. Use: Existing – Empty undeveloped lot; Proposed – Residential Home and ADU
3. Lot Size: .99 Acres or 43,181 square-feet
4. Lot Coverage: 5.6% or 6,542 square-feet
5. Number of units: 2, one single-family dwelling and one detached ADU
6. Building Floor Area: Existing – 0% & 0 square-feet; Proposed: 6,613 square-feet total (main residence) - 2,990 SF (main floor), 3,623 SF (lower floor including 611 SF unconditioned space and 1,481 SF garage/shop/storage); 1,107 square-feet total (ADU + Garage) - 801 SF conditioned space and 306 SF garage
7. Floor Area Ratio: N/A – Residential Project
8. Parking Spaces: 3 covered main residence, 1 covered ADU
9. Height: 27'-8 ½" main residence, 16'-1" ADU – closest height from grade to ridge for both main residence and ADU.
10. Setbacks: R-3; 30' Front, 20' Secondary Front Yard, 10' Side, 20' min./30' max. Rear; ADU – 30' Front, 20' Second Front Yard, 3' Side, 20' min./30' max. Rear. See attached subdivision map for actual limits for this lot.
11. Landscaping: See attached, performance based approached used.
12. Trees: See attached, removal of one existing dying oak tree.
13. Grading: Cut - 660 yds                      Fill – 300 yds  
                  Import – 0 yds                      Off-Haul – 360 yds

Recorded at the request of:

Paul L. Schoch

Return and Mail to:

Paul L. Schoch

335 Sparkes Rd.

Sebastopol, CA 95472

Escrow No. \_\_\_\_\_

FINANCIAL TITLE  
MEMORANDUM  
RECORDING

2003040188

RECORDED  
SONOMA COUNTY



### SUBSTITUTION OF TRUSTEE AND DEED OF FULL RECONVEYANCE

The undersigned Paul L. Schoch and Patty J. Schoch Trustees of the Schoch Family Trust Beneficiaries, in and under the provisions of that certain Deed of Trust executed by Steven K. Schoch Thomas K. Schoch, Lisa M. Schoch, and David P. Schoch Trustees, to New Century Title Company as Trustee, dated November 22, 19 2001, and recorded December 5, 19 2001 as Instrument No. 2001-166875, in Book/Reel NA, Page/Image NA, of Official Records in the office of the Recorder of Sonoma County, State of California, do(es) in accordance with the provisions of said Deed of Trust, hereby give notice of the Substitution and Appointment of Paul L. Schoch and Patty J. Schoch, Trustees of the Schoch Family Trust

in place and instead of New Century Title Company, the Trustee above named, and do(es) hereby vest in said substituted Trustee, all the rights, title, estate, power, duty and trusts conferred by said Deed of Trust upon the Trustee therein named.

And whereas the holder of the obligation thereunder has requested said substituted Trustee to reconvey the estate granted to Trustee under said Deed of Trust,

NOW THEREFORE Paul L. Schoch and Patty J. Schoch, Trustees of the Schoch Family Trust as substituted Trustee, do(es) hereby GRANT AND RECONVEY unto the parties entitled thereto without warranty, all the estate and interest derived to the said Trustee under said Deed of Trust in the lands therein described, situated in the City of Sebastopol, County of Sonoma, State of California.

Reference being hereby made specifically to said Deed of Trust and the record thereof for a particular description of said lands.

Dated January 02, 19 2003  
Paul L. Schoch Trustee  
Patty J. Schoch Trustee

STATE OF CALIFORNIA }  
COUNTY OF Sonoma } ss.

On January 2, 2003 before me, the undersigned, a Notary Public in and for said County and State, personally appeared Paul L. Schoch, Patty J. Schoch



personally known to me (or proved to be on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledge to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Notary's Signature Chris D. Pellascini

(SPACE FOR NOTARY SEAL)

RECORDING REQUESTED BY:

Paul L. Schoch

AND WHEN RECORDED MAIL TO:

Steven K. Schoch  
974 Bluebonnet Drive  
Sunnyvale, CA 94086



2007000515

OFFICIAL RECORDS OF  
SONOMA COUNTY  
EVEE T. LEWIS

GENERAL PUBLIC  
01/03/2007 09:12 DEED  
RECORDING FEE: 7.00  
PAID

1 PG



SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

A.P.N.: 004-172-017

Order No.: NA

Escrow No.: NA

**GRANT DEED**      *GIFT*

THE UNDERSIGNED GRANTOR(S) DECLARE(S) THAT DOCUMENTARY TRANSFER TAX IS \$  
CITY TRANSFER TAX IS \$

- computed on full value of property conveyed, or
- computed on full value less value of liens or encumbrances remaining at time of sale.
- unincorporated area                       city of Sebastopol                      AND County of Sonoma

FOR A VALUABLE CONSIDERATION receipt of which is hereby acknowledged, Paul L. Schoch and Patty J. Schoch, Trustees of the Schoch Family Trust dated January 30, 1991 as to an undivided 75% interest. hereby GRANT(S) to

Steven K. Schoch, a married man as his sole and separate property. the following described real property in the County of Sonoma, State of California:

Lot #3 as delineated on City of Sebastopol Parcel Map No. 140, Recorded in Book 647 of Maps at Page 31-33, Sonoma County Records.

*Paul L. Schoch* Trustee  
Paul L. Schoch, Trustee

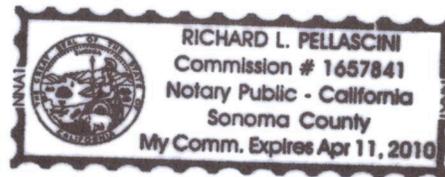
*Patty J. Schoch* Trustee  
Patty J. Schoch, Trustee

Document Date:

STATE OF CALIFORNIA                      )SS  
COUNTY OF *Sonoma*                      )

On *December 1, 06* before me, *RICHARD L. PELLASCINI a Notary Public*  
personally appeared *Paul L. Schoch & Patty J. Schoch*  
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person acted, executed the instrument.  
WITNESS my hand and official seal.

Signature *Richard Pellascini*



MAIL TAX STATEMENTS TO: SAME AS ABOVE or Address Noted Below

Name

Street Address

City & State







**Builders Studio**  
OF SEBASTOPOL  
369 SO. MAIN STREET  
SEBASTOPOL, CALIFORNIA 95472  
OFFICE: (707) 837-3388 FAX: (707) 837-3253  
WWW.BUILDERSSTUDIOINC.COM  
CSL: 878243

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Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.

**SCHOCH RESIDENCE**  
New Residence and ADU  
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

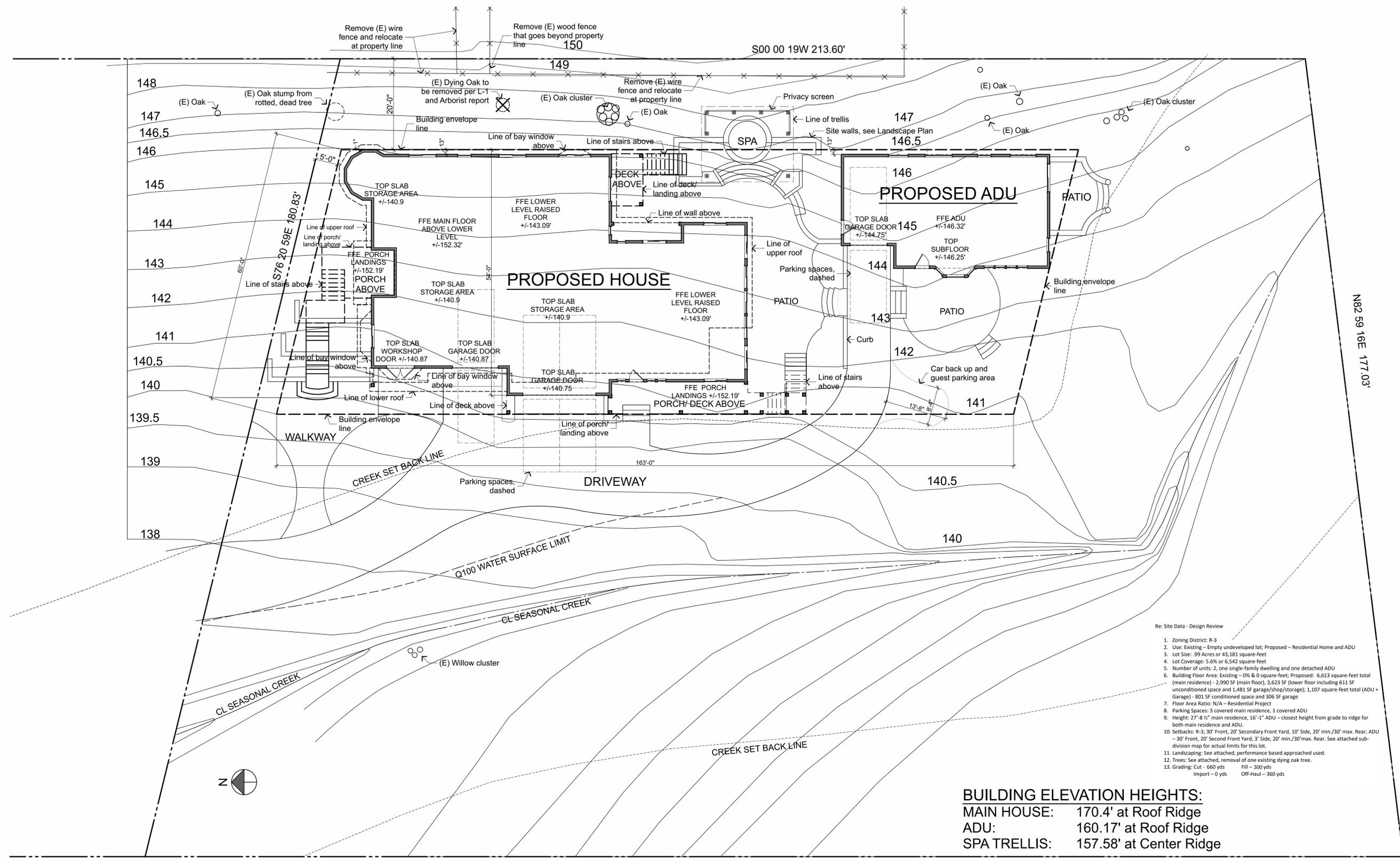


DATE: 5-13-21

Sheet

**A-3**

Scale



- Re: Site Data - Design Review
1. Zoning District: R-3
  2. Use: Existing - Empty undeveloped lot; Proposed - Residential Home and ADU
  3. Lot Size: .99 Acres or 43,181 square-feet
  4. Lot Coverage: 5.5% or 6,542 square-feet
  5. Number of units: 2, one single-family dwelling and one detached ADU
  6. Building Floor Area: Existing - 0% & 0 square-feet; Proposed: 6,613 square-feet total (main residence) - 2,990 SF (main floor), 3,623 SF (lower floor including 611 SF unconditioned space and 1,481 SF garage/shop/storage); 1,107 square-feet total (ADU + Garage) - 801 SF - conditioned space and 306 SF garage
  7. Floor Area Ratio: N/A - Residential Project
  8. Parking Spaces: 3 covered main residence, 1 covered ADU
  9. Height: 27'-8 1/2" main residence, 16'-1" ADU - closest height from grade to ridge for both main residence and ADU.
  10. Setbacks: R-3: 30' Front, 20' Secondary Front Yard, 10' Side, 20' min./30' max. Rear; ADU - 30' Front, 20' Second Front Yard, 3' Side, 20' min./30' max. Rear. See attached subdivision map for actual limits for this lot.
  11. Landscaping: See attached, performance based approach used.
  12. Trees: See attached, removal of one existing dying oak tree.
  13. Grading: Cut - 660 yds Fill - 300 yds  
Import - 0 yds Off-Haul - 360 yds

**BUILDING ELEVATION HEIGHTS:**  
MAIN HOUSE: 170.4' at Roof Ridge  
ADU: 160.17' at Roof Ridge  
SPA TRELLIS: 157.58' at Center Ridge

N00 00 00W 277.89' (369.99')

NOTE: No structures on site. No structure demolition needed. Only item to be removed is one dying oak, as noted on Site Plan and L-1 and Arborist report.

NOTE: See Civil Plans for all utilities and drainage  
NOTE: See L-1 Landscape Layout Plan for all paving surfaces, heights of site/landscape features & all trees of note

**SITE PLAN**

1"=10'-0"







**Builders Studio**  
OF SEBASTOPOL  
369 SO. MAIN STREET  
SEBASTOPOL, CALIFORNIA 95472  
OFFICE: (707) 837-3388 FAX: (707) 837-3253  
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Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

CHECKED

DRAWN

DESIGNED

DESCRIPTION

DATE

REV.

WINDOW SYMBOL	ROOM NAME	SIZE	CN	MFR	MATERIAL	OPERATION	GLASS	TEMPERED	WALL	HEAD HEIGHT	REMARKS
A	DINING & KITCHEN	2660	ELDH3072	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	8'-4" ABV SUBFLOOR	NORTH & WEST ELEVATION
B	DINING ROOM	4060	ELDHP4872	MARVIN 'ELEVATE'	FIBERGLASS	PICTURE	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION
C	KITCHEN	5048	ELDH3048 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION, MULLED ASSEMBLY
D	KITCHEN	2860	ELDH3272	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION
E	POWDER	2630	ELDH3036	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	TEXTURED DUAL PANE	EXTERIOR PANES	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION
F	OFFICE	5048	ELDH3048 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-6" ABV SUBFLOOR	WEST & SOUTH ELEVATION, MULLED ASSEMBLY
G	BEDROOM 1 - MASTER	49537	CN22-36-22 - HT68 - 11 3/8" DEPTH	MARVIN 'ELEVATE'	FIBERGLASS	30 DEGREE DH BAY	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-4 3/4" ABV SUBFLOOR	EAST ELEVATION, BAY UNIT W 11 3/8" Projection
H	BATH 1 - MASTER	6940	ELDH2248-ELDHP3848-ELDH2248	MARVIN 'ELEVATE'	FIBERGLASS	DH-PICTURE-DH	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-4" ABV SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY
I	BATH 2	3030	ELDH3636	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	TEXTURED DUAL PANE	EXTERIOR PANES	2X6	7'-4" ABV SUBFLOOR	EAST ELEVATION
J	BEDROOM 2	6050	ELDH3660 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-4" ABV SUBFLOOR	EAST ELEVATION
K	JEANNIE MEDITATION	2614	ELDHTR3016	MARVIN 'ELEVATE'	FIBERGLASS	DH TRANSOM	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	8'-6" ABV SUBFLOOR	NORTH & EAST ELEVATION
L	JEANNIE MEDITATION	2644	ELDH3052	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	6'-8" ABV SUBFLOOR	NORTH & EAST ELEVATION
M	HALL 1	4440	ELDH2648 2W	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	NORTH ELEVATION, MULLED ASSEMBLY
N	WORKSHOP	5030	ELGL6036	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-0" ABV SLAB	NORTH ELEVATION
O	WEST MUDROOM	11044	ELDH2252	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	INTERIOR & EXTERIOR PANES	2X6	6'-10 1/4" ABV SUBFLOOR	WEST ELEVATION
P	EAST MUDROOM	11044	ELDH2252	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	6'-10 1/4" ABV SUBFLOOR	EAST ELEVATION
Q	MULTI-PURPOSE ROOM	5050	ELGL6060	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	INTERIOR & EXTERIOR PANES	2X6	6'-11 1/2" ABV SUBFLOOR	EAST, WEST & SOUTH ELEVATION
R	SEWING/CRAFTS ROOM	5440	ELDH3248 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	SOUTH ELEVATION, MULLED ASSEMBLY
S	SEWING/CRAFTS ROOM	6030	ELGL3636 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR GLIDER	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY
T	LAUNDRY	6030	ELGL7236	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
U	BEDROOM 3	6040	ELGL7248	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	TEXTURED DUAL PANE	INTERIOR & EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
V	STAIRWAY HALL	4020	ELDGR25 2W DIRECT GLAZE	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
W	LIVING HALL	21015	ELDGR23 1W DIRECT GLAZE	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
X	LIVING/STAIRWAY HALL	4824	ELDGR29 2W DIRECT GLAZE	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
Y	LIVING HALL/KITCHEN	5220	ELDHTR6224	MARVIN 'ELEVATE'	FIBERGLASS	FIXED	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	12'-4" ABV SUBFLOOR	INTERIOR WINDOW
Z	LIVING HALL/KITCHEN	4020	ELDHTR4824	MARVIN 'ELEVATE'	FIBERGLASS	FIXED	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	12'-4" ABV SUBFLOOR	INTERIOR WINDOW
ZZ	BATH 1 - MASTER	4020	ESAWN4020	MARVIN 'ESSENTIAL'	FIBERGLASS	AWNING	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	8'-4" ABV SUBFLOOR	INTERIOR WINDOW

NOTE: ALL GLAZING AT EXTERIOR WALLS TO BE LOW E2  
NOTE: WINDOWS 'J' & 'U' ARE EGRESS WINDOWS  
NOTE: SEE EXTERIOR ELEVATIONS FOR MUNTIN BAR PATTERNS, ALL MUNTIN BARS TO BE SIMULATED DIVIDED LITE  
NOTE: WINDOWS 'H' & 'T' ALTERNATIVE OPTION IS MARVIN 'ESSENTIAL' CN - ESDH3030

### WINDOW SCHEDULE

DOOR SYMBOL	ROOM NAME	SIZE	CN	INTER/EXTER	MFR	MATERIAL	STYLE	GLASS	TEMPERED	WALL	REMARKS
1	FRONT ENTRY	6068 PLUS TRANSOM		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED PAIR	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	NORTH ELEVATION
2	KITCHEN-NOOK	3068 PLUS TRANSOM		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
3	FAMILY ROOM	11972	ELDHTR12070 0XX0	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
4	BEDROOM 1 - MASTER	5072	ELDHTR5070	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
5	WEST MUDROOM	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	N/A	2X6	WEST ELEVATION
6	MULTI-PURPOSE ROOM	50610	ELDHTR5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
7	MULTI-PURPOSE ROOM	50610	ELDHTR5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
8	EAST MUDROOM	50610	ELDHTR5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	EAST ELEVATION
9	MULTI-PURPOSE/MUD WEST	50610	ELDHTR5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
10	MULTI-PURPOSE/MUD EAST	50610	ELDHTR5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
11	WORKSHOP	6070 PLUS TRANSOM		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED PAIR	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
12	CAMPER GARAGE	10060		EXTERIOR			ROLL-UP	TOP ROW GLASS, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
13	DOUBLE GARAGE	16070		EXTERIOR			ROLL-UP	TOP ROW GLASS, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
14	ENTRY CLOSET	2868		INTERIOR		SC WOOD	HINGED			2X4	
15	DINING/FRONT ENTRY	5080		INTERIOR		SC WOOD	POCKET			2X6	
16	DINING/KITCHEN	4080		INTERIOR		SC WOOD	POCKET			2X6	
17	KITCHEN/LIVING	5080		INTERIOR		SC WOOD	POCKET			2X6	
18	POWDER	2668		INTERIOR		SC WOOD	HINGED			2X4	
19	OFFICE	3068		INTERIOR		SC WOOD	HINGED			2X4	
20	BEDROOM 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET	MIRRORED		2X4	
21	BEDROOM 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET	MIRRORED		2X4	
22	BATH 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET			2X4	
23	BATH 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET			2X4	
24	BEDROOM 1 - MASTER	1488		INTERIOR		SC WOOD	HINGED			2X4	
25	BEDROOM 1 - MASTER	3068		INTERIOR		SC WOOD	HINGED			2X4	
26	HALL 2/LAUNDRY SHUTE	1668		INTERIOR		SC WOOD	POCKET			2X4	20 MIN FIRE RATED ASSEMBLY
27	HALL 1/BATH 2	2868		INTERIOR		SC WOOD	HINGED			2X4	
28	BATH 2	1668		INTERIOR		SC WOOD	HINGED			2X4	
29	BATH 2	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
30	BATH 2	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
31	HALL 1/BEDROOM 2 - GUEST	2868		INTERIOR		SC WOOD	HINGED			2X4	
32	BEDROOM 2 - GUEST	5068		INTERIOR		SC WOOD	SLIDING	MIRRORED		2X4	
33	JEANNIE MEDITATION ROOM	2668		INTERIOR		SC WOOD	HINGED			2X4	
34	HALL 1	3668		INTERIOR		SC WOOD	HINGED PAIR			2X4	
35	STORAGE 3/STORAGE 4	3068		INTERIOR		SC WOOD	HINGED			2X6	
36	WORKSHOP/STORAGE 4	3068		INTERIOR		SC WOOD	HINGED			2X6	
37	WORKSHOP/CAMPER GARAGE	3068		INTERIOR		SC WOOD	HINGED			2X6	
38	NOT USED									2X6	
39	DOUBLE GARAGE/EAST MUDROOM	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED			2X6	20 MIN FIRE RATED ASSEMBLY
40	WEST MUDROOM	6068		INTERIOR		SC WOOD	SLIDING			2X4	
41	MULTI-PURPOSE/STORAGE 1	6068		EXTERIOR		SC WOOD	HINGED PAIR			2X6	
42	EAST MUDROOM	2668		INTERIOR		SC WOOD	HINGED			2X4	
43	SEWING-CRAFTS/HALL 4	6068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
44	HALL 4	4068		INTERIOR		SC WOOD	HINGED PAIR			2X6	20 MIN FIRE RATED ASSEMBLY
45	HALL 4/LAUNDRY	3068		INTERIOR		SC WOOD	HINGED			2X4	
46	LAUNDRY SHUTE/LAUNDRY	1668		INTERIOR		SC WOOD	HINGED			2X4	20 MIN FIRE RATED ASSEMBLY
47	BATH 3/HALL 4	2868		INTERIOR		SC WOOD	POCKET			2X4	
48	BATH 3	1668		INTERIOR		SC WOOD	HINGED			2X4	
49	BATH 3	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
50	BATH 3	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
51	BEDROOM 3 - GUEST	2868		INTERIOR		SC WOOD	HINGED			2X4	
52	BEDROOM 3 - GUEST	5068		INTERIOR		SC WOOD	SLIDING	MIRRORED		2X4	
53	HALL 4/STORAGE 4	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED			2X6	20 MIN FIRE RATED ASSEMBLY
54	HALL 5/DUMB WAITER	2640		**	**	**	**			2X6	20 MIN FIRE RATED ASSEMBLY
55	DOUBLE GARAGE/DUMB WAITER	2640		**	**	**	**			2X6	20 MIN FIRE RATED ASSEMBLY
56	KITCHEN/DUMB WAITER	2636		**	**	**	**			2X4	20 MIN FIRE RATED ASSEMBLY

NOTE: DOOR 3 & 4 TO BE MARVIN 'ELEVATE' TO MATCH WINDOWS

### DOOR SCHEDULE

**SCHOCH RESIDENCE**  
New Residence and ADU  
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



DATE: 5-13-21

Sheet

**A-6**

Scale



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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

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New Residence and ADU  
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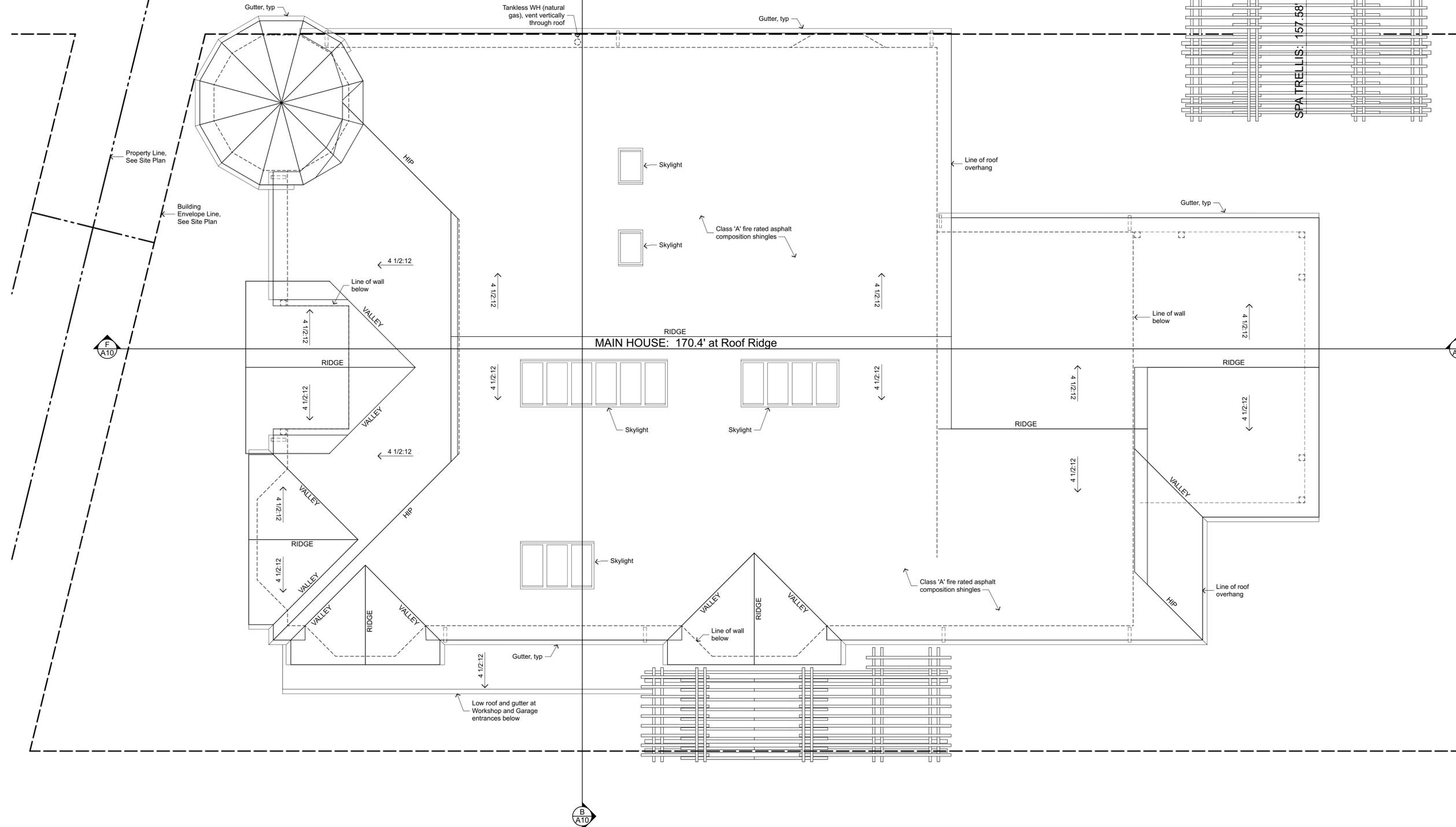


DATE: 5-13-21

Sheet  
**A-7**

Scale

**BUILDING DRAINAGE:**  
All roofs slope to gutters and downspouts.  
Rainwater is collected and directed into drainage system per Civil Plans.



**ROOF PLAN - MAIN HOUSE**

1/4"=1'-0"



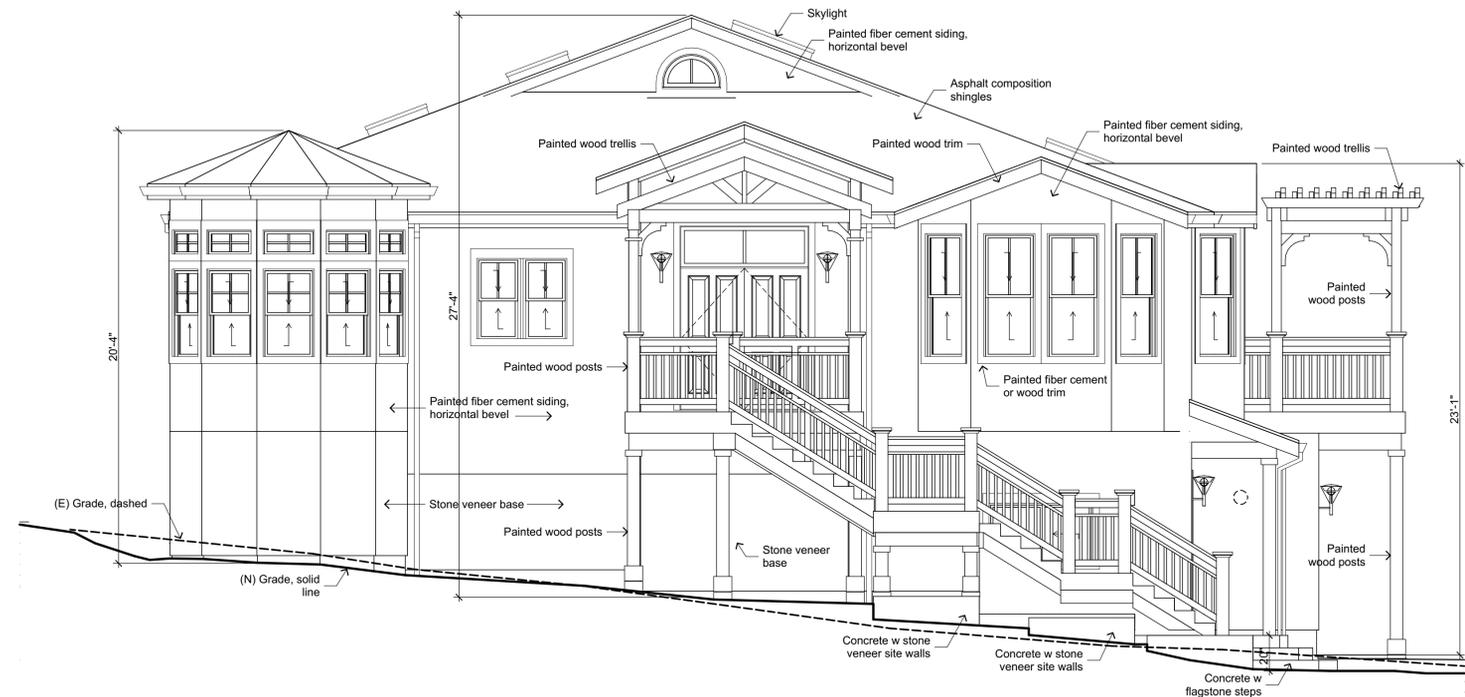
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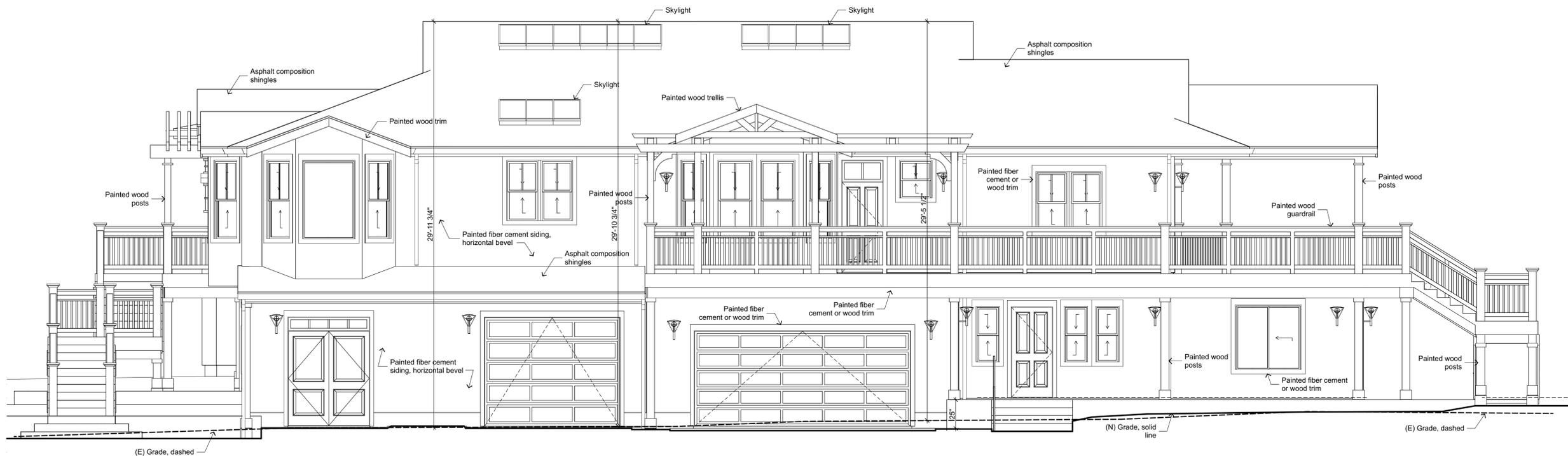
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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



**NORTH ELEVATION**

1/4" = 1'-0"



**WEST ELEVATION**

1/4" = 1'-0"

**EXTERIOR ELEVATIONS - MAIN HOUSE**

1/4"=1'-0"

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New Residence and ADU

7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



DATE: 5-13-21

Sheet

**A-8**

Scale

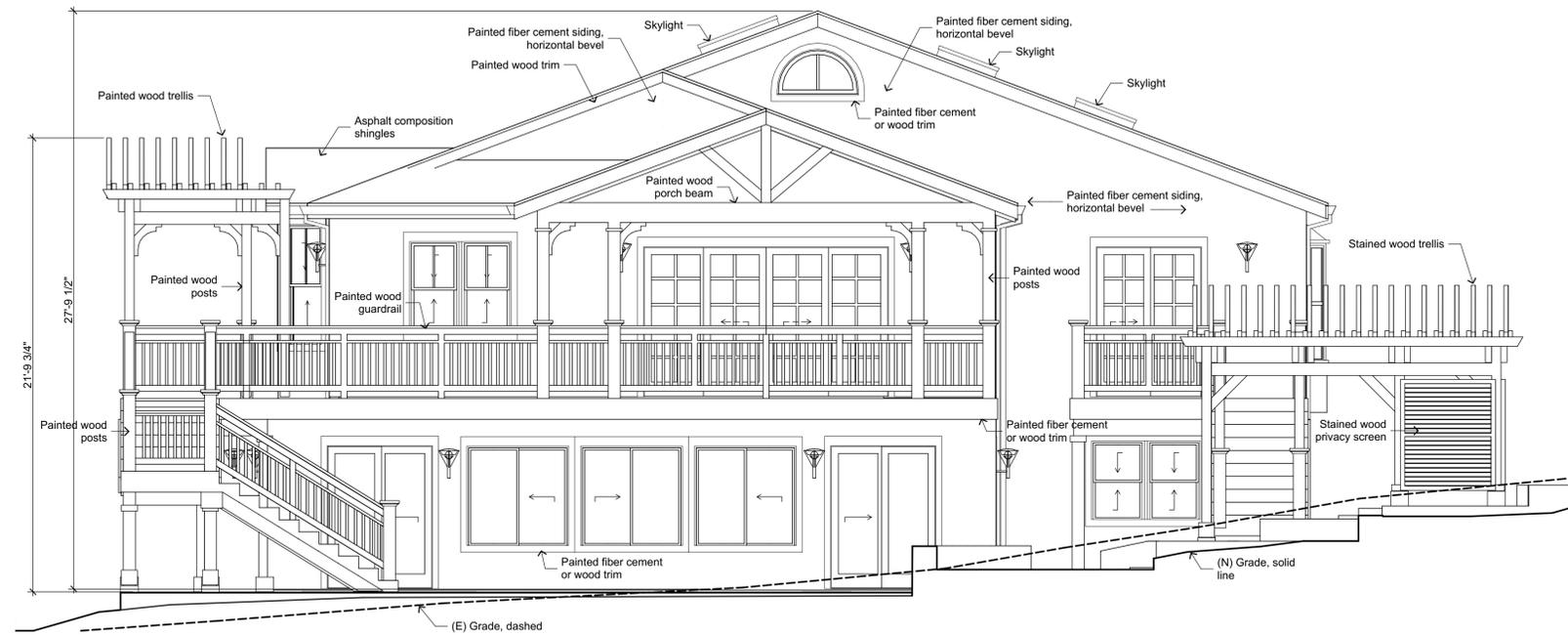


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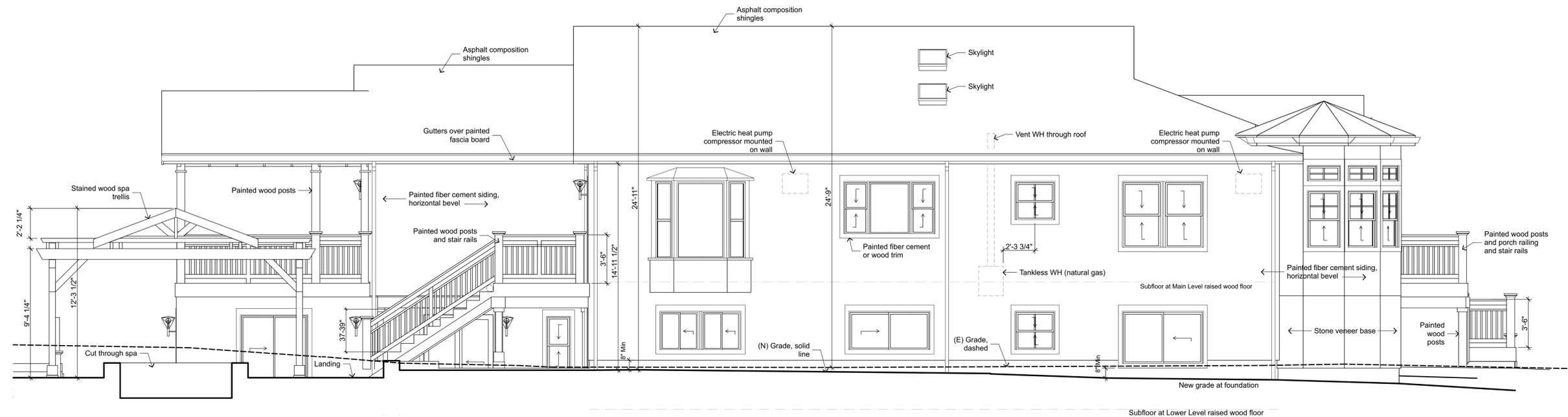
Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



**SOUTH ELEVATION**

1/4" = 1'-0"



**EAST ELEVATION**

1/4" = 1'-0"

**EXTERIOR ELEVATIONS - MAIN HOUSE**

1/4" = 1'-0"

**SCHOCH RESIDENCE**  
New Residence and ADU

7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



DATE: 5-13-21

Sheet

**A-9**

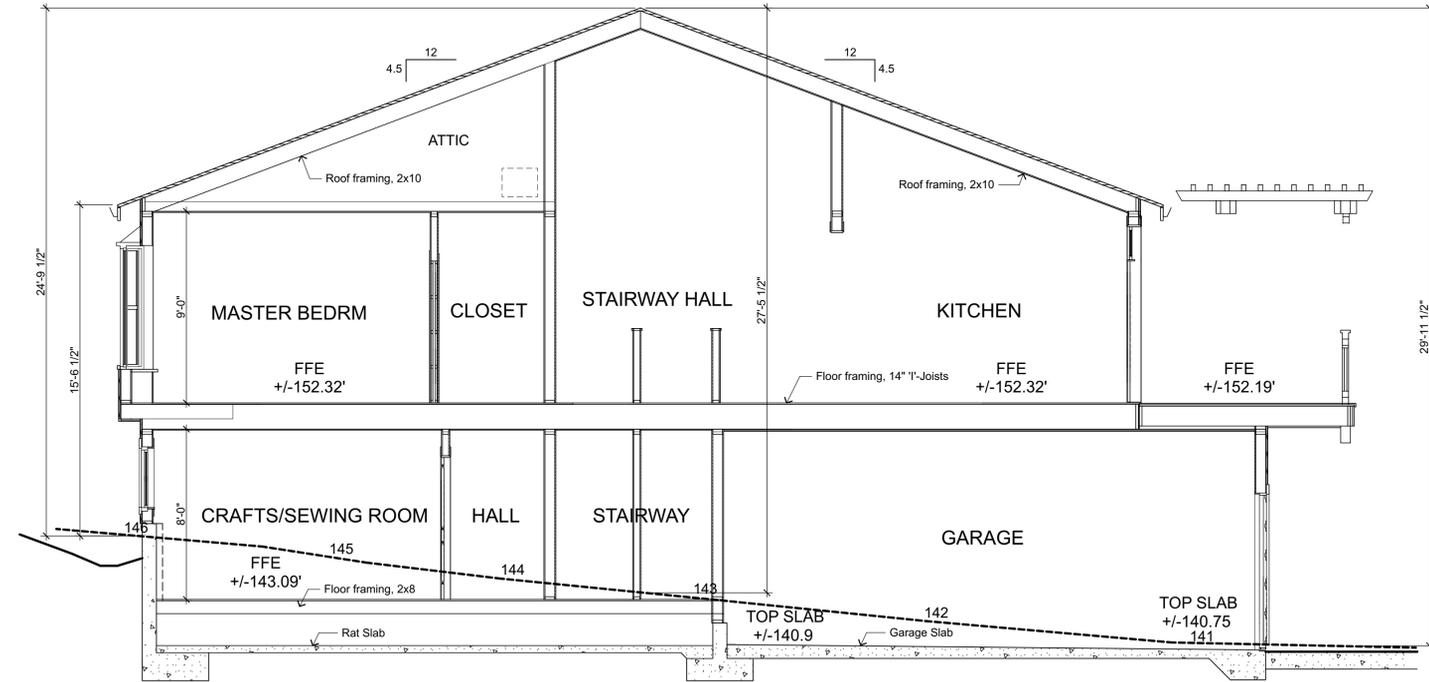
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**Builders Studio**

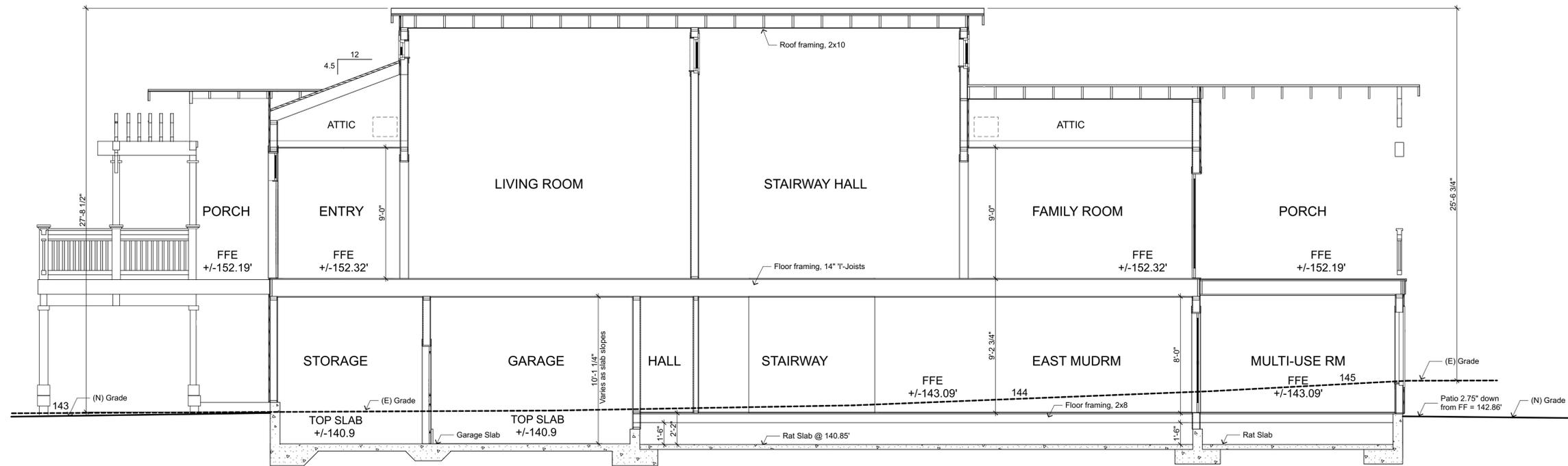
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SECTION C

1/4" = 1'-0"



SECTION F

1/4" = 1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

**SCHOCH RESIDENCE**  
New Residence and ADU

7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



DATE: 5-13-21

Sheet  
**A-10**

Scale

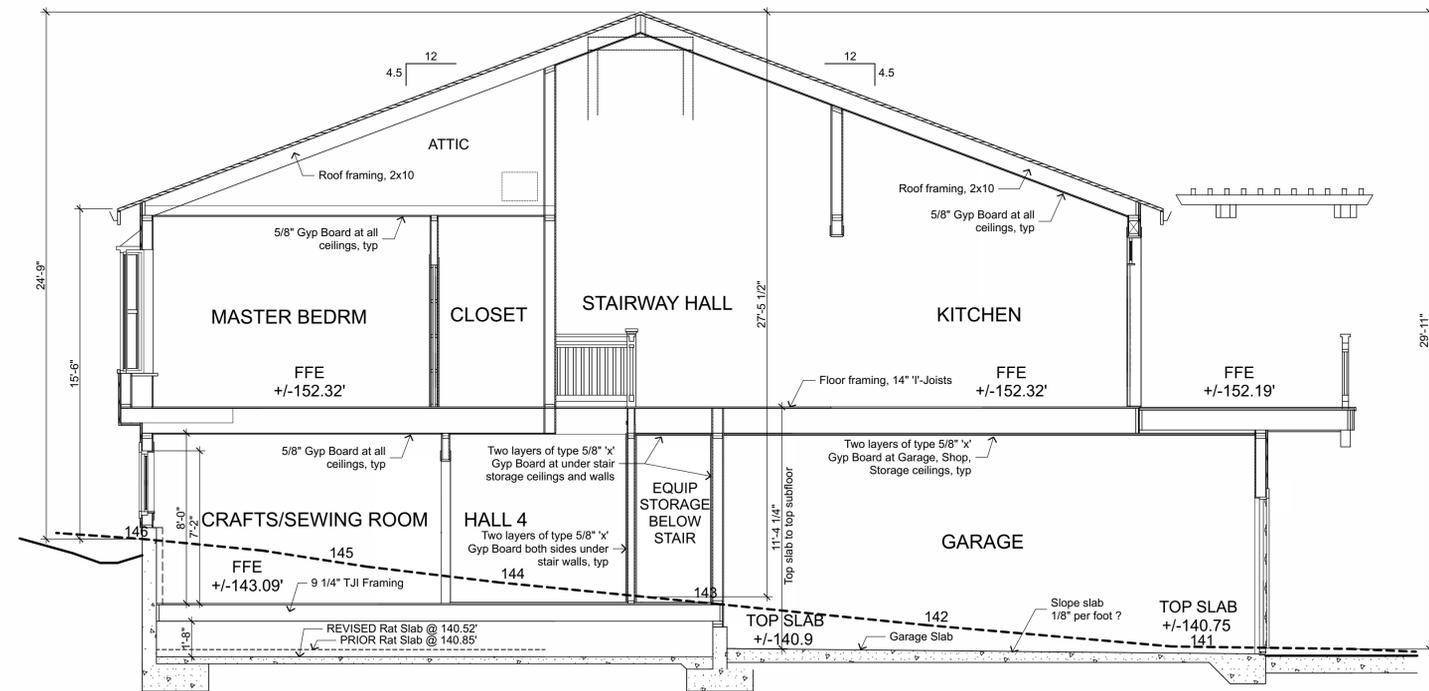
**SECTIONS - MAIN HOUSE**

1/4"=1'-0"



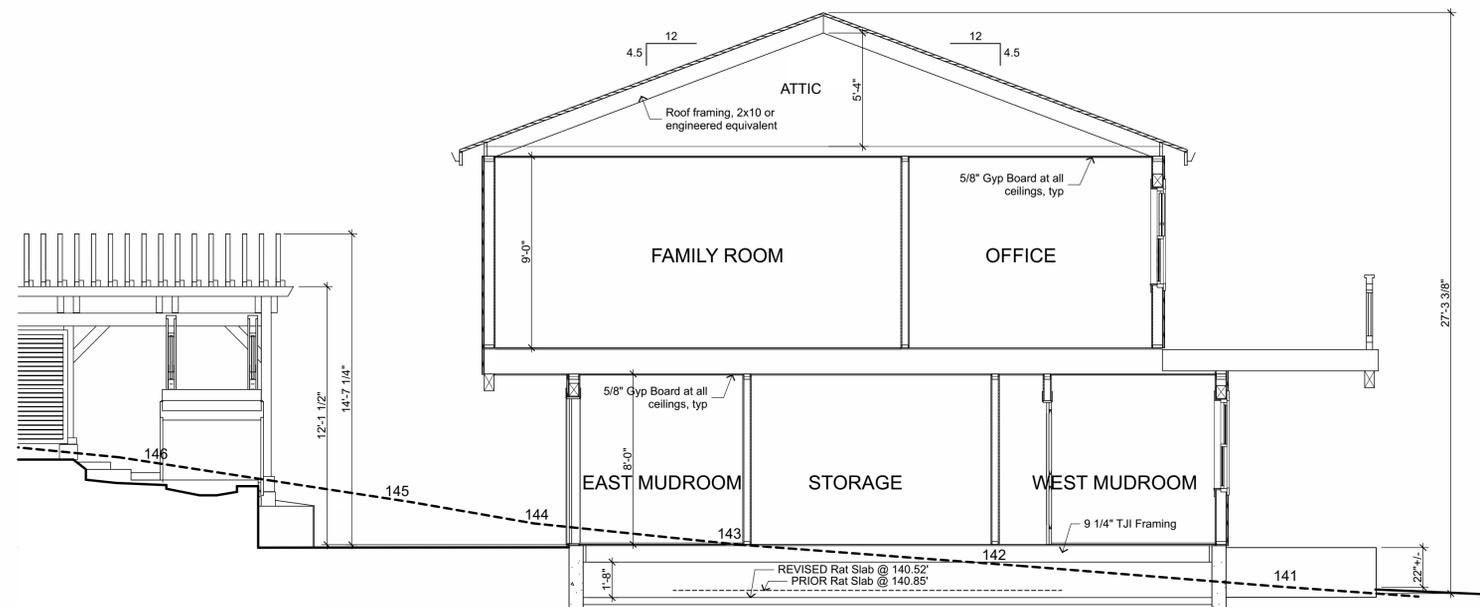
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SECTION C

1/4" = 1'-0"



SECTION D

1/4" = 1'-0"

SECTIONS - MAIN HOUSE

1/4"=1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

**SCHOCH RESIDENCE**  
 New Residence and ADU

7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

DATE: 7-2-21

Sheet

**A-11**

Scale





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CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.

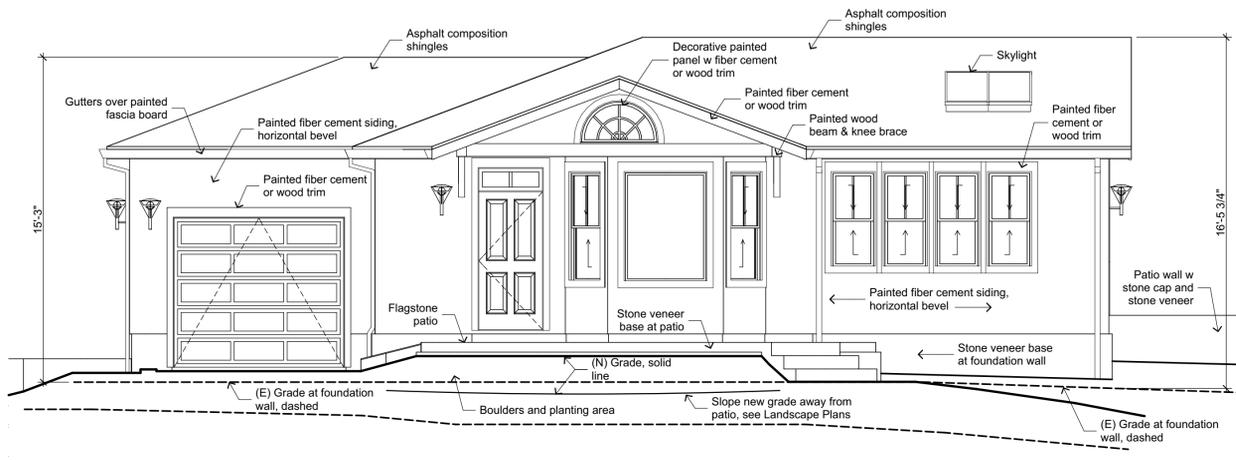
**SCHOCH RESIDENCE**  
 New Residence and ADU  
 7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



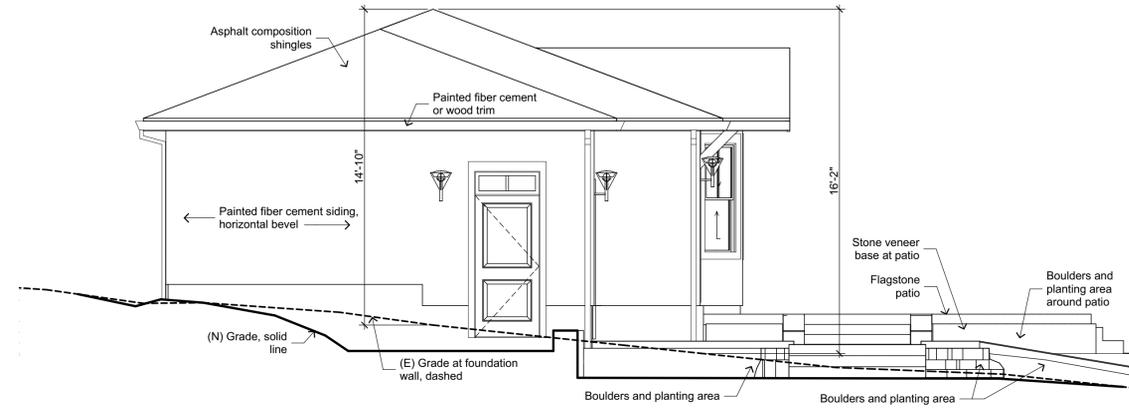
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Sheet  
**A-12**

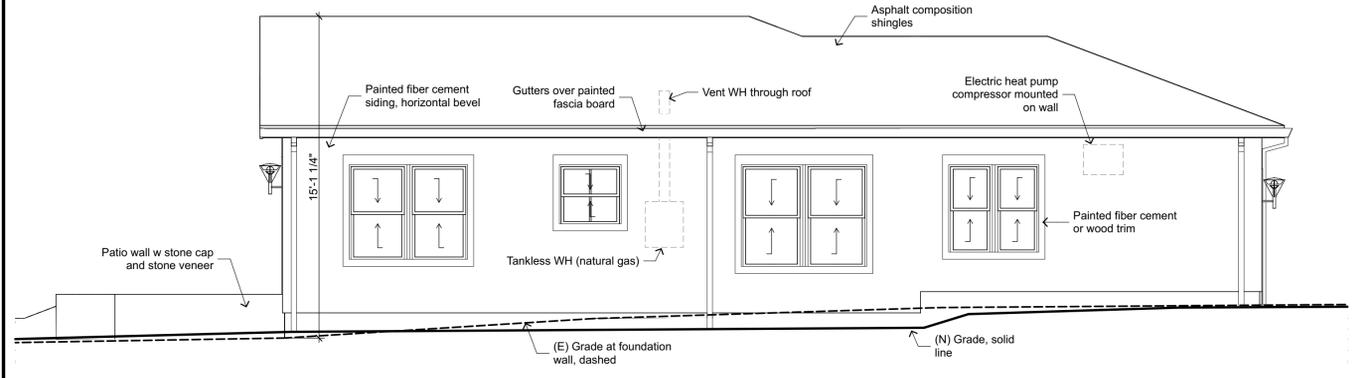
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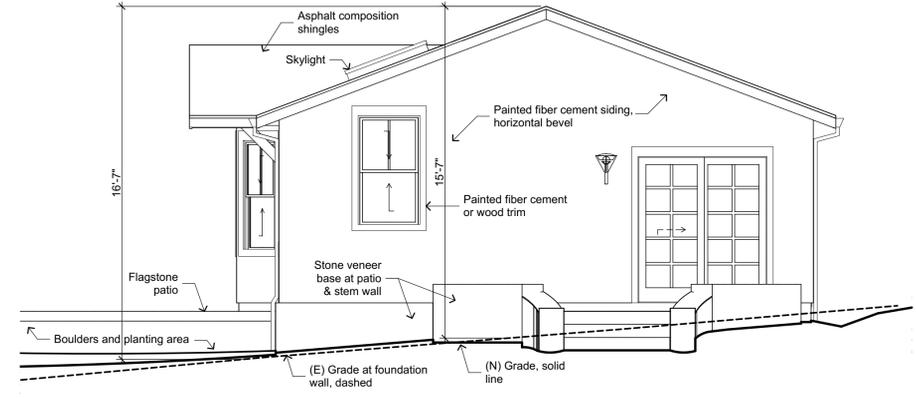
**WEST ELEVATION** 1/4" = 1'-0"



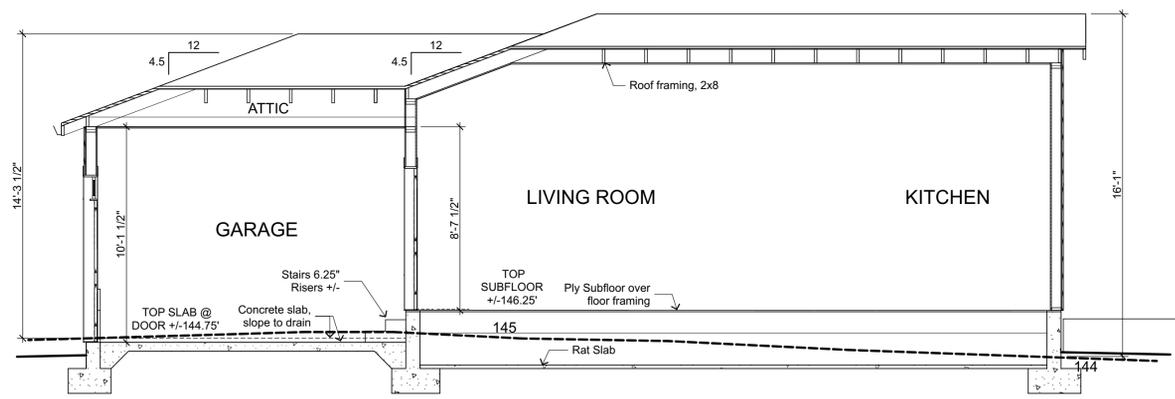
**NORTH ELEVATION** 1/4" = 1'-0"



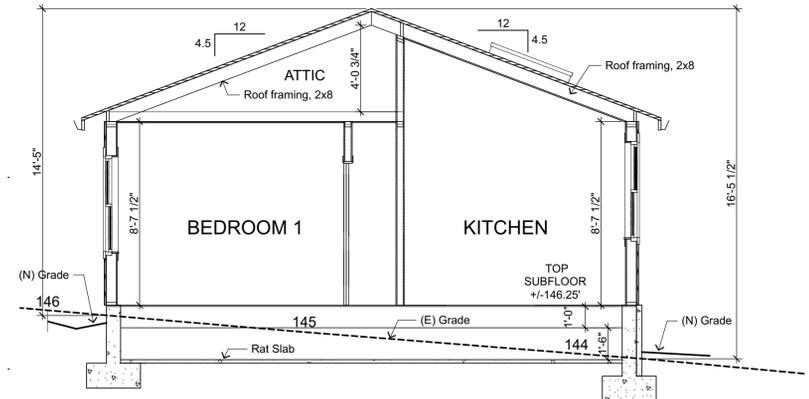
**EAST ELEVATION** 1/4" = 1'-0"



**SOUTH ELEVATION** 1/4" = 1'-0"



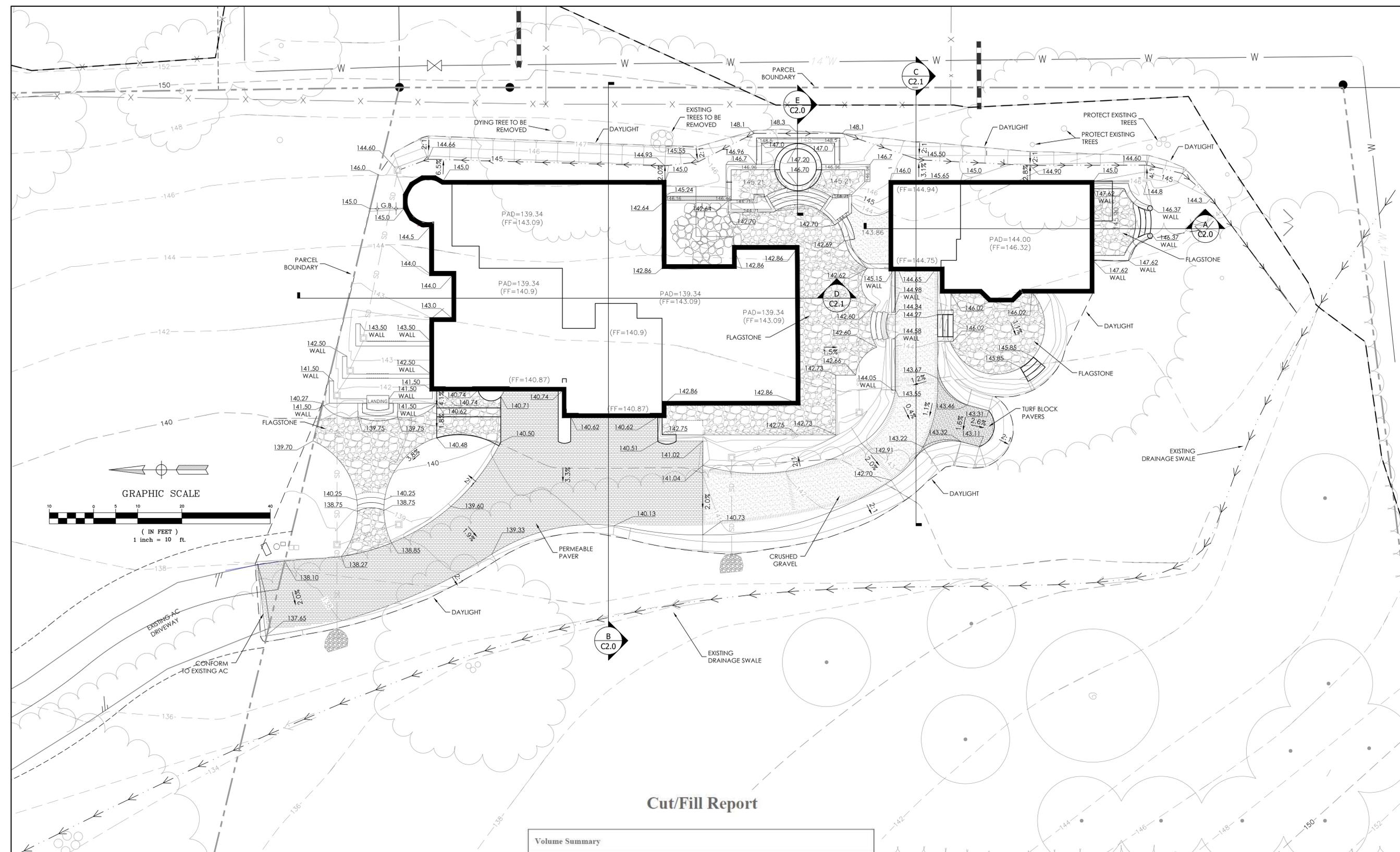
**SECTION D** 1/4" = 1'-0"



**SECTION C** 1/4" = 1'-0"

**EXTERIOR ELEVATIONS & SECTIONS - ADU**

1/4"=1'-0"



### Cut/Fill Report

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Volume Surface	full	1.0	1.0	15397	660	300	360 <Cut>
<b>Totals</b>							
				<b>2d Area (Sq. Ft.)</b>	<b>Cut (Cu. Yd.)</b>	<b>Fill (Cu. Yd.)</b>	<b>Net (Cu. Yd.)</b>
<b>Total</b>				15397	660	300	360 <Cut>

\* Value adjusted by cut or fill factor other than 1.0

NO.	HISTORY / REVISION	BY	CHK.	DATE

SCHOCH RESIDENCE  
 7XX FIRST STREET  
 SEBASTOPOL, CA 95472

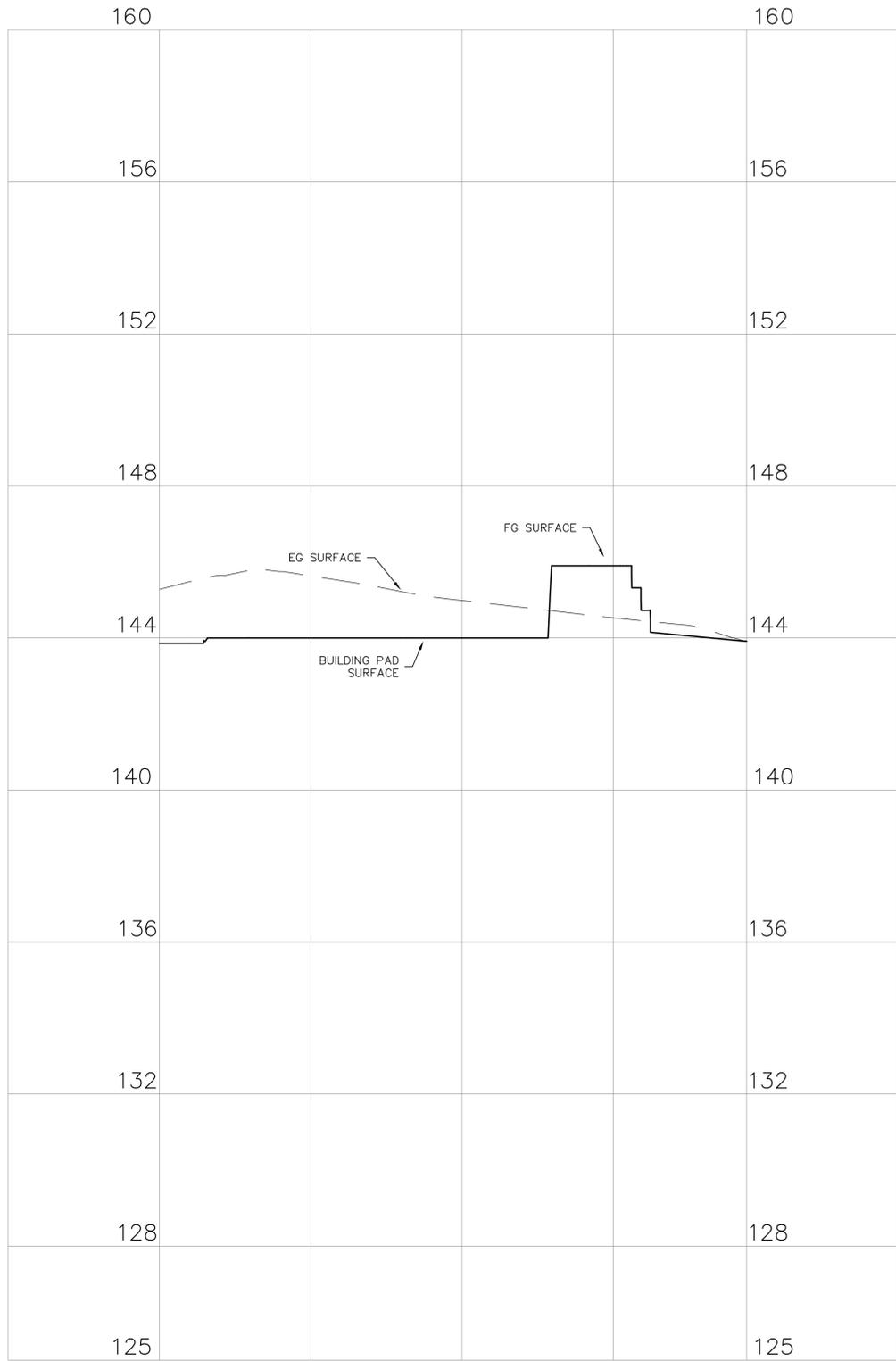
**GRADING PLAN AND EARTHWORK**

**DRAFT**

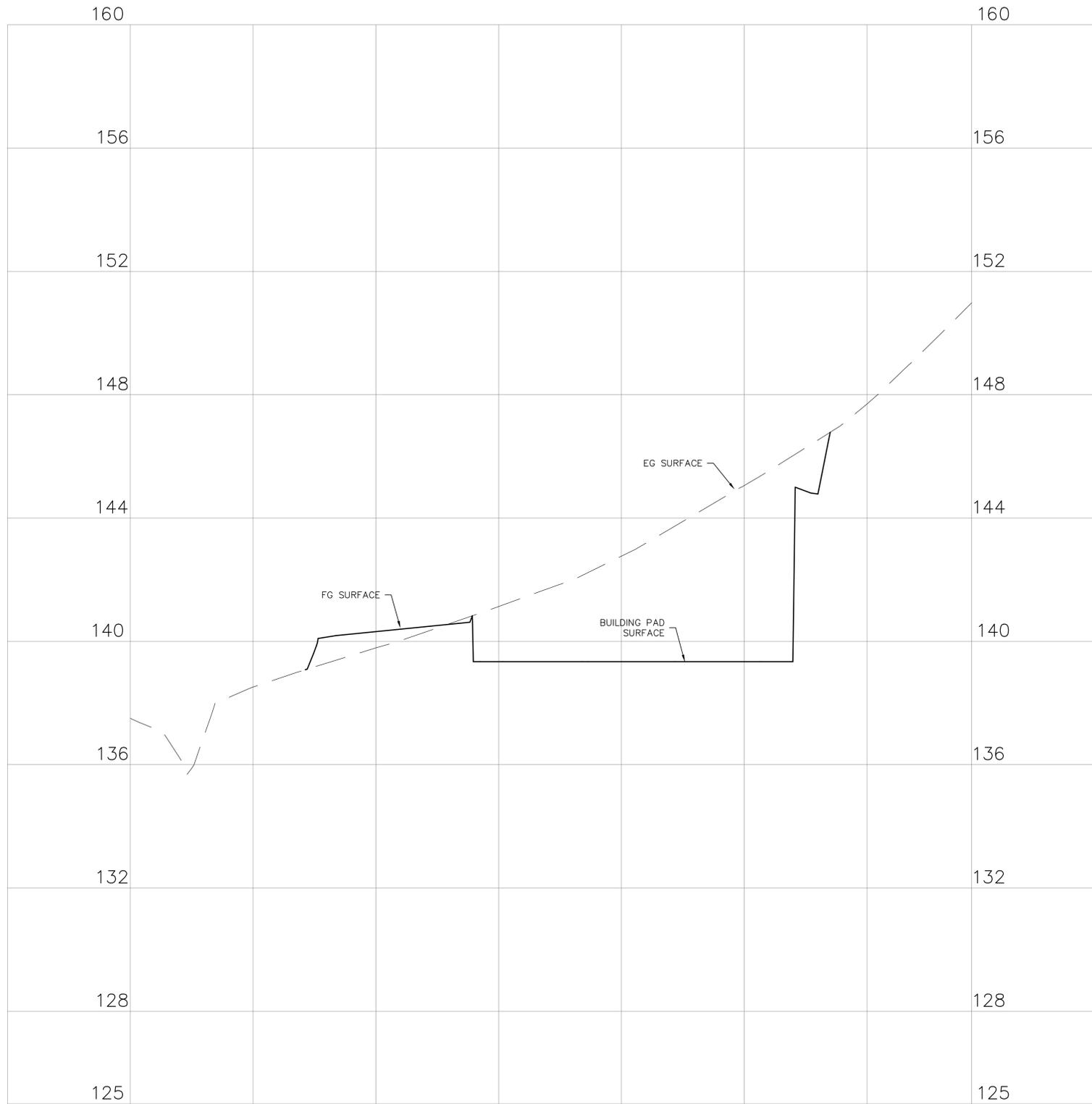
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 CHECK CCM  
 APPROVED  
 DATE 7/19/2021  
 JOB NUMBER 9884.00  
 DRAWING C1.0

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May 14, 2021 - 11:07am  
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ADU NORTH/SOUTH  
 1"=10'H, 1"=2'V (A)



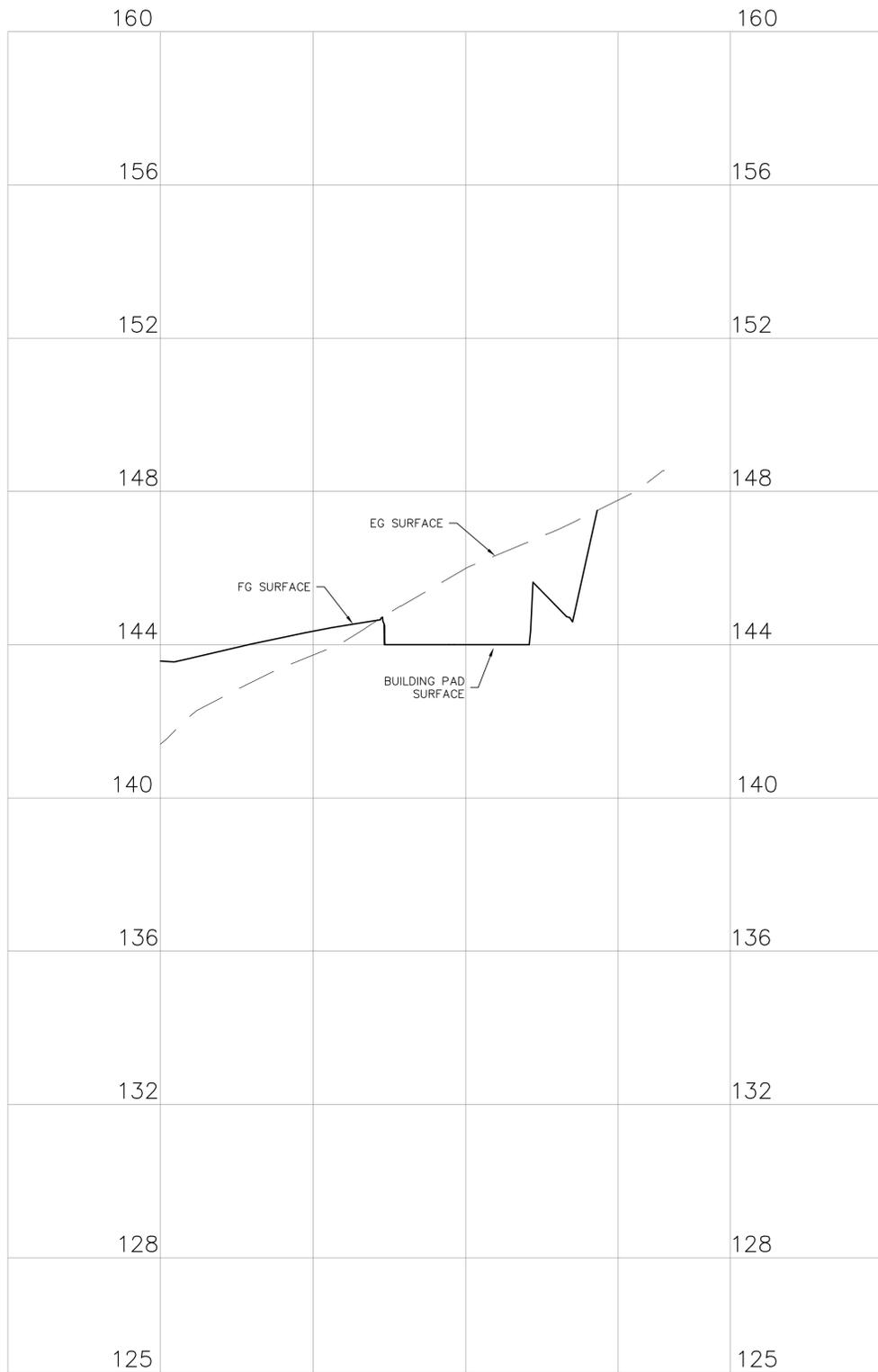
MAIN HOUSE WEST/EAST  
 1"=10'H, 1"=2'V (B)

NO.	HISTORY / REVISION	BY	CHK.	DATE

BUILDERS STUDIO OF SEBASTOPOL  
 555 SOUTH MAIN STREET, SUITE 1  
 SEBASTOPOL, CA 95472  
**CROSS SECTIONS**

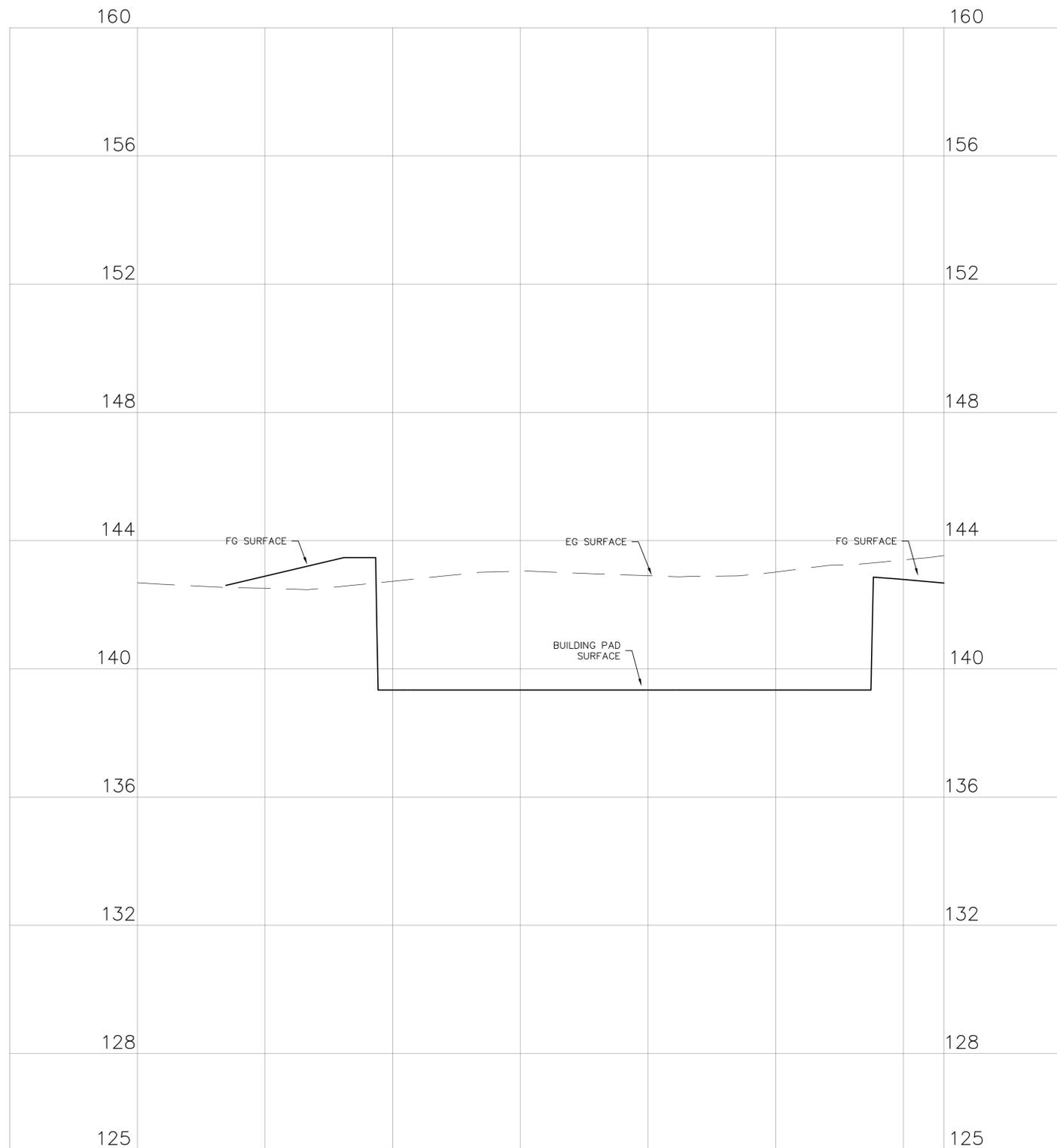


DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	C2



ADU WEST/EAST  
1"=10'H, 1"=2'V

C



MAIN HOUSE NORTH/SOUTH  
1"=10'H, 1"=2'V

D

May 14, 2021 11:57am  
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NO.	HISTORY / REVISION	BY	CHK.	DATE

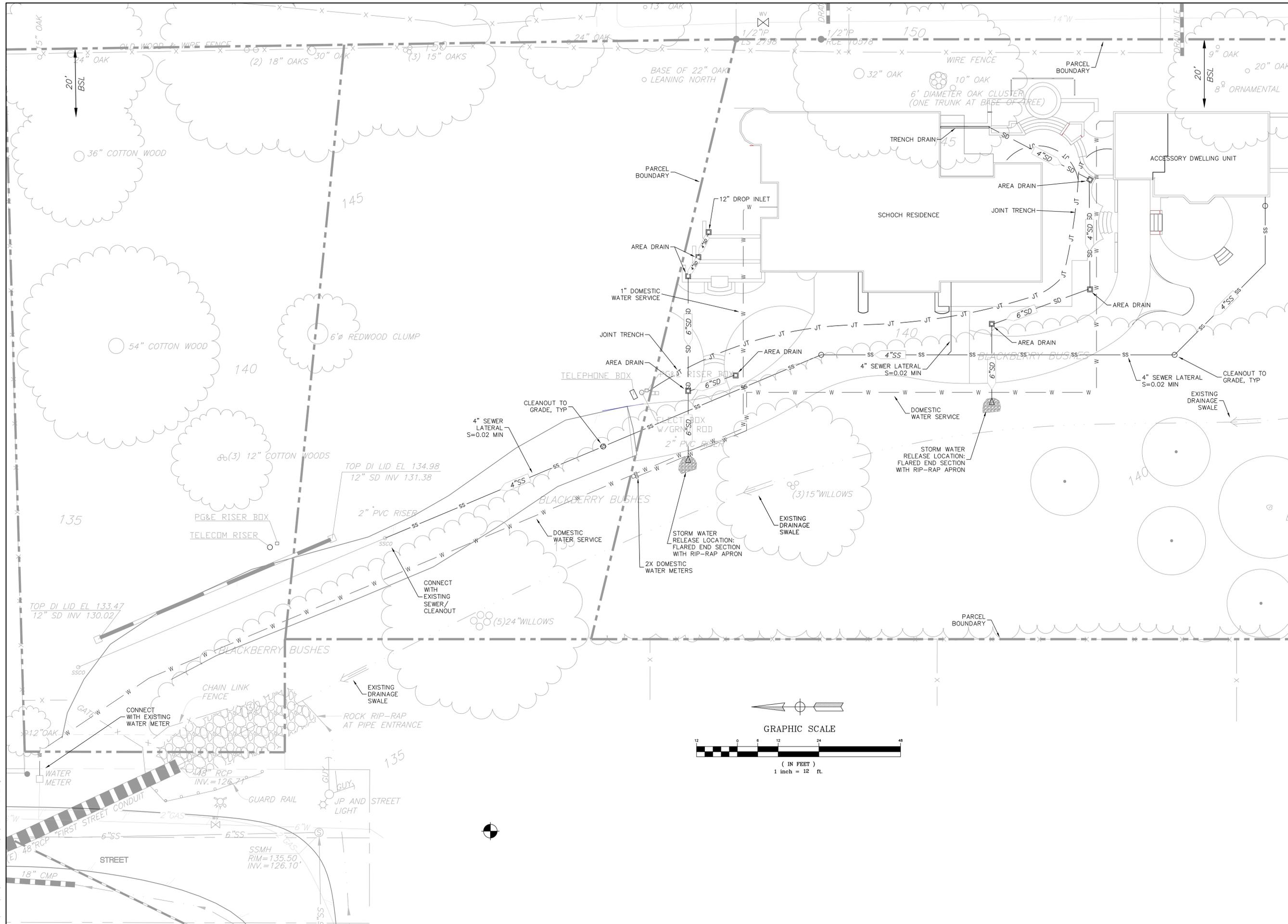
BUILDERS STUDIO OF SEBASTOPOL  
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SEBASTOPOL, CA 95472

**CROSS SECTIONS**



DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	

C3



May 14, 2021 11:50am  
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HISTORY / REVISION	BY	CHK.	DATE

**BUILDERS STUDIO OF SEBASTOPOL**  
 555 SOUTH MAIN STREET, SUITE 1  
 SEBASTOPOL, CA 95472  
**UTILITY PLAN**



DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	C4



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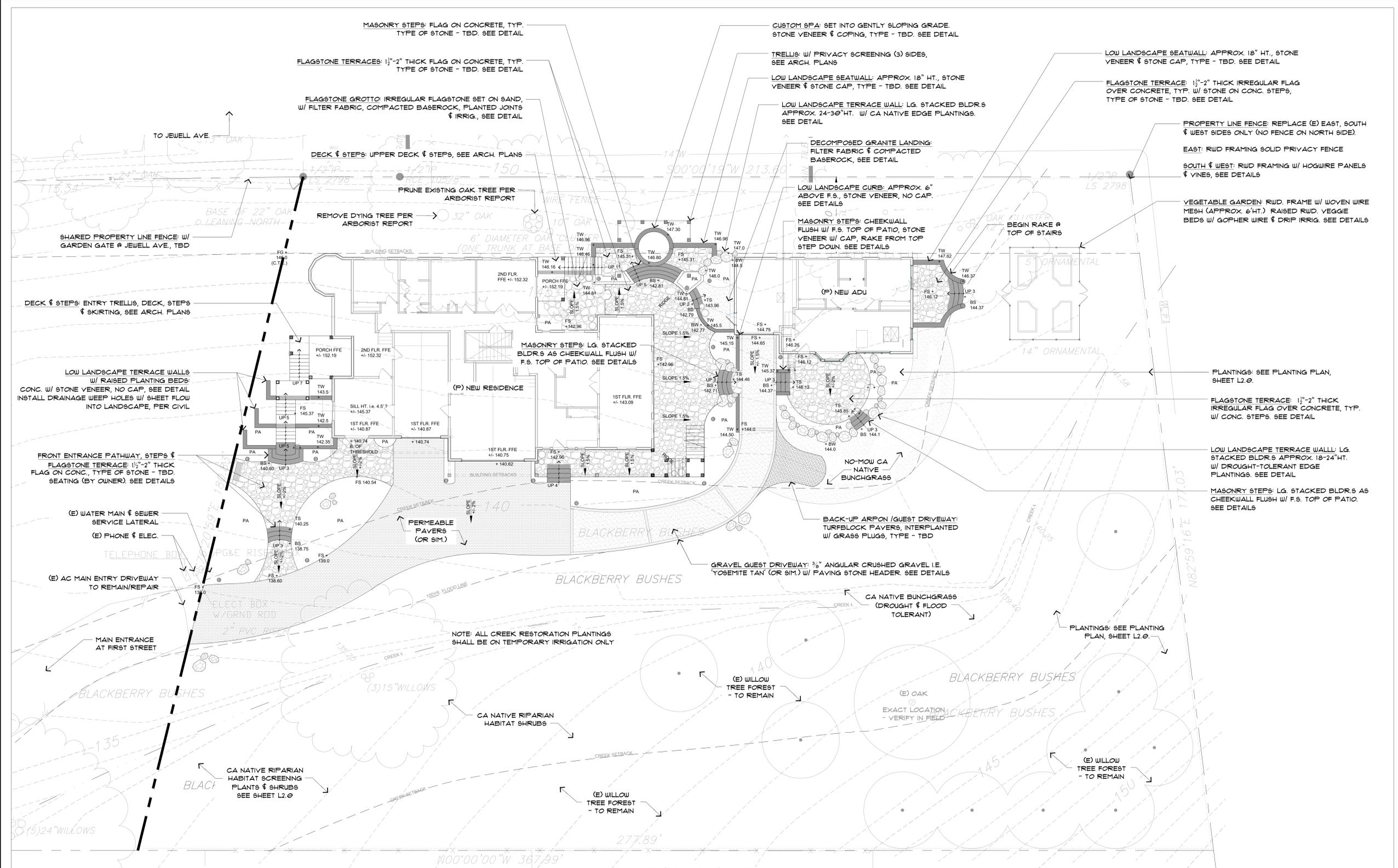
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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
		DESIGN REVIEW SUBMITTAL	JN	JN	PS

**SCHOCH RESIDENCE  
LANDSCAPE PLAN**  
163 FIRST STREET  
SEBASTOPOL, CA 95472  
094-112-011

PRELIMINARY  
LANDSCAPE  
LAYOUT PLAN  
**SHEET  
L1.0**  
PDF DATE 05/13/2021



- NOTES**
- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL AREAS. ALL DRAINAGE PER CIVIL PLANS.
  - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
  - NO TRENCHES FOR ANY PURPOSE SHALL BE DUG WITHIN 15 FEET OF EXISTING TREE TRUNKS. TRENCHES BEYOND 15 FEET BUT WITHIN THE DRIFTLINES OF EXISTING TREE CANOPIES SHALL BE HAND DUG. NO ROOTS GREATER THAN 1" SHALL BE CUT. ALL ROOTS LARGER THAN 1 1/2" THAT ARE CUT SHALL BE CLEANLY DRESSED.
  - ALL FINISH GRADES SHALL BE 6" OR MORE BELOW THE TOP OF FOUNDATION - CONTRACTOR TO VERIFY.
  - THE SUBGRADE OF ALL PROPOSED PAVING AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL BE BASEROCK, COMPACTED TO 95%. SEE DETAILS FOR DEPTH OF BASEROCK, AND COMPACTION RECOMMENDATIONS BENEATH TREES.
  - ALL NEW PLANTING AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL, AS WELL AS A 2" LAYER OF BARK MULCH.
  - ALL PERFORATED PIPES SHALL DRAIN TO SOLID PIPES (UNDER NO CIRCUMSTANCES SHALL A SOLID PIPE BE ALLOWED TO DRAIN INTO A PERFORATED PIPE). ANY VERTICAL CONNECTIONS BETWEEN THE TWO SHALL BE MADE OF SOLID PIPE.
  - ALL DRAINAGE PIPES SHALL BE 4" MIN. SOLID PIPE, SLOPED AT 1/8" MIN (UNLESS OTHERWISE NOTED ON CIVIL PLANS).
  - CONTRACTOR SHALL STABILIZE ANY AREAS THAT HAVE BEEN STRIPPED OF VEGETATION AND MAINTAIN EROSION CONTROL MEASURES BETWEEN OCTOBER 15 - APRIL 15.
  - EROSION CONTROL MEASURES SUCH AS SILT FENCE BARRIERS, STRAW BALE OR WATTLE BARRIERS, SAND BAGS, BRUSH OR ROCK FILTERS, ETC., MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURE THROUGHOUT CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENTS OR POLLUTANTS LEAVING THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY.
  - CONTRACTOR SHALL USE WATERING AND OTHER MEANS TO CONTROL DUST DURING CONSTRUCTION TO PREVENT PUBLIC NUISANCE.

**LEGEND & KEY:**

SYMBOL	FINISHED FLOOR ELEVATION (PER ARCHITECTURAL PLANS)
TW	PROPOSED SPOT ELEVATION
—	RIDGE LINE
—	CONFORMING ELEVATIONS
SLOPE 1.5%	DIRECTION OF SLOPE
⊗	DOUNSFOUTS
●	LANDSCAPE AREA DRAINS: I.E. 4" Ø NDS ATRIUM GRATE OVER NDS Ø 6"PEE-D BASIN. NOTE: ALL DRAINAGE PER CIVIL
■	CATCH BASIN (N/A)
FFE	FINISHED FLOOR ELEVATION (PER ARCHITECTURAL PLANS)
FS	FINISHED SURFACE ELEVATION
FG	FINISHED GRADE ELEVATION
TU/BW	TOP/BOTTOM OF WALL ELEVATION
TC/BC	TOP/BOTTOM OF CURB ELEVATION
TS/BS	TOP/BOTTOM OF STEP ELEVATION
C.T.E.	CONFORM TO EXISTING ELEVATION

**PRELIMINARY LANDSCAPE LAYOUT PLAN**  
1/10" = 1'-0"



# IRRIGATION LEGEND:

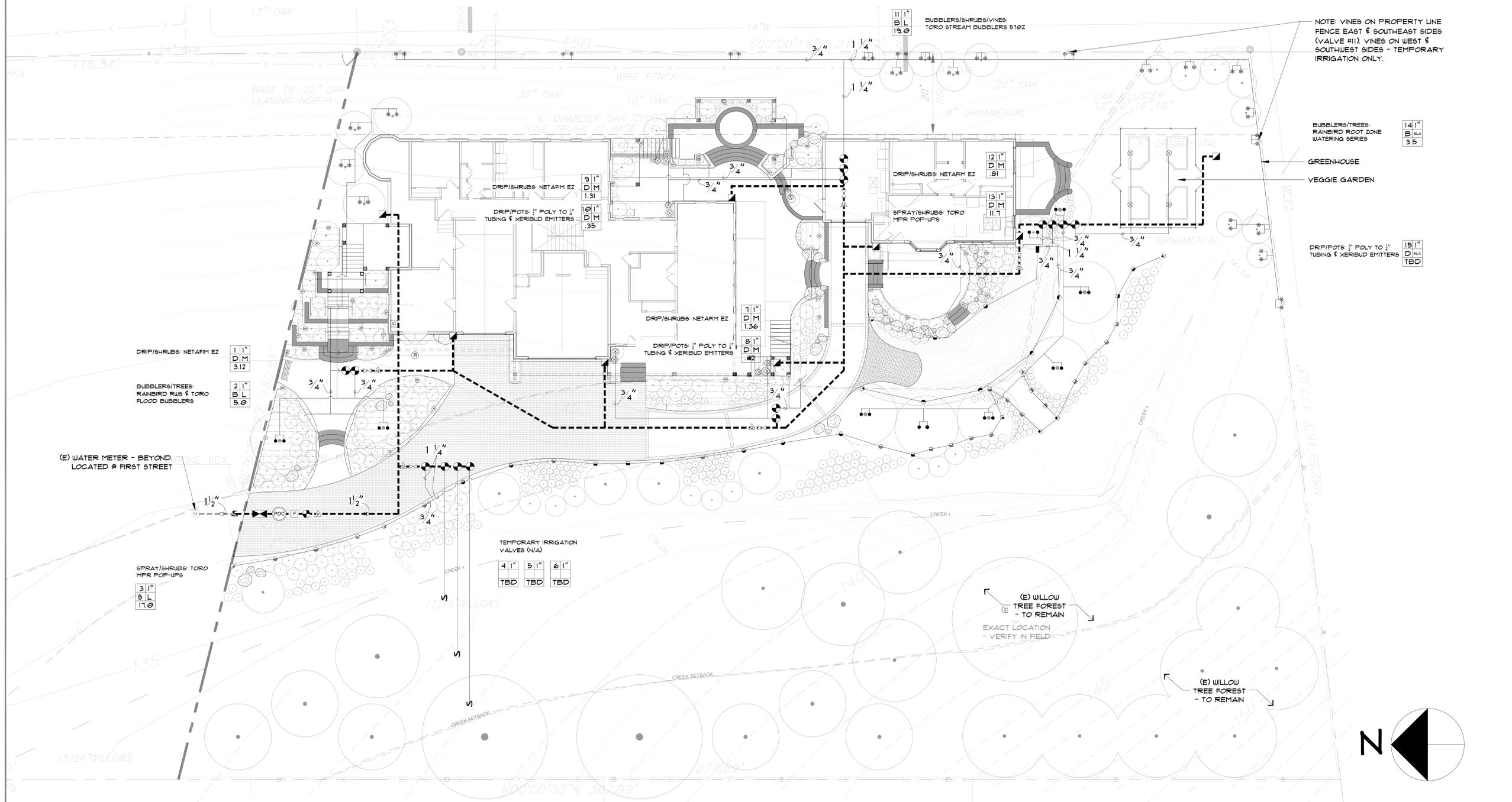
SYMBOL	DESCRIPTION	NOTES
POC	POINT OF CONNECTION:	Approximate Location (Verify in Field). Includes valve box & shut-off valve.
M	WATER METER:	(E) Water Meter : 5/8" (typ.) Located @ First Street w/ 1 1/2" SCH 40 PVC On-Site Service Pipe to Lot.
BP	BACKFLOW PREVENTOR:	FEBCO 825Y - 1" Backflow preventor. Install 12-36" above ground level. Backflow prevention device (refer to local public health agency for addn'l requirements).
F	FILTER:	AMIAD 1-1/2"Ø W/ 120 Mesh SS Woven Wire Screen, 130 Micron (as per Netafim spec.s)
PR	PRESSURE REGULATOR:	TBD Adjust pressure as necessary to achieve 30psi for drip zones for a maximum demand/flow rate of 7-8gpm max for each drip zone.
MV	MASTER VALVE:	Rainbird 100GB - 1" Master Valve Size per line. Includes valve box. Manual gate valve, butterfly valve or ball valve.
FL	FLOW SENSOR:	N/A Req'd for ALL non-residential landscapes.
C	CONTROLLER:	Irritrol Total Control: TC-18EX-R 18-Station Outdoor, Remote Control Ready Controller with CL-100 Wireless Weather Sensing System & SMRT Logic Wireless Gateway app-based controller (or Sim). Exterior or Interior Mount -TBD (provide 120v power) w/ wireless ET Sensor (located on eave O.H.).
R	RAIN-SENSOR:	Irritrol RS 1000 Wireless Rain Sensor (or Sim). Mount on eave.

RCV	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg 'OMR-100' Pressure regulation module - in valve box.	With disc filter & PRV for Netafim valves.
QC	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler	
MVB	MANUAL BALL-VALVE:	NIBCO T-FP-600 Brass, Full-Port Ball valve (or Sim). 1" line size.	
ML	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL	Route through building (per Plumbing Plan).
HB	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding.	Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
LL	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL	Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
SH	SPRAY HEADS:	TORO MPR Plus Pop-Up Sprayheads, 6" Pop-Up Bodies	

- TORO 15-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 12-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 10-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 8-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 5-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 5-555T-PC NOZZLE SIDE STRIP 4' X 18'

TB	TREE BUBBLERS:	Rainbird WS-M-B-C-1401 Root Zone Watering Series Subterranean Bubbler: (2) Per Tree	w/ check valves to prevent low head drainage.
SB	SHRUB BUBBLERS:	TORO 570Z-6P 6" POP-UP w/ FB-50-PC Pressure Compensating Flood Bubbler Nozzle	
DI	DRIP IRRIGATION:	Netafim Techline EZ w/ PVC Supply & Exhaust Headers & Manual Flush Valve	0.4 GPH Dripper (Recommended for Loamy soils), w/ 18" Emitter Spacing & 18" Row Spacing in shrubs.
MFV	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header	
ARV	AIR/VACUUM RELIEF VALVE:	Plumbed to Netafim Techline EZ, at highest point (as per mfr.).	
SO	STUB-OUTS: XERIBUD EMITTERS	Transition from lateral to 3/4" poly blank line to individual loops of 1/2" in-line drip tubing to Xeribud emitters (XB-T-10-PC). See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch.
S	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL	

- XERIBUD EMITTERS:**
- 15 GAL 4 EMITTERS
  - 5 GAL 3 EMITTERS
  - 1 GAL 2 EMITTERS
  - 4" POT 1 EMITTERS



PRELIMINARY LANDSCAPE IRRIGATION PLAN  
1/10" = 1'-0"

**Builder's Studio**  
OF SEBASTOPOL  
555 SO MAIN STREET SUITE 1  
SEBASTOPOL, CALIFORNIA 95472  
OFFICE: (707) 827-3388 FAX: (707) 827-3253  
WWW.BUILDERSSTUDIOINC.COM  
CSL: 076243

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
		DESIGN REVIEW SUBMITTAL	JUN	JUN	MIS
		DESIGN REVIEW SUBMITTAL	JUN	JUN	MIS

**SCHOCH RESIDENCE  
LANDSCAPE PLAN**

1163 FIRST STREET  
SEBASTOPOL, CA 95472  
004-112-017

PRELIMINARY LANDSCAPE IRRIGATION PLAN

SHEET  
**L3.0**

PDF DATE: 05/13/2021

MAWA & ETWU: PRELIMINARY WATER USE CALCULATIONS

WELO Water Budget and Water Use Calculator						
INSTRUCTIONS: 1. Enter values in blue cells. Gray cells will automatically fill. 2. ET values will be calculated based on the conditions available here: <a href="http://www.water.ca.gov/Programs/Water-Use-And-Efficiency/How-Water-Use-Calculator">http://www.water.ca.gov/Programs/Water-Use-And-Efficiency/How-Water-Use-Calculator</a> 3. For full details on the calculator, visit the website: <a href="http://www.water.ca.gov/Programs/Water-Use-And-Efficiency/How-Water-Use-Calculator">http://www.water.ca.gov/Programs/Water-Use-And-Efficiency/How-Water-Use-Calculator</a> 4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.						
Date: 12/12/2021						
Project Name: SCHOCH RESIDENCE LANDSCAPE						
Project Contact: JESSICA NORLING						
Project Contact Email: JESSICANORLING@SEBASTOPOL.COM						
Maximum Applied Water Allowance (MAWA)	Project Type	ETc	Special Landscape Area (SLA)	Total Landscape Area Including SLA	MAWA (GPD)	
	Residential	43.0	348	5,760	86,635	
WWW.ETWU.COM (800) 927-6141 (1-877) 71-8441						
Estimated Total Water Use (ETWU)	ETc	(SF * PF) / IE	SLA	ETWU (GPD)		
	43.0	2,332	348	70,788		
ETWU (GPD) (1.842) * (348) = (SLA) Project meets water budget.						
Difference between MAWA and ETWU: 15,847						
ETWU Calculator (Regular Landscape Area)	Zone #	Description	Source Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	FRONT ENTRY	1,052	0.40	0.81	520
	2	TURF GRASS	2,170	0.30	0.75	870
	3	WALKWAY	457	0.40	0.81	228
	4	SPRINKLER	440	0.40	0.81	217
	5	PLANTING	134	0.30	0.81	50
	6	DECK PATIO	272	0.40	0.81	134
	7	DECK PATIO	890	0.30	0.75	356
	8					
	9					
Landscape area (not including SLA)			5,420			2,332
ETWU Calculator (Special Landscape Area (SLA))	Description	Source Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE		
	Edible planting area	348	1.0	348		
	Mulch and special soil area		1.0			
	Area irrigated with recycled water		1.0			
	Pool		1.0			
Total SLA			348	348		
Total Landscape Area (including SLA) from ETWU Calculation			5,760			

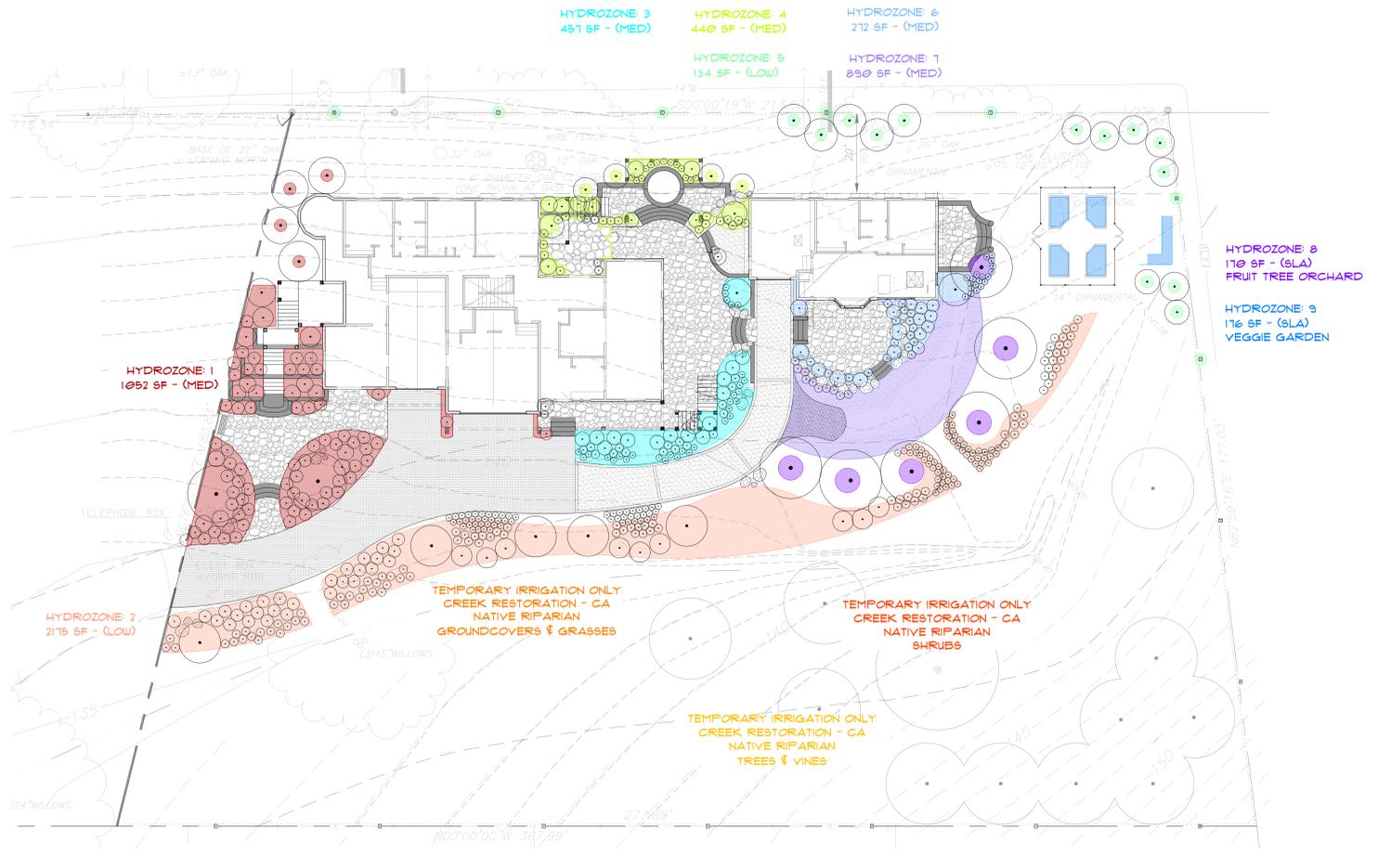
IRRIGATION NOTES

TOTAL LANDSCAPE AREA: 6,064 SF  
 WATER SUPPLY TYPE: POTABLE  
 LOCAL WATER PURVEYOR: CITY OF SEBASTOPOL  
 DEDICATED SERVICE METER OR PRIVATE SUB-METER: EXISTING (Ø FIRST ST.)  
 STATIC WATER PRESSURE: +/- 50-64 PSI  
 OPERATING WATER PRESSURE/RESIDUAL WATER PRESSURE: +/- 48-61 PSI  
 (NEAREST RECORDED ADDRESS - AS PER WATER SUPPLIER/ CITY OF SEBASTOPOL PUBLIC WORKS DEPT.)

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. THIS SYSTEM IS DESIGNED BASED ON AN APPROXIMATE OPERATING PRESSURE OF 50 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ONCE VERIFIED IN FIELD. (IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A MIN. OF 15-30 PSI PER DRIP VALVE, AND A MAX. FLOW RATE OF 7-8 GPM PER DRIP VALVE).
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- WATER LINES AND EQUIPMENT SHOWN IN PAVING (OR WITHIN BLDG.) ARE FOR GRAPHIC CLARITY ONLY, UNLESS OTHERWISE SPECIFIED. ALL EQUIPMENT SHALL BE LOCATED IN DESIGNATED PLANTING AREAS (TBD). ALL PIPING LOCATED WITHIN PAVING SHALL INCLUDE PROPERLY SIZED SLEEVING AND SHALL BE STRAIGHT-LINE W/ NO CONNECTIONS.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- CONTRACTOR SHALL FLUSH ALL LINES THOROUGHLY PRIOR TO INSTALLATION OF EMITTERS, AND INCLUDE A WHOLE-SYSTEM FILTER.
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

PLANTING NOTES

- CALL USA NORTH AT 811 PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO EXCAVATION.
- EXISTING TREES & PLANT PROTECTION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING PLANTS & SHRUBS LABELED AS "TO REMAIN". EXTREME CARE SHALL BE EXERCISED IN PROTECTING ALL HERITAGE TREES AND EXISTING LARGE OAK TREES (AS INDICATED ON THE UPDATED SURVEY PLANS).
- GRADING: ALL LANDSCAPE AREAS SHALL BE GRADED TO HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES (MIN. SLOPES AS PER CA BLDG. CODE); GRADED TO BLEND IN WITH SURROUNDING GRADES, AND TO PREVENT FLOODING. ROUGH-GRADING IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE PRIOR TO INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS - PRIOR TO INSTALLING SOIL AMENDMENTS.
- SOIL REPORT: AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL SUBMIT SOIL SAMPLES (NO LESS THAN ONE QUART OF SOIL PER SAMPLE) TO BE TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. (PROJECT PLANT LIST SHALL BE SUBMITTED TO SOIL LABORATORY WITH SAMPLES). RECOMMENDATIONS SHALL INCLUDE: GENERAL SOIL PREPARATION, COMPOST AND TOPSOIL, FERTILIZER RECOMMENDATIONS (PRIOR TO PLANTING, DURING ESTABLISHMENT, AND FOR LONG-TERM MAINTENANCE), AND ANY OTHER SOIL RELATED ISSUES. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY: THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
  - TURF (INCL. NO-MOW): INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
    - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
    - AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
    - AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
  - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 9" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
    - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
    - 12-12-12 FERTILIZER - 10 LBS PER CU. YD.
    - AGRICULTURAL GYPSUM - 10 LBS PER CU. YD.
    - IRON SULFATE - 2 LBS PER CU. YD.
- COMPOST: (AS PER SOIL REPORT RECOMMENDATIONS) FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST @ A RATE OF 4CY (MIN) PER 1,000SF OF PLANTING AREA - INCORPORATED TO A DEPTH OF 6". COMPOST SHALL BE FULLY COMPOSTED, STABLE, WEED-FREE, PH RANGE 5.5 - 8 WITH NO TOXIC SUBSTANCES. (GRAB N' GROW ORGANIC COMPOST" - OR SIMILAR, PH: #(10) 515-1215).
- TOPSOIL: (AS PER SOIL REPORT RECOMMENDATIONS) SHALL BE CERTIFIED SEED-FREE SANDY TO CLAY LOAM, FREE OF STONES OR ORGANIC DEBRIS LARGER THAN 1/2".
- FERTILIZER: (AS PER SOIL REPORT RECOMMENDATIONS) COMPOSITION AND RATE AS PER RECOMMENDATIONS OF SOIL TEST REPORT (FROM QUALIFIED SOIL TESTING AGENCY).
- PLANTS: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE. SUPPLY NURSERY-GROWN PLANTS IN COMPLIANCE WITH ANSI Z60.1. ALL PLANTS SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT FOR HEALTH AND VIGOR PRIOR TO ACCEPTANCE. IF ROOT SYSTEMS ARE FOUND TO BE UNHEALTHY IN ANY WAY UPON PLANTING A RETURN ORDER MUST BE COMPILED FOR RETURN TO THE GROWER (AT NO EXPENSE TO THE CLIENT). ALL CONTAINER AND BALLED-AND-BURLAPPED PLANTS SHALL BE PLANTED PER THE PLANTING DETAILS. WHERE HARDPAN, BEDROCK, EXCESSIVELY COMPACTED SOIL, OR OTHER IMPERMEABLE MATERIALS ARE ENCOUNTERED DURING EXCAVATION OF PLANTING FITS FOR TREES AND SHRUBS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY. THE LANDSCAPE ARCHITECT MAY PROVIDE ALTERNATE METHODS OR LOCATIONS FOR PLANTING TREES AND SHRUBS. ALL FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANT HOLES.
- MULCH: A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. ("ORGANIC ARBOR MULCH" - OR SIMILAR, GRAB N' GROW SOIL PRODUCTS, PH: #(10) 515-1215). "DOUBLE-GROUND" PREFERRED FOR FIRE PREVENTION. ALL NON-TURF PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- STEEL EDGING: AT EDGES OF GRAVEL PATHS OR TURFGRASS NOT BOUND BY HARDSCAPE, SHALL BE 1/2" X 4" WIDE. DO NOT USE STEEL EDGING AT FLAGSTONE STEPPING STONES.
- WATER FEATURES: N/A
- ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODES.
- GENERAL CLEAN-UP: DURING EXTERIOR PLANTING, KEEP ADJACENT PAVING AND WORK AREAS IN CLEAN AND ORDERLY CONDITION. REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY (OR AS DIRECTED BY OWNER).
- FINAL ACCEPTANCE:
  - UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, THAT THE OWNER PERFORM A FINAL INSPECTION. THE OWNER SHALL SCHEDULE A FINAL INSPECTION WITH THE CONTRACTOR TO ENSURE THAT ALL WORK HAS BEEN COMPLETED ACCORDING TO THE PLANS. THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE OWNER HAS PROVIDED WRITTEN ACCEPTANCE OF THE WORK.
  - IF THE OWNER DEEMS THAT ANY PORTION OF THE WORK IS UNACCEPTABLE, THE CONTRACTOR SHALL REPAIR OR REPLACE, AT THE CONTRACTOR'S EXPENSE, THOSE PORTIONS DEEMED UNACCEPTABLE TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH THE PLANS.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) COPIES OF "AS-BUILT" RECORD DRAWINGS TO THE OWNER. "AS-BUILT" DRAWINGS SHALL CONSIST OF COPIES OF THE ORIGINAL PLANS WITH ALL CHANGES THAT OCCURRED DURING CONSTRUCTION MARKED ON THEM IN A PERMANENT FASHION USING RED INK.
- 90 DAY MAINTENANCE PERIOD: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE BY THE OWNER. THIS SHALL INCLUDE WEEKLY VISITS FOR THE FOLLOWING TASKS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE IRRIGATION SYSTEM SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION.
- 1-YR. QUALITY GUARANTEE: THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME DUE TO CAUSES OTHER THAN OVERWATERING OR OTHER HUMAN ACTIONS DURING THE INTERIM, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. ALL TREE STAKES SHALL BE REMOVED AFTER ONE YEAR, EXCEPT IN AREAS THAT EXPERIENCE HEAVY WINDS.



HYDROZONE MAP:  
1/16" = 1'-0"



**Builders Studio**  
 OF SEBASTOPOL  
 555 SO. MAIN STREET SUITE 1  
 SEBASTOPOL, CALIFORNIA 95472  
 OFFICE: (707) 827-3388 FAX: (707) 827-3253  
 WWW.BUILDERSSTUDIOINC.COM  
 CSL: 072643

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REV.	DATE	DESCRIPTION	DESIGNER	DRAWN	CHECKED
		DESIGN REVIEW SUBMITTAL	JN	JN	MS

**SCHOCH RESIDENCE  
 LANDSCAPE PLAN**  
 163 FIRST STREET  
 SEBASTOPOL, CA 95472  
 004-112-011

PRELIMINARY  
 WATER USE  
 CALCULATIONS

SHEET  
**L4.0**

PDF DATE: 05/13/2021



1 MAIN RESIDENCE FRONT ELEVATION

**NOTE:** FOR INFORMATION NOT NOTED PLEASE REFER TO ARCHITECTURAL OR LANDSCAPE SHEETS AND ACCOMPANYING NOTES FOR ADDITIONAL DETAILS REGARDING FINISHES, MATERIALS, LOCATIONS AND HEIGHTS.

FOR '1E' PLEASE SEE ATTACHED SEPARATELY 8.5X11 CUT-SHEETS FOR BULB AND SENSOR INFORMATION.

PLEASE NOTE A CHANGE IN MATERIALS MAY REQUIRE RESUBMITTAL AND REVIEW FROM PLANNING BEFORE BUILDING PERMIT CAN BE FINALIZED.



1E EXTERIOR LIGHT FIXTURE  
W/ TESLAR OR EQUIVELANT LED BULB 4.5  
WATTS (3) PER FIXTURE

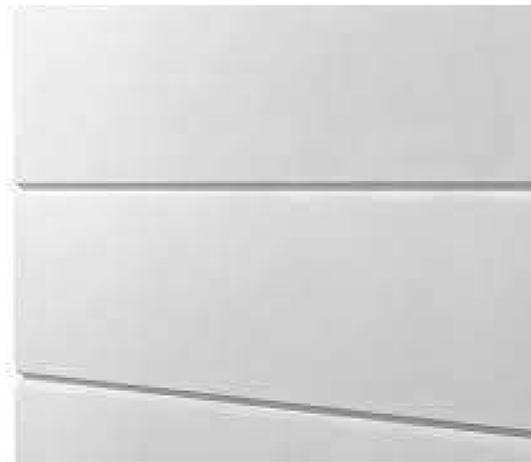


WITH OR WITHOUT CAP PER LANDSCAPE  
DRAWINGS



'New England' STONE VENEER  
OVER CONCRETE

1L RETAINING & LANDSCAPE WALLS  
SEE LANDSCAPE PLANS  
FOR LOCATIONS



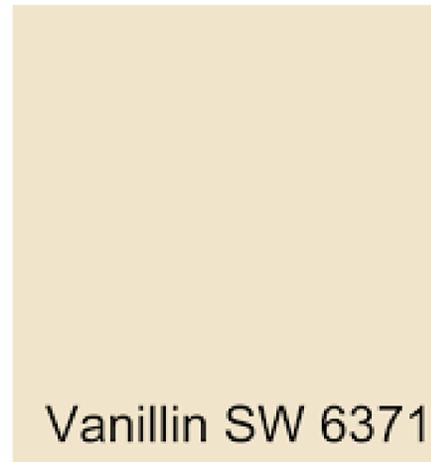
A SIDING STYLE - 'James Hardie' Horizontal Siding  
'JH' HORIZONTAL V-GROOVE SIDING



B LOWER SIDING - Stone Veneer  
'New England' Stone



C WINDOW STYLE  
'MARVIN' ELEVATE - WHITE

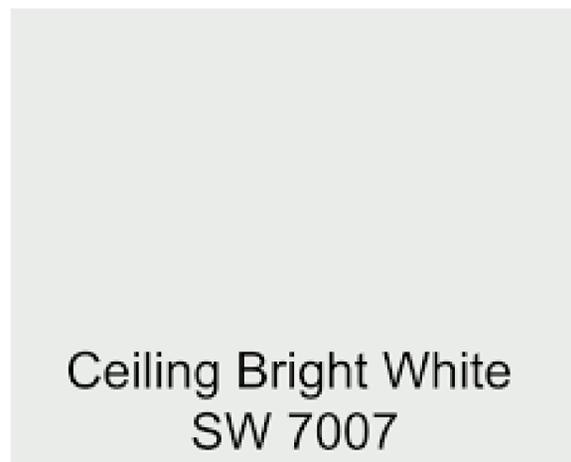


D BASE COLOR  
Sherwin-Williams 'Vanillin' SW6371



Rustic Craftsman Wood Stain  
Weather Gray

E SPA TRELLIS STAIN  
SEE ARCHITECTURAL PLANS  
FOR TRELLIS LOCATION



F TRIM - TRELLIS - RAILING COLOR  
Sherwin-Williams Ceiling Bright White SW 7007



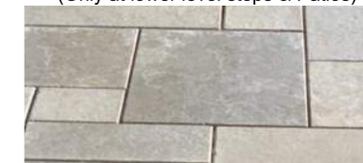
G DOOR COLOR  
Sherwin-Williams Festoon Aqua SW 0019



H ROOFING - Asphalt Shingle  
Dark Grey w/ 'Architctural' Shingle



Idaho Gold Quartzite  
(Only at lower level steps & Patios)



'Road' TILE at steps and porch decks

I PATIO AND STAIR SURFACE  
SEE ARCHITECTURAL AND LANDSCAPE  
PLANS FOR LOCATIONS



MAIN DRIVEWAY (Permeable)  
Techo-Bloc 'Pure' Paver in Sandlewood color (Or Similar)

J DRIVEWAY SURFACE  
SEE LANDSCAPE PLANS  
FOR PAVER DESIGNATIONS & LOCATIONS



TURN AROUND AT ADU  
Lunix Eco permeable pavement (Or Similar)



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WWW.BUILDERSSTUDIOINC.COM  
CSL: 878243

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CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.

**SCHOCH RESIDENCE**  
New Residence and ADU  
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

DATE: 5/13/21

Sheet

**A-DR1**

Scale



**Builders Studio**  
 OF SEBASTOPOL  
 555 SO. MAIN STREET SUITE 1  
 SEBASTOPOL, CALIFORNIA 95472  
 OFFICE: (707) 827-3388 FAX: (707) 827-3253  
 www.BUILDERSSTUDIOINC.com  
 CSL: 878243

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 Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

**SCHOCH RESIDENCE**  
**New Residence and ADU**  
 7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

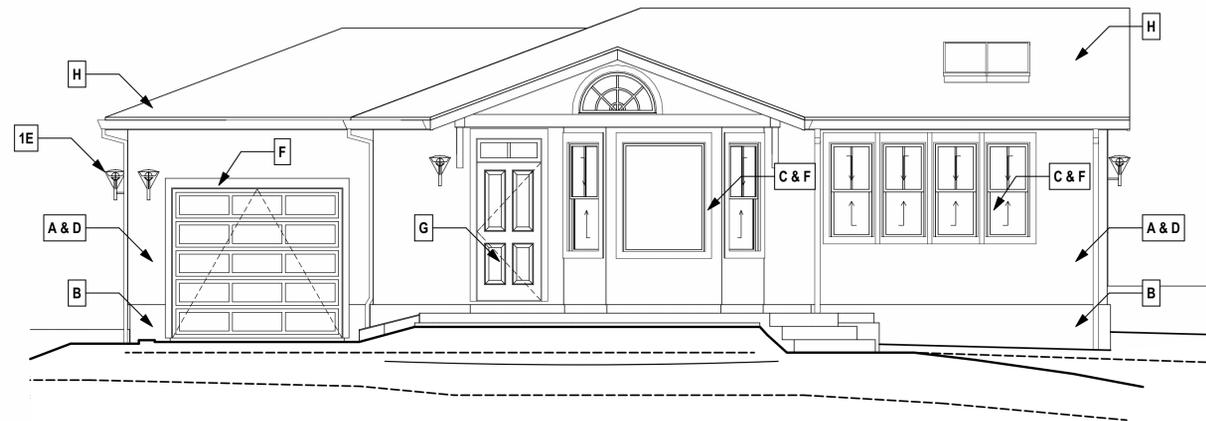
DATE: 5/13/21

Sheet  
**A-DR2**  
 Scale

**NOTE:** FOR INFORMATION NOT NOTED PLEASE REFER TO ARCHITECTURAL OR LANDSCAPE SHEETS AND ACCOMPANYING NOTES FOR ADDITIONAL DETAILS REGARDING FINISHES, MATERIALS, LOCATIONS AND HEIGHTS.

FOR '1E' PLEASE SEE ATTACHED SEPARATELY 8.5X11 CUT-SHEETS FOR BULB AND SENSOR INFORMATION.

PLEASE NOTE A CHANGE IN MATERIALS MAY REQUIRE RESUBMITTAL AND REVIEW FROM PLANNING BEFORE BUILDING PERMIT CAN BE FINALIZED.



1 ACCESSORY DWELLING UNIT FRONT ELEVATION



1E EXTERIOR LIGHT FIXTURE  
 W/ TESLAR OR EQUIVELANT LED BULB 4.5 WATTS (3) PER FIXTURE



WITH OR WITHOUT CAP PER LANDSCAPE DRAWINGS



'New England' STONE VENEER OVER CONCRETE

1L RETAINING & LANDSCAPE WALLS  
 SEE LANDSCAPE PLANS FOR LOCATIONS



A SIDING STYLE - 'James Hardie' Horizontal Siding  
 'JH' HORIZONTAL V-GROOVE SIDING



B LOWER SIDING - Stone Veneer  
 'New England' Stone



C WINDOW STYLE  
 'MARVIN' ELEVATE - WHITE

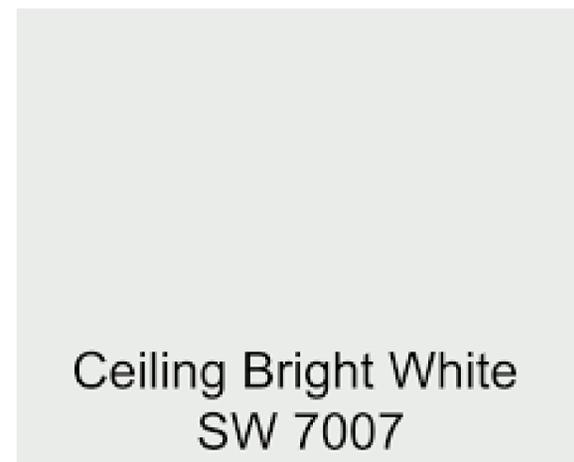


D BASE COLOR  
 Sherwin-Williams 'Vanillin' SW6371



WEATHERED GRAY  
 Varathane  
 Rustic Craftsman Wood Stain  
 Weather Gray

E SPA TRELLIS STAIN  
 SEE ARCHITECTURAL PLANS FOR TRELLIS LOCATION



F TRIM - TRELLIS - RAILING COLOR  
 Sherwin-Williams Ceiling Bright White SW 7007



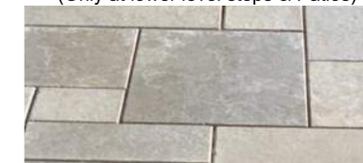
G DOOR COLOR  
 Sherwin-Williams Festoon Aqua SW 0019



H ROOFING - Asphalt Shingle  
 Dark Grey w/ 'Architctural' Shingle



Idaho Gold Quartzite  
 (Only at lower level steps & Patios)



'Road' TILE at steps and porch decks

I PATIO AND STAIR SURFACE  
 SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR LOCATIONS



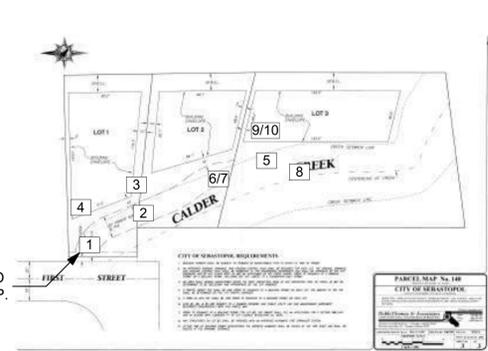
ADU DRIVEWAY  
 3/8" ANGULAR CRUSHED GRANITE W/ EDGE



TURN AROUND AT ADU  
 Lunix Eco permeable pavement (Or Similar)

J DRIVEWAY SURFACE  
 SEE LANDSCAPE PLANS FOR PAVER DESIGNATIONS & LOCATIONS

**NOTE:** PHOTOS TAKEN ONSITE 4/27/2021 AT APPROXIMATELY 3:30PM ON A SUNNY AND CLEAR DAY.



APPROXIMATE PHOTO LOCATION, TYP.

LOCATION MAP



**Builders Studio**  
OF SEBASTOPOL  
555 SO. MAIN STREET SUITE 1  
SEBASTOPOL, CALIFORNIA 95472  
OFFICE: (707) 827-3388 FAX: (707) 827-3253  
WWW.BUILDERSSTUDIOINC.COM  
CSL: 878243

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



1 PROPERTY ENTRANCE



2 EXISTING ASPHALT DRIVEWAY (SOUTH)



3 EXISTING VEGETATION AND TREES



4 EXISTING NORTH PROPERTY LINE



5 PROPOSED PROJECT LOCATION



6 EXISTING ASPHALT DRIVEWAY (NORTH)



7 END OF (E) DRIVEWAY



8 PROPOSED PROJECT LOCATION (SOUTH)



9 PROPOSED PROJECT LOCATION (S/E)



10 PROPOSED PROJECT LOCATION (SOUTH)

**SCHOCH RESIDENCE**  
New Residence and ADU  
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

DATE: 5/13/21

Sheet  
**A-DR3**

Scale

Builders Studio of Sebastopol  
555 S. Main Street  
Sebastopol, Ca  
May 26th, 2021  
Schock Residence



**SANDBORN**  
Tree Service Inc.  
Since 1975

Schock Residence  
763 First Street Sebastopol, Ca 95472

To Whom it may concern,

1. *Quercus garryana* (Oregon White Oak) 13.8" d.b.h. north + 13.9" d.b.h. south.  
Tree is shared with the north neighbor. Structure is fair, vitality good - Raise over drive to 15' high.
2. *Quercus agrifolia* (California Live Oak) 16" d.b.h. ± just south of south neighbor's fence at driveway entrance. Structure is fair, vitality is good - Raise crown to 15' over drive.
3. *Salix* sp. (Creek Willow) 4'+ d.b.h., forks at 4' ± high into five large (30" diameter +) trunks, all of which have been broken at heights from 20'-35'. The tree is rooted on the creek channel approximately 40' east of the south neighbor's house.  
Structure is poor, vigor is poor. Removal is recommended. If the tree is retained, reduce its height to stubs 8'-10' tall, monitor response growth.
4. *Quercus kelloggii* (California Black Oak) 27.5" d.b.h. x 30' high. Vigor is fair, structure is poor. The tree previously forked into 5'-6' x 12" ± diameter leaders from 5'-7' high on the trunk. Pruning occurred in the past which removed all but one 12" diameter fork which bows heavily to the west. The old pruning wounds will inevitably coalesce into joining cavities which will (if they haven't already) render the remaining leader subject to failure. As it targets the house, removal is recommended.
5. *Quercus kelloggii* (California Black Oak) 19.3", 28.4", 10.3", 16.5", 17.2", 22.3", 13.3" d.b.h. large spreading multi (7) trunked tree, apparently was cut to the ground 6-10 decades ago. The resultant response growth has grown to 50'+ tall and spreads 40' east, west and south. Vitality is good while structure is poor due to the multiple co-dominant leaders. The tree is located 6' east of the proposed house and 40' west of the east neighbor's house. It requires substantial crown

raising on the west to accommodate the roof and requires clearance for fire suppression vegetation management. It will require several large branches to be removed from the east side to acquire a semblance of balance. It may require significant root pruning to install the foundation at the back of the house. It also targets the proposed house, as well as east neighbor's deck and house. It is recommended to Excavate the trunk for the foundation beneath the tree by hand, air or water, exposing all roots encountered. Once the Arborist has inspected the roots to be pruned at the sites where they are to be pruned, he/she is to determine a pruning or removal strategy for the tree.

6. *Quercus garryana* (Oregon White Oak) 11.3"d.b.h. x 20' high. Vitality is good structure is fair to poor. The tree is oddly shaped, growing approximately 12' northeast of #5 and constantly in its shadow. It leans hard to the east and at 10' above ground grows back to the north in search of sunlight. It requires no special protection as root pruning is anticipated to be of minimal effect on its root system. It targets the neighbor's back yard which shows no evidence of use.
7. *Quercus garryana* (Oregon White Oak) 10.4"d.b.h. x 16' high. This tree is encapsulated by #6 and grows to the southwest beneath the crown of #5. It requires removal to accommodate the roof of the proposed house.
8. *Quercus kelloggii* (California Black Oak) 28" diameter x 50' high, rooted on or near the east property line. This tree has good vigor and fair to poor structure as it is response growth from ancient removal. Previously removed shoots have created several basal cavities. It is rooted 12' east of the proposed structure. With mitigation pruning, anticipated root pruning should not impact the trees anchorage unduly. The crown should be pruned to clean out deadwood and reduce end weight of overburdened branches, as they target the propose structure and two east neighbor's back yard.
9. *Quercus garryana* (Oregon White Oak) 5.9" d.b.h. x 15' tall. This tree is rooted 5' south of #8. It has good vigor and structure. It is not anticipated to suffer the effect of root pruning.
10. *Quercus kelloggii* (California Black Oak) 20"d.b.h. x 45' high ±. Vitality is good, structure is poor. This tree is rooted in the extreme southwest corner of the east neighbor's back yard on Schock property. It leans heavily to the south. Its 18" diameter central leader was headed at 20' above the ground over the east neighbor's back yard. A 14" diameter branch forks off the central leader at 8' high,

and grows at a slight upward angle towards the southwest where it rests on another Black Oak. It is recommended for removal or pruning to minimize overloading the propping Oak. Construction impacts should be minimal.

11. *Quercus garryana* (Oregon White Oak) 9.1"d.b.h. x 20' high. Tree is rooted 15' south of the east neighbor's south fence and 2' west of the southeast neighbor's west fence. It grows in the shadow of tree #8. Its structure is poor, unbalanced. Its vitality is good. Pruning is recommended to minimize imbalance.
12. *Prunus prunus* (escaped exotic plum) 7.2"d.b.h. x 30' high. Tree has good vitality and poor structure. It leans into and grows up through the commingled crowns of #10 and #13, two Black Oaks worthy of retention. It detracts from and competes with both trees. Removal is recommended.
13. *Quercus kelloggi* (California Black Oak) 20" d.b.h., 50'± high, 12' southwest of #11. It is single trunked as it is the dominant stump sucker of the response grown from an ancient removal. It forks into three at 8' high. The dominant fork is reasonably upright with a lean to the east and has been pruned heavily on that side. There is a 12" diameter branch growing vertical then pendulous to the west drooping fairly low over the proposed building. That branch supports another growing north from a Black Oak 20' south. Additionally, an escaped exotic plum grows from 10' north up into the crown of the Black Oak. The Black oak has good vigor and weak structure due to the west growing branch. It is recommended to prune to clean crown to  $\geq 1/4$ " diameter branch size, raise and reduce the west growing branch. Remove the plum.
14. *Quercus kelloggi* (California Black Oak) has four main forks at ground level due to ancient removal of the parent tree. This tree is rooted 20' south of #13 and 12' west of the east fence. It leans and is heavily weighted on the west, south and north quadrants. All four main forks are co-dominant leaders with embedded bark. The south growing fork (16.5"d.b.h.) has a large (10" wide x 4' long) tear at the branch union 20' high. The north fork (9.2"d.b.h.) is supported by a west growing branch from tree #13. The smaller (11.6") fork grows low and to the west. The largest (20.2"d.b.h.) fork grows west leaning to 60' tall. The three smaller forks are severely overburdened and at risk of failure. As such, structure is poor. Recommendation is to prune to the south fork to as stub just below the tear at 20', removing its upper branch. Reduce end weight of its lower branch significantly. Raise lower branches on the lower middle fork and reduce it to the

3" upright near its terminus. Prune the north fork off at its attachment near ground level. Prune the parent branch to clean the crown to  $\geq 1/4$ " diameter, reduce end weight of all its branches.

15. Malus species variety unknown, appears to be stump suckers located 15' south of #14. Probably not fruiting or attractive. Removal is recommended.
16. Malus species Gravenstein 14.6" d.b.h.. The trunk is hollow from ground level to 5.5' high. It is long, un-pruned but has fruit. It could be kept as a landscape feature. Removal is a more practical option as its shady location (40' southwest of #14) requires height to capture sun and most fruit grows 15'-18' high. Vitality is good while structure is poor. Removal is recommended.

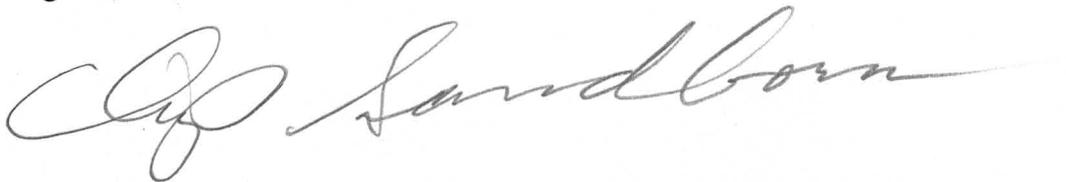
### **Recommended tree protection for trees #5-#14**

Tree protection, principally root protection for this project is essential to the survivability structural future and anchorage of these trees. The minimal distance from the east foundation wall and the trunks of the trees presumes extensive root removal may be necessary. Before any tree care measures are undertaken, I recommend to use a combination of hand labor, water (vac truck) and/or pneumatic (air spade) to excavate the trench for the east foundations in order to expose any roots that need to be cut for the installation. Once completed, the arborist should then examine the roots to make a determination of whether individual trees should be retained or removed based on their number, size and etc.. They should also consider other pruning or removal needs and the likelihood of long term structural integrity, vitality, and survivability.

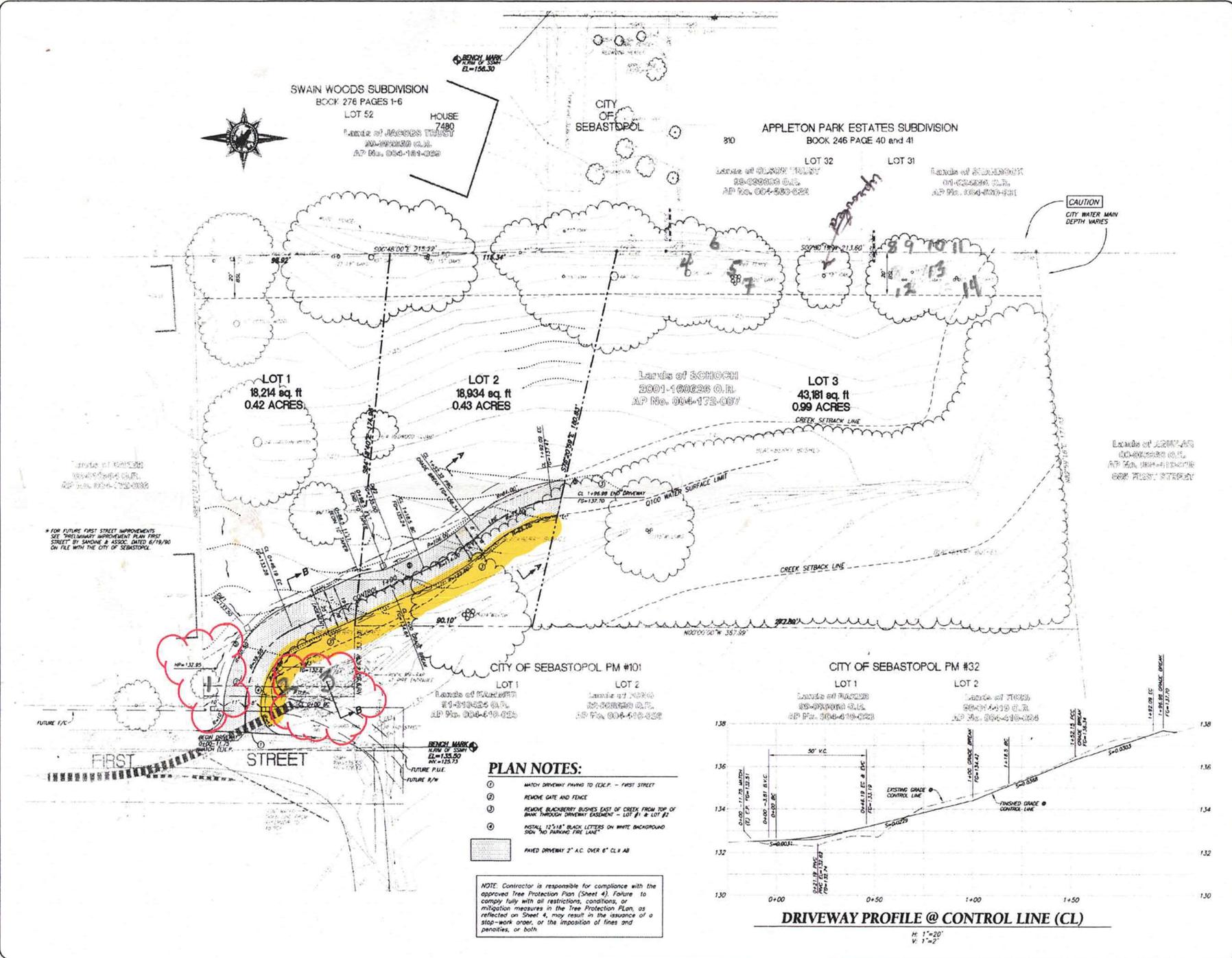
Assuming retention, prune as indicated above. Additionally apply a  $\geq 6$ " deep layer of woody mulch (chips, arbormulch or equivalent) from the foundation trenches to the east property line, as well as around to the south and west of tree #14 beyond its dripline. Perform all construction when soil is dry. These measures are to minimize soil compaction. Install temporary but sturdy fencing from the east property line on the north side of the dripline of tree #5, 1'-2' west of the tree nearest the trench and south to encompass the dripline of tree #14 (as practical, considering access needs for construction). Trees #1-#3 need no additional protection as they are sufficiently far enough from the site to exclude them from potential construction impacts. Tree roots and their mycorrhizal associations are essential to the trees' vitality, survivability, anchorage, structural integrity and aesthetics. They are susceptible to soil compaction, cuts, fills, severing, debarking, and equipment damage. Use methods and equipment that minimize the effects of construction whenever possible as a very large percentage of these trees roots are in harms way

from this project. If root pruning is necessary, make pruning cuts with a sharp saw on all roots greater than 2" diameter. Additional measures such as irrigation, fertilization or alternative pruning may be recommended as determined by the onsite Arborist.

Regards,

A handwritten signature in cursive script that reads "Chip Sandborn". The signature is written in black ink and is positioned below the word "Regards,".

Chip Sandborn, Certified Arborist  
ISA WE#0177A



SWAIN WOODS SUBDIVISION  
BOOK 276 PAGES 1-6  
LOT 52

HOUSE  
7480

PARCELS of JACOBS TRACT  
UN-RECORDED O.R.  
AP No. 004-184-028

CITY OF SEBASTOPOL

APPLETON PARK ESTATES SUBDIVISION  
BOOK 246 PAGE 40 and 41

LOT 32

LOT 31

PARCELS of CLARKY TRACT  
UN-RECORDED O.R.  
AP No. 004-500-022

PARCELS of SCHROCH TRACT  
UN-RECORDED O.R.  
AP No. 004-400-031

CAUTION  
CITY WATER MAIN  
DEPTH VARIES

LOT 1  
18,214 sq. ft.  
0.42 ACRES

LOT 2  
18,934 sq. ft.  
0.43 ACRES

LANDS of SCHROCH  
2001-100226 O.R.  
AP No. 004-172-007

LOT 3  
43,181 sq. ft.  
0.99 ACRES

LANDS of SCHROCH  
UN-RECORDED O.R.  
AP No. 004-172-008  
SEE PLAN SHEET

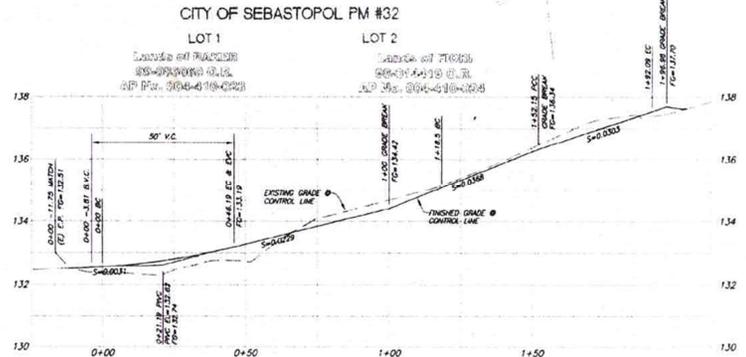
\* FOR FUTURE FIRST STREET IMPROVEMENTS  
SEE "FIRST STREET IMPROVEMENT PLAN FIRST  
STREET" BY SANDER & ASSOC. DATED 6/19/90  
ON FILE WITH THE CITY OF SEBASTOPOL.

**PLAN NOTES:**

- ① MATCH DRIVEWAY FINISH TO C&G.P. - FIRST STREET
  - ② REMOVE GATE AND FENCE
  - ③ REMOVE BLACKBERRY BUSHES EAST OF CREEK FROM TOP OF BANK THROUGH DRIVEWAY EXISTENCE - LOT #1 & LOT #2
  - ④ INSTALL 12"x18" BLACK LETTERS ON WHITE BACKGROUND 300' TO PARKING TRAIL
- PAVED DRIVEWAY 2" AC OVER 6" CL & AB

NOTE: Contractor is responsible for compliance with the approved Tree Protection Plan (Sheet 4). Failure to comply fully with all restrictions, conditions, or mitigation measures in the Tree Protection Plan, as reflected on Sheet 4, may result in the issuance of a stop-work order or the imposition of fines and penalties, or both.

**DRIVEWAY PROFILE @ CONTROL LINE (CL)**



DATE	11 JUNE 2002
BY	APPROVAL
DATE	DATE

PREPARED BY  
**STEVEN, THOMAS, LISA & DAVID SCHOCH CO**  
STEVEN SCHOCH  
CIVIL ENGINEER  
SANTA ANE, CA 94086  
(408) 732-4479

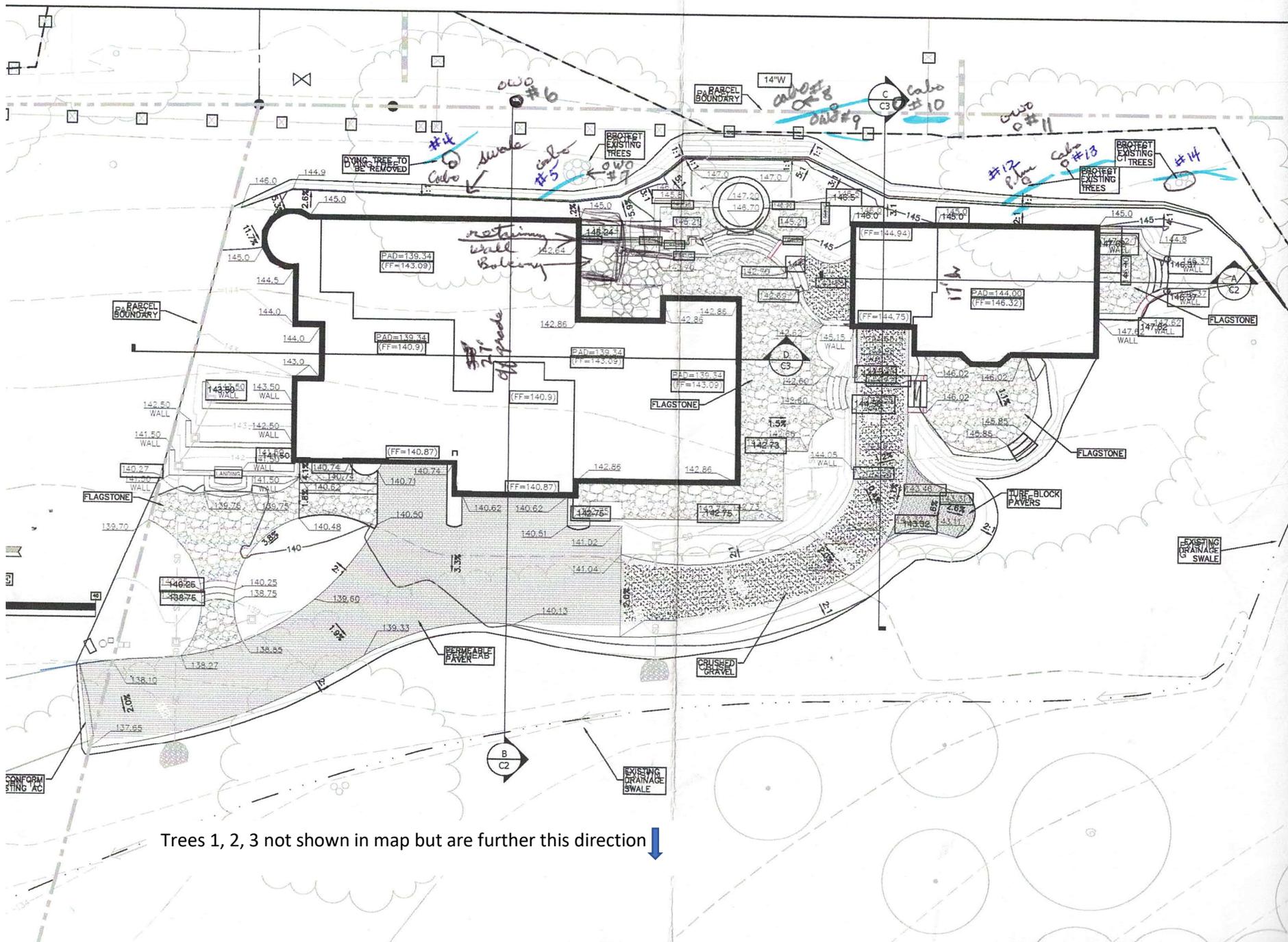
PROJECT DESCRIPTION  
**SCHROCH MINOR SUBDIVISION**  
745 FIRST STREET  
SEBASTOPOL, CA 95422  
AP No. 004-172-007

SHEET DESCRIPTION  
**GRADING PLAN - DRIVEWAY PLAN**

PAUL L. SCHOCH  
CONSULTING CIVIL ENGINEER  
P.O. BOX 1287 SEBASTOPOL, CA 95413 (707) 821-4800

*Paul L. Schoch*  
11/10/02  
11/10/02  
11/10/02

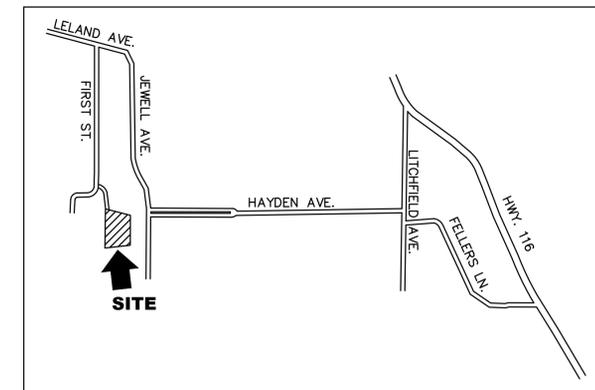
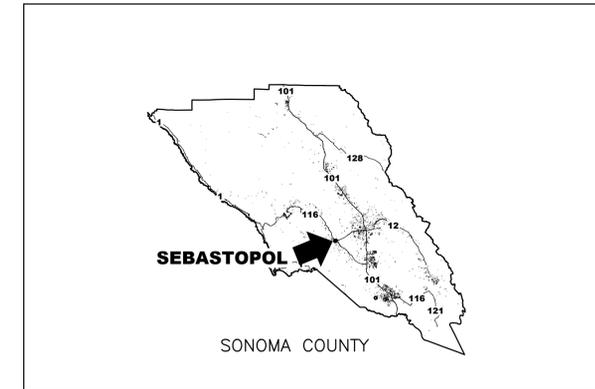
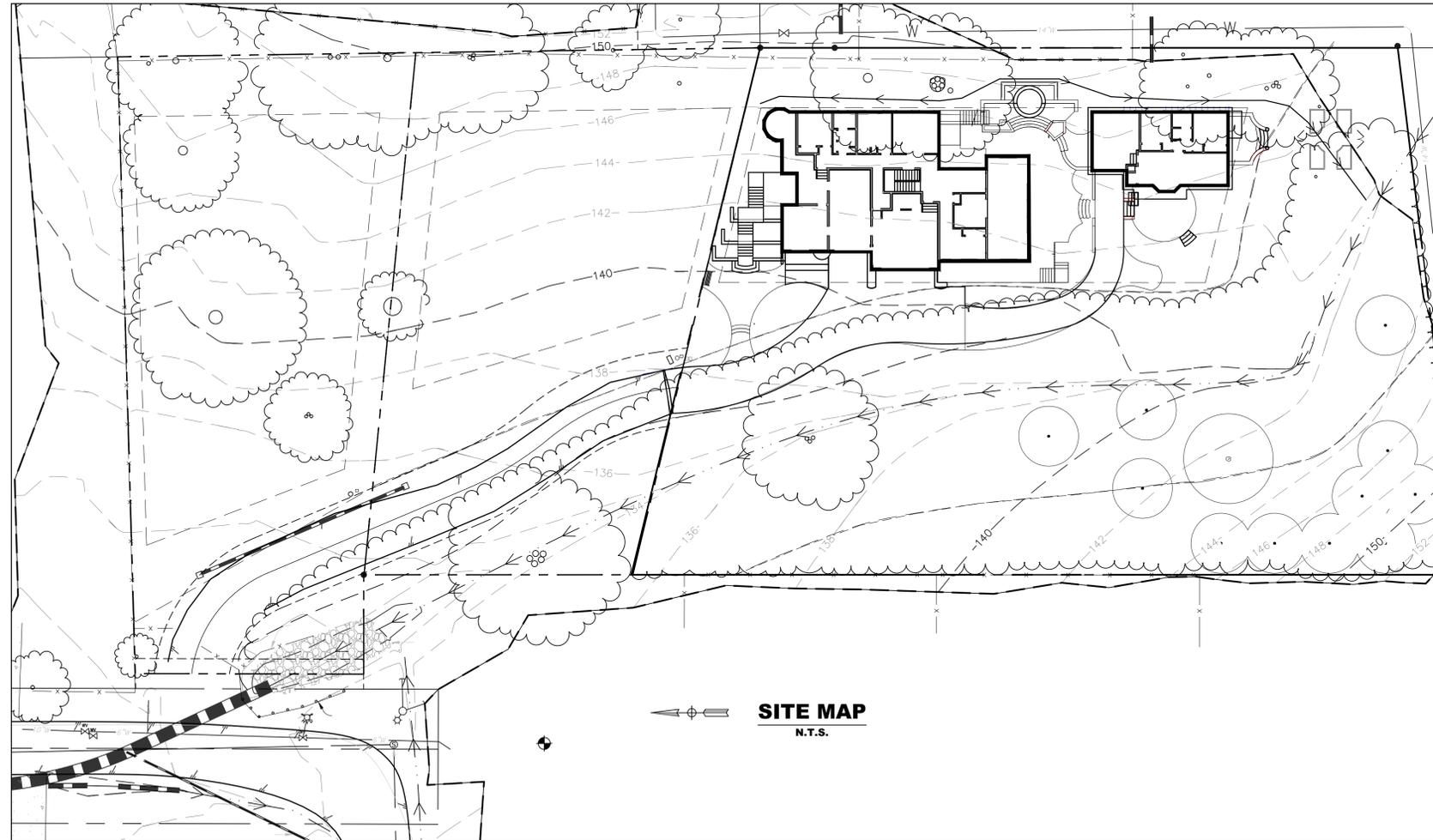
SCALE	1"=20'
DRAWN BY	VRG/KG
CHECKED BY	P.L.S.
FILE NO.	0402-05
SHEET NO.	5



Trees 1, 2, 3 not shown in map but are further this direction ↓

# GRADING, DRAINAGE AND EROSION & SEDIMENT CONTROL PLAN

SCHOCH RESIDENCE  
 7XX FIRST STREET, SEBASTOPOL, CALIFORNIA, 95472  
 AP NO. 004-172-017



## LEGEND / ABBREVIATIONS

	BOUNDARY LINE
	CONTOUR LINE (ONE FOOT INTERVALS)
	FENCE LINE (WIRE)
	TREE DRIPLINE/EDGE OF VEGETATED AREA
	BUILDING LINE
	CONCRETE SURFACE
	ASPHALT SURFACE
	STRAW MULCH WITH SEED
	SILT FENCE
	FIBER ROLLS
CP	CONTROL POINT
EL	ELEVATION
SSCO	SANITARY SEWER CLEAN-OUT
GAS REG	GAS REGULATOR
RET	RETAINING

## SHEET INDEX

G0.0	COVER SHEET
G0.1	ABBREVIATIONS AND LEGENDS
G0.2	GENERAL NOTES
S1.0	TOPOGRAPHIC SURVEY MAP
C1.0	GRADING PLAN AND EARTHWORK
C2.0	CROSS SECTIONS
C2.1	CROSS SECTIONS
C3.0	UTILITY PLAN
C4.0	EROSION AND SEDIMENT CONTROL PLAN
C4.1	EROSION AND SEDIMENT CONTROL DETAILS
C4.2	EROSION AND SEDIMENT CONTROL DETAILS

## PURPOSE STATEMENT:

DEVELOP A GRADING, DRAINAGE & EROSION CONTROL PLAN FOR THE PROPOSED RESIDENCE.

**LACO**  
 EUREKA • UKIAH • SANTA ROSA • CHICO  
 1-800-515-5054 www.lacoassociates.com

NO.	HISTORY / REVISION	BY / CHK.	DATE

SCHOCH RESIDENCE  
 7XX FIRST STREET  
 SEBASTOPOL, CA 95472

**COVER SHEET**

**DRAFT**

DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	7/19/2021
JOB NUMBER	9884.00
DRAWING	G0.0

July 20, 2021 11:03am  
 T:\customers\8800\9884\00 Builders\Buser\DWG\ 9884.dwg soil\_borders.dwg

## ABBREVIATIONS

<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
AB - AGGREGATE BASE ABON - ABANDONED AC - ASPHALT CONCRETE ACP - ASBESTOS CEMENT PIPE ACI - AMERICAN CONCRETE INSTITUTE AG - AGGREGATE APPROX - APPROXIMATELY ASTM - AMERICAN SOCIETY FOR TESTING & MATERIALS @ - AT	BC - BEGIN CURVE BCR - BEGIN CURB RETURN BF - BLIND FLANGE BFV - BUTTERFLY VALVE BLDG - BUILDING BM - BENCH MARK BOT - BOTTOM BRG - BEARING BTWN - BETWEEN BVC - BEGINNING OF VERTICAL CURVE BW - BOTTOM OF WALL	GATV - CABLE TELEVISION CB - CATCH BASIN CEIL - CEILING CFM - CUBIC FEET PER MINUTE CI - CAST IRON CIP - CAST IRON PIPE C.I.P. - CAST-IN-PLACE CJ - CONSTRUCTION JOINT CL - CENTERLINE CL <sub>c</sub> - CLEAR CMP - CORRUGATED METAL PIPE CMU - CONCRETE MASONRY UNIT CO - CLEANOUT CONC - CONCRETE CONT - CONTINUOUS COORD - COORDINATE CP - SURVEY CONTROL POINT CPLG - COUPLING CTR - CENTER CU FT - CUBIC FEET CV - CHECK VALVE CW - COLD WATER CY - CUBIC YARD	DBL - PENNY (NAIL SIZE) DBL - DOUBLE DI - DRAINAGE INLET DIA - DIAMETER DIAG - DIAGONAL DIM - DIMENSION DIP - DUCTILE IRON PIPE DRWY - DRIVEWAY DWG - DRAWING	<E> - EXISTING EA - EACH EC - END CURVE ECR - END CURB RETURN EF - EACH FACE EL - ELBOW ELEC - ELECTRIC OR ELECTRICAL ELEV - ELEVATION ENGR - ENGINEER EP - EDGE OF PAVEMENT EQ - EQUAL EQUIP - EQUIPMENT EVC - END OF VERTICAL CURVE EW - EACH WAY EXC - EXCAVATE EXP JT - EXPANSION JOINT EXT - EXTERIOR	FCA - FLANGE COUPLING ADAPTER FC - FACE OF CURB FF - FINISHED FLOOR FG - FINISHED GRADE FH - FIRE HYDRANT FIN - FINISH FL - FLOW LINE FLG - FLANGE FLR - FLOOR FS - FINISHED SURFACE FT - FOOT FT <sup>2</sup> - SQUARE FEET FT <sup>3</sup> - CUBIC FEET FTG - FOOTING
<b>G</b>	<b>H</b>	<b>J</b>	<b>K</b>	<b>L</b>	<b>M</b>
G - GAS GALV - GALVANIZED GIP - GALVANIZED IRON PIPE GPM - GALLONS PER MINUTE GRD - GRADE GSP - GALVANIZED STEEL PIPE GV - GATE VALVE	HB - HOSE BIBB HDR - HEADER HP - HORSEPOWER HORIZ - HORIZONTAL HT - HEIGHT HW - HOT WATER	JT - JOINT JP - JOINT POLE	KIP - THOUSAND POUNDS KW - KILOWATT	∠ - ANGLE (DEGREES) LB - POUND LF - LINEAR FEET LG - LONG LT - LEFT	MATL - MATERIAL MAX - MAXIMUM MECH - MECHANICAL MFR - MANUFACTURER MH - MANHOLE MIN - MINIMUM MISC - MISCELLANEOUS MJ - MECHANICAL JOINT MTL - METAL
<b>R</b>	<b>S</b>	<b>T</b>	<b>U</b>	<b>V</b>	<b>W</b>
R - RADIUS RC - RELATIVE COMPACTION RCP - REINFORCED CONCRETE PIPE RD - ROAD RDCR - REDUCER RDWD - REDWOOD REQD - REQUIRED RM - ROOM RSP - ROCK SLOPE PROTECTION RT - RIGHT RW - RIGHT-OF-WAY	SL - SLOPE SCHED - SCHEDULE SD - STORM DRAIN SDMH - STORM DRAIN MAN HOLE SECT - SECTION SHT - SHEET SIM - SIMILAR SPEC - SPECIFICATIONS SQ - SQUARE SQ FT - SQUARE FOOT SQ IN - SQUARE INCH SS - SANITARY SEWER SSMH - SEWER SYSTEM MAN HOLE STA - STATION STD - STANDARD STL - STEEL SW - SIDEWALK SYMM - SYMMETRICAL	T - TELEPHONE TAN - TANGENT T&B - TOP AND BOTTOM T&G - TONGUE AND GROOVE TBM - TEMPORARY BENCH MARK TC - TOP OF CURB TELEM - TELEMETRY TEMP - TEMPERATURE OR TEMPORARY THD - THREAD TOC - TOP OF CONCRETE TOG - TOP OF GRATE TOF - TOP OF FOOTING TOW - TOP OF WALL TP - TOP OF PAVEMENT OR TELEPHONE POLE <TYP> - TYPICAL	UBC - UNIFORM BUILDING CODE UOS - UNLESS OTHERWISE SPECIFIED UG - UNDERGROUND UTIL - UTILITY UP - UTILITY POLE	V - VOLT VC - VERTICAL CURVE VCP - VITRIFIED CLAY PIPE VERT - VERTICAL VPI - VERTICAL POINT OF INTERSECTION	WM - WATER METER WSP - WELDED STEEL PIPE WV - WATER VALVE
<b>X</b>	<b>Y</b>	<b>Z</b>	<b>Q</b>	<b>QTY</b>	
XFMR - TRANSFORMER	YD - YARD YD <sup>2</sup> - SQUARE YARD YD <sup>3</sup> - CUBIC YARD		Q - QUANTITY		

## NOTES:

- CONTACT THE ENGINEER FOR SYMBOLS NOT LISTED.
- THIS IS A STANDARD SHEET, THEREFORE SOME SYMBOLS OR ABBREVIATIONS MAY APPEAR ON THIS SHEET WHICH DO NOT APPEAR ON THE PLANS.
- SITE AND UTILITY SYMBOLS SHOWN ON THIS SHEET ARE NOT INTENDED TO REPRESENT THE PHYSICAL SCALE OR SHAPE OF ANY ITEMS. WHERE LARGE-SCALE PLANS ARE PRESENTED, THE SYMBOLS SHOWN HEREON MAY BE REPLACED BY DETAILS MORE SUITED TO THE DRAWING SCALE.

## UTILITIES LEGEND

PROPOSED	EXISTING	DESCRIPTION
		GATE VALVE
		PLUG VALVE
		BALL VALVE
		BUTTERFLY VALVE
		AUTOMATICALLY OPERATED VALVE (P= PNEUMATIC, E= ELECTRIC, S= SOLENOID, H=HYDRAULIC, D= DIAPHRAGM ACTUATOR)
		3-WAY VALVE
		GLOBE VALVE
		ANGLE VALVE
		PRESSURE REGULATING VALVE
		PRESSURE RELIEF VALVE
		CHECK VALVE
		AIR OR VACUUM RELEASE VALVE
		AIR AND VACUUM VALVE
		COMBINATION AIR VALVE
		FLOW METER
		HOSE BIBB (NF=NON-FREEZE)
		REDUCER
		FIRE HYDRANT
		DROP INLET
		MANHOLE
		CLEANOUT
		OVERHEAD WIRE
		JOINT UTILITIES
		UNDERGROUND TELEMETRY LINE
		UNDERGROUND TELEPHONE LINE
		WATER LINE SIZE AND MATERIAL OF EXISTING PIPING
		SANITARY SEWER LINE KNOWN, MAY BE SHOWN WHEN MAY BE SHOWN ON PLAN OR IN PROFILE.
		STORM DRAIN LINE
		GAS LINE KNOWN, MAY BE SHOWN WHEN MAY BE SHOWN ON PLAN OR IN PROFILE.
		FORCE MAIN AND DIRECTION OF FLOW
		UNDERGROUND 8" WATER LINE
		ABOVEGROUND 8" WATER LINE
		CULVERT
		POLE MOUNTED STREETLIGHT
		ITEM TO BE REMOVED
		ITEM TO BE ABANDONED IN PLACE
		WATER METER
		PULL BOX AND DESIGNATION
		SIGN AND DESIGNATION
		MAIL BOX
		ELECTRIC METER

## CURVE DATA

R (RADIUS)  
L (LENGTH)  
Δ (DELTA)  
T (TANGENT)

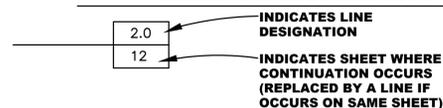
## TOPOGRAPHIC LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTROL POINT
		TEMPORARY BENCH MARK
		BENCH MARK
		FINISH GRADE ELEVATION
		ELEVATION OF ORIGINAL GROUND
		RADIUS POINT
		FLOW LINE AND DIRECTION
		TOP OF CUT
		TOP OF FILL
		TOE OF CUT OR FILL
		CONTOUR LINE
		CONCRETE
		EDGE OF PAVED ROAD
		ROCKS
		STUMPS
		TREES
		FIR TREES
		PINE TREES
		ROADS
		UTILITY POLE
		GUY WIRE
		FENCE
		BOUNDARY LINE
		EASEMENT LINE
		CENTERLINE
		MARSH
		LAWN
		SPRING
		TEST PIT AND DESIGNATION
		EXPLORATION BORE HOLE
		PROPERTY CORNER
		SURVEY MONUMENT
		CONTROL POINT
		DRIVEWAY
		MAJOR CONTOUR
		MINOR CONTOUR

## DETAIL AND SECTION DESIGNATION



## LINE DESIGNATION



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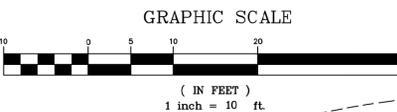
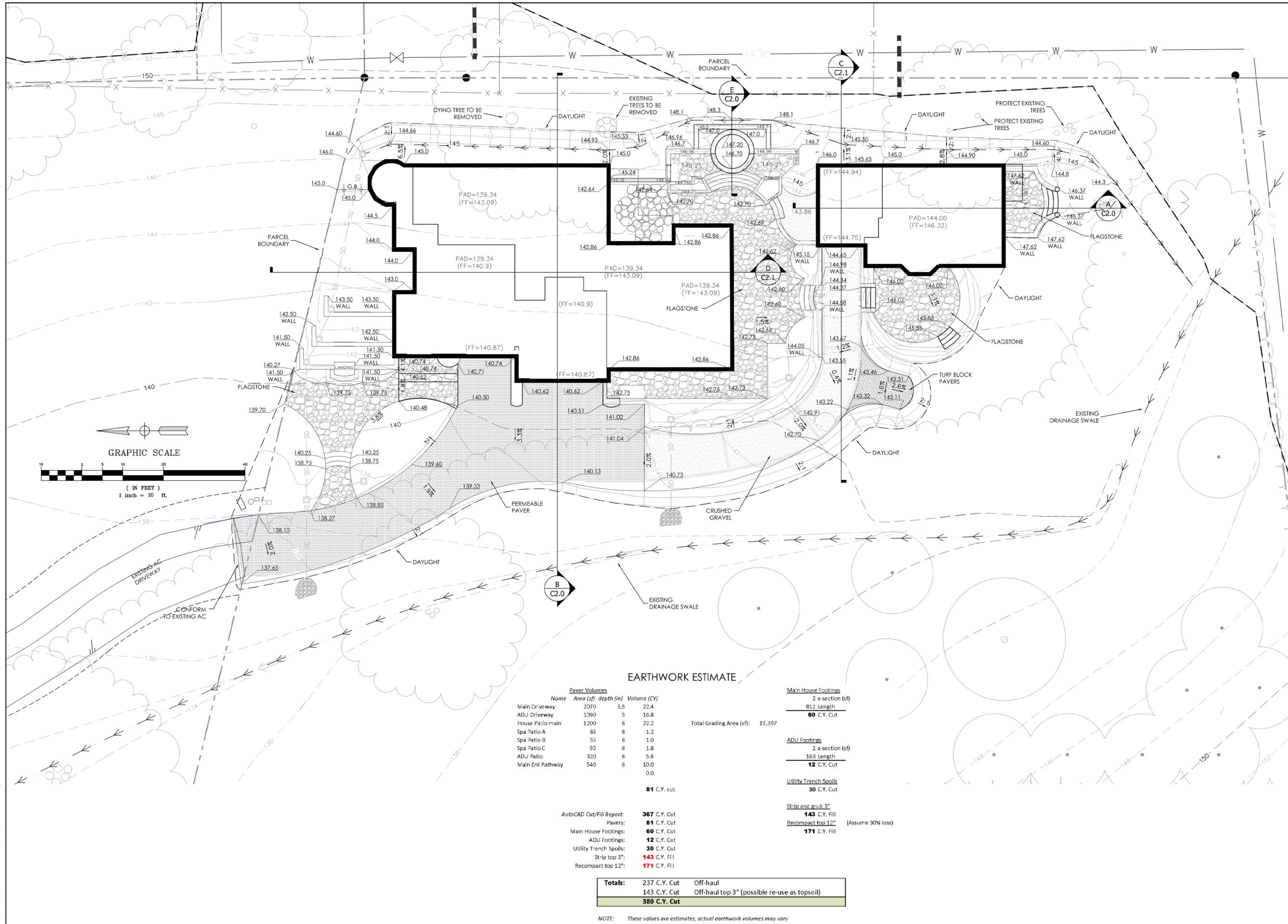
SCHOCH RESIDENCE  
7XX FIRST STREET  
SEBASTOPOL, CA 95472

ABBREVIATIONS AND LEGENDS

## DRAFT

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CHECK	CCM
APPROVED	
DATE	7/19/2021
JOB NUMBER	9884.00
DRAWING	G0.1





**EARTHWORK ESTIMATE**

Paver Volumes			
Name	Area (sf)	depth (in)	Volume (CY)
Main Driveway	2070	3.5	22.4
ADJ Driveway	1090	5	16.8
House Patio main	1200	6	22.2
Spa Patio A	65	6	1.2
Spa Patio B	55	6	1.0
Spa Patio C	95	6	1.8
ADJ Patio	320	6	5.9
Main Ent Pathway	540	6	10.0
			0.0
<b>Totals:</b>			<b>81 C.Y. cut</b>

AutoCAD Cut/Fill Report:			
Name	Area (sf)	depth (in)	Volume (CY)
Pavers:			<b>81 C.Y. Cut</b>
Main House Footings:			<b>60 C.Y. Cut</b>
ADU Footings:			<b>12 C.Y. Cut</b>
Utility Trench Spoils:			<b>30 C.Y. Cut</b>
Strip top 3":			<b>143 C.Y. Fill</b>
Recompact top 12":			<b>171 C.Y. Fill</b>

Main House Footings			
Name	Area (sf)	depth (in)	Volume (CY)
2 x-section (sf)	812	Length	
			<b>60 C.Y. Cut</b>

ADU Footings			
Name	Area (sf)	depth (in)	Volume (CY)
2 x-section (sf)	163	Length	
			<b>12 C.Y. Cut</b>

Utility Trench Spoils			
Name	Area (sf)	depth (in)	Volume (CY)
			<b>30 C.Y. Cut</b>

Strip and grub 3"			
Name	Area (sf)	depth (in)	Volume (CY)
			<b>143 C.Y. Fill</b>
Recompact top 12" (Assume 30% loss)			
			<b>171 C.Y. Fill</b>

Total Grading Area (sf): 15,397			
<b>Totals:</b>	237 C.Y. Cut	Off-haul	
	143 C.Y. Cut	Off-haul top 3" (possible re-use as topsoil)	
	<b>380 C.Y. Cut</b>		

NOTE: These values are estimates, actual earthwork volumes may vary

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**SCHOCH RESIDENCE**  
 7XX FIRST STREET  
 SEBASTOPOL, CA 95472

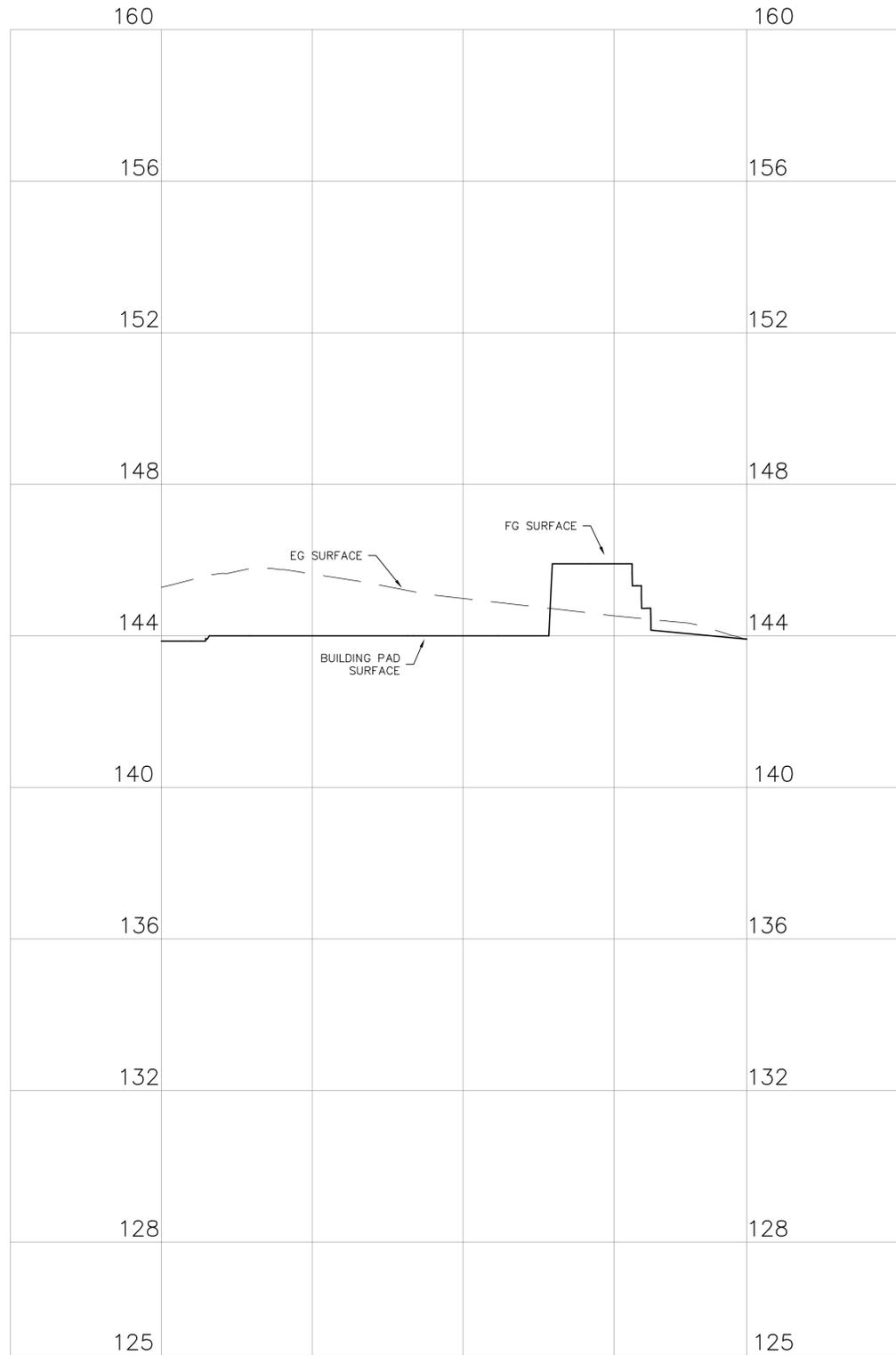
**GRADING PLAN AND EARTHWORK**

**DRAFT**

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DATE	7/28/2021
JOB NUMBER	9884.00
DRAWING	C1.0

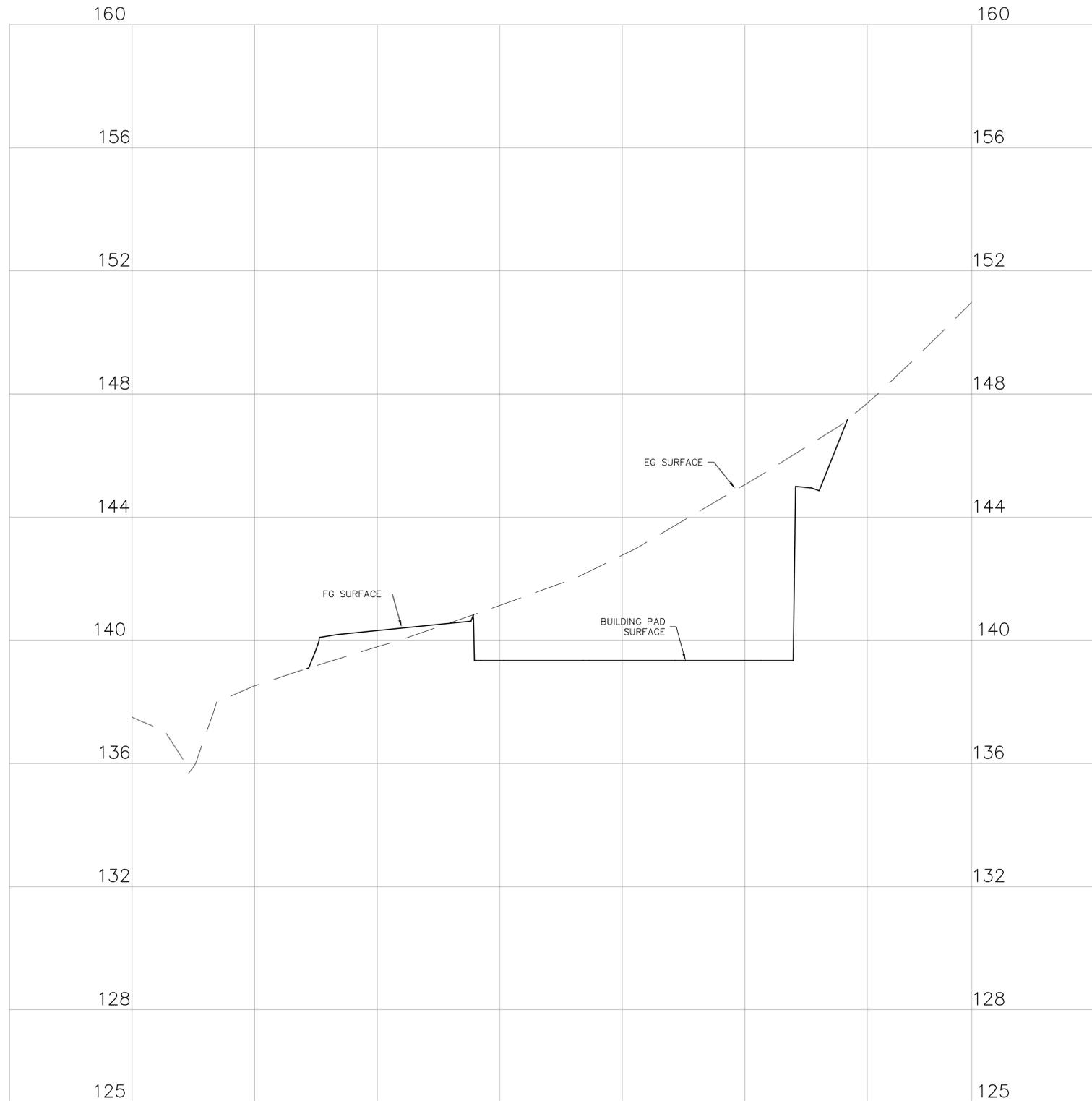
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ADU NORTH/SOUTH  
1"=10'H, 1"=2'V

A



MAIN HOUSE WEST/EAST  
1"=10'H, 1"=2'V

B

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SCHOCH RESIDENCE  
7XX FIRST STREET  
SEBASTOPOL, CA 95472

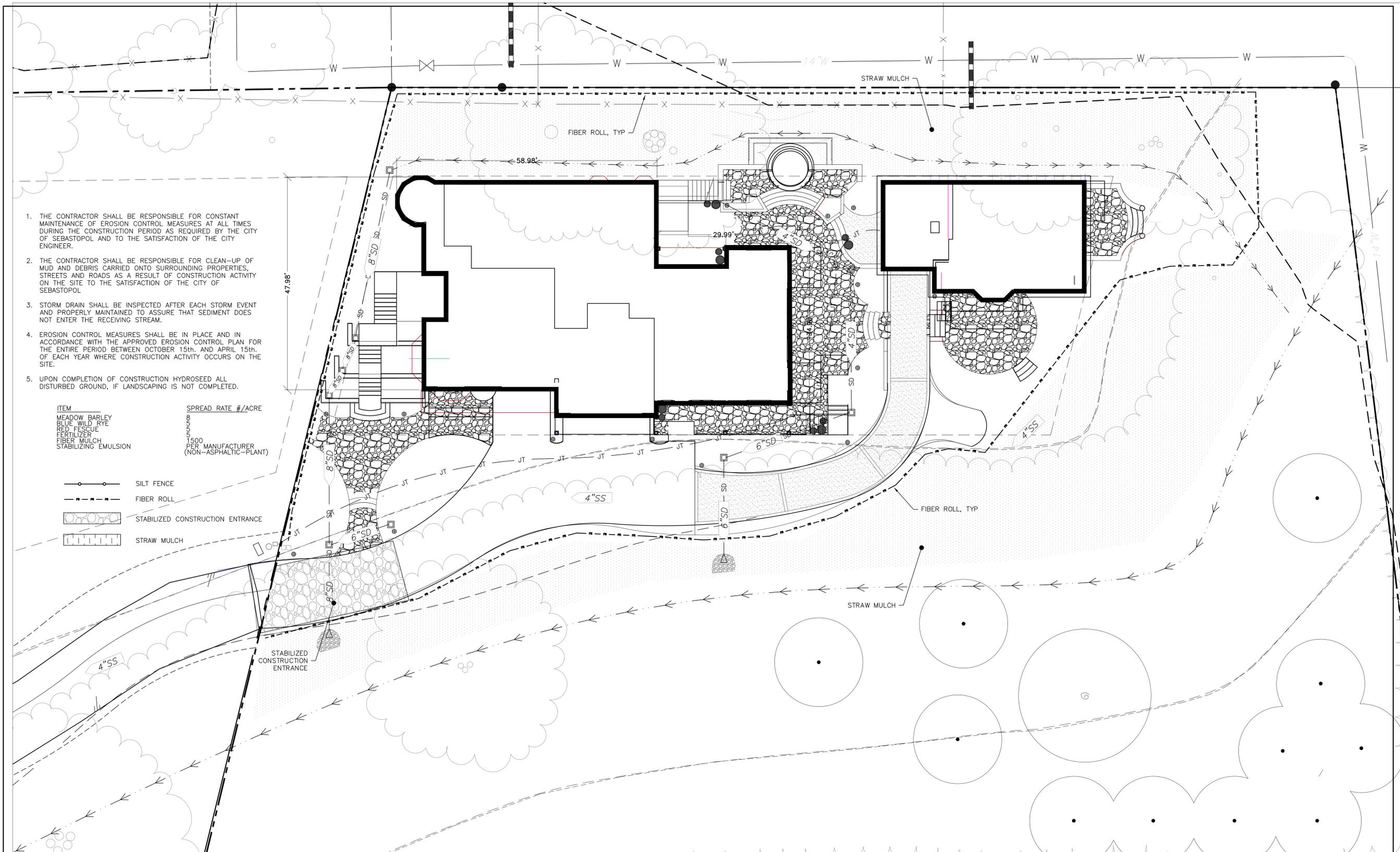
**CROSS SECTIONS**

**DRAFT**

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APPROVED	
DATE	7/19/2021
JOB NUMBER	9884.00
DRAWING	C2.0







1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION CONTROL MEASURES AT ALL TIMES DURING THE CONSTRUCTION PERIOD AS REQUIRED BY THE CITY OF SEBASTOPOL AND TO THE SATISFACTION OF THE CITY ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING PROPERTIES, STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE CITY OF SEBASTOPOL.
3. STORM DRAIN SHALL BE INSPECTED AFTER EACH STORM EVENT AND PROPERLY MAINTAINED TO ASSURE THAT SEDIMENT DOES NOT ENTER THE RECEIVING STREAM.
4. EROSION CONTROL MEASURES SHALL BE IN PLACE AND IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN FOR THE ENTIRE PERIOD BETWEEN OCTOBER 15th, AND APRIL 15th, OF EACH YEAR WHERE CONSTRUCTION ACTIVITY OCCURS ON THE SITE.
5. UPON COMPLETION OF CONSTRUCTION HYDROSEED ALL DISTURBED GROUND, IF LANDSCAPING IS NOT COMPLETED.

ITEM	SPREAD RATE #/ACRE
MEADOW BARLEY	1500
BLUE WILD RYE	PER MANUFACTURER (NON-ASPHALTIC-PLANT)
RED FESCUE	
FERTILIZER	
FIBER MULCH	
STABILIZING EMULSION	

- SILT FENCE
- FIBER ROLL
- STABILIZED CONSTRUCTION ENTRANCE
- STRAW MULCH

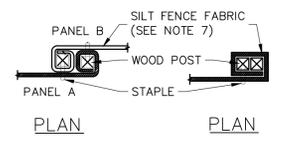
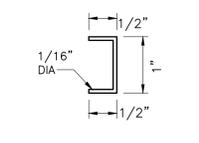
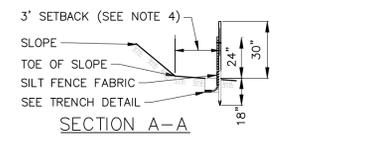
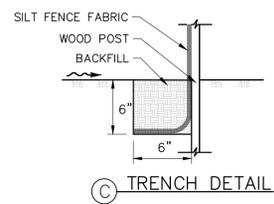
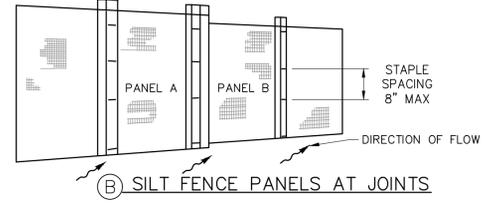
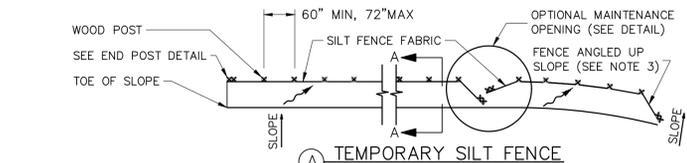
NO.	HISTORY / REVISION	BY / CHK.	DATE

SCHOCH RESIDENCE  
 7XX FIRST STREET  
 SEBASTOPOL, CA 95472

**EROSION AND SEDIMENT CONTROL PLAN**

**DRAFT**

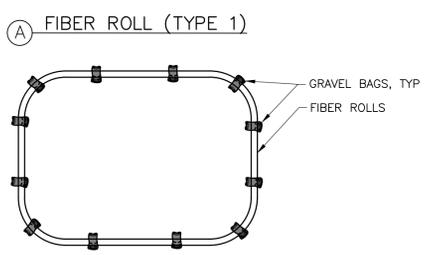
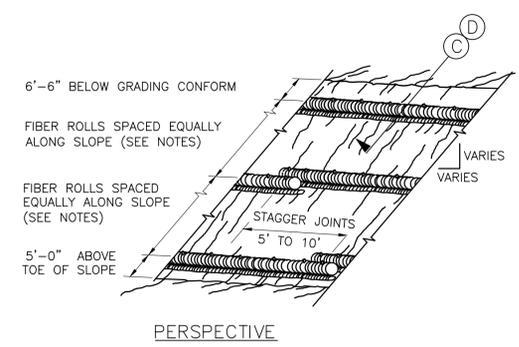
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**NOTES:**

1. INSTALL TEMPORARY SILT FENCE BY FIRST DIGGING TRENCH, DRIVING POSTS, PLACING AND SECURING FABRIC. THEN BACKFILL AND TAMP.
2. REACH LENGTH NOT TO EXCEED 500 FEET.
3. THE DOWN STREAM END OF THE TEMPORARY SILT FENCE SHALL HAVE THE LAST 8' ANGLED UP SLOPE.
4. SETBACK DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.
5. POSTS TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH POST ONE FULL TURN. SECURE FABRIC WITH 4 STAPLES FOR EACH POST.
6. POSTS SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT THE JOINT. THE TOPS OF THE POSTS SHALL BE SECURED TO EACH OTHER WITH WIRE.
7. FOR EACH END POST, FENCE FABRIC SHALL BE FOLDED AROUND TWO POSTS ONE FULL TURN AND SECURED WITH 4 STAPLES.
8. MINIMUM OF 4 STAPLES SHALL BE INSTALLED PER POST. DIMENSIONS SHOWN ARE TYPICAL.
9. MAINTENANCE OPENINGS SHALL BE CONSTRUCTED IN A MANNER TO ENSURE THAT SEDIMENT IS RETAINED BY THE TEMPORARY SILT FENCE.
10. JOINT SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.

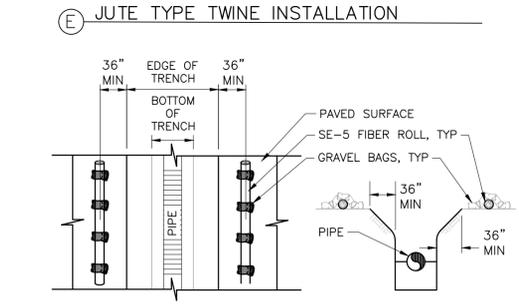
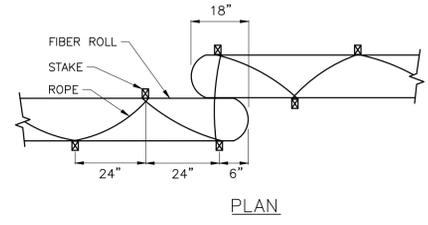
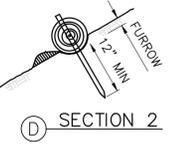
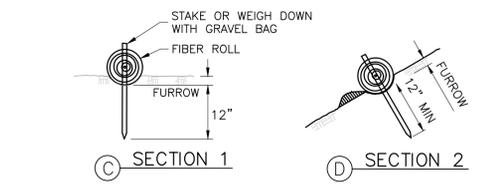
**1 SE-1 SILT FENCE DETAIL**  
SE = SEDIMENT CONTROL PER CASQA (TYP) NOT TO SCALE



**NOTES:**

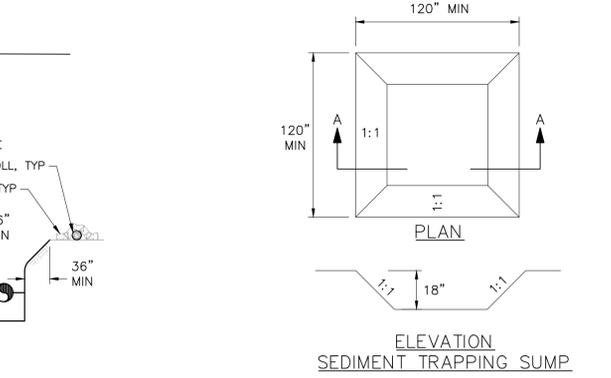
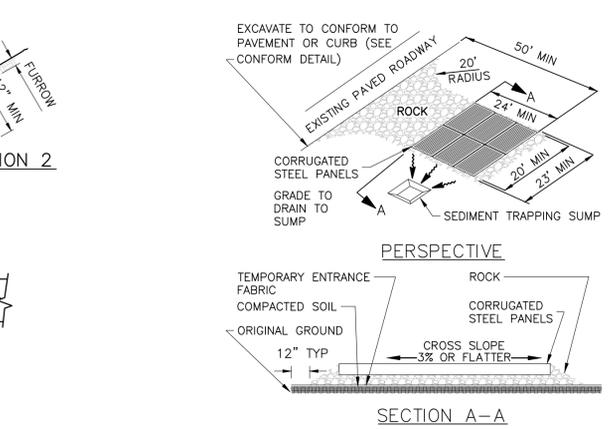
1. FIBER ROLL SPACING VARIES DEPENDING UPON SLOPE INCLINATION, BUT NOT TO EXCEED 10 FOOT AS MEASURED ALONG THE SLOPE INCLINATION.
2. INSTALLATIONS SHOWN IN THE PERSPECTIVES ARE FOR SLOPE INCLINATION OF 10:1 AND STEEPER.
3. IF TRENCHING WORK IS TO PROCEED IN A PIECE-MEAL FASHION, SECTION BY SECTION. BMP'S ARE ONLY REQUIRED AROUND THOSE SECTIONS OF OPEN TRENCHING.

**3 SE-5 TYPICAL FIBER ROLL INSTALLATION DETAIL**  
SE = SEDIMENT CONTROL PER CASQA (TYP) NOT TO SCALE

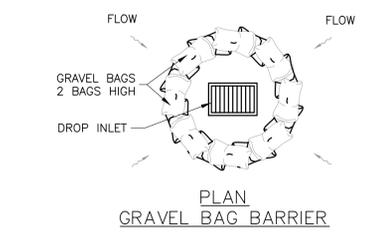
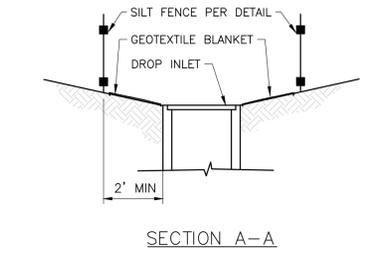


**F TYPICAL FIBER ROLL AT TRENCH DETAIL**

**2 DROP INLET PROTECTION**  
NOT TO SCALE

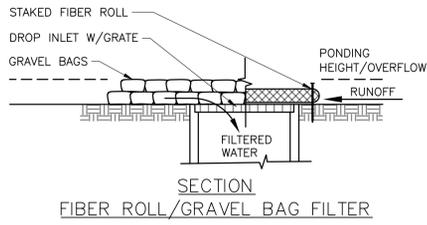


**4 CONSTRUCTION ENTRANCE**  
NOT TO SCALE



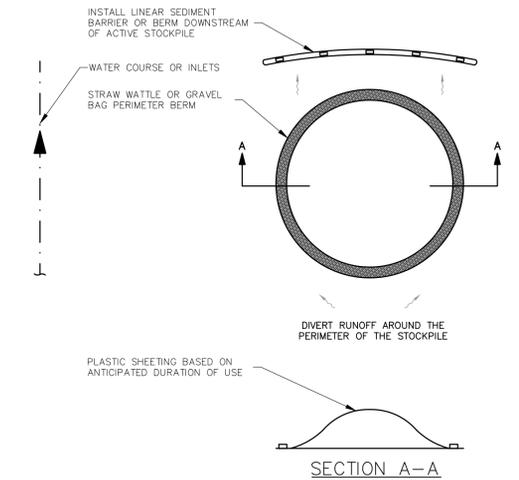
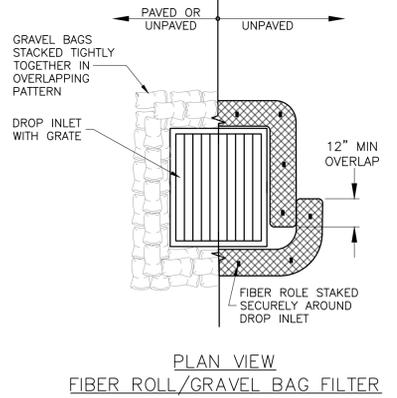
**NOTES:**

1. FOR USE IN ARGRADING HAS BEEN COMPLETED AND FINAL SOIL STABILIZATION AND SEEDING ARE PENDING.
2. NOT APPLICABLE WITH CONCENTRATED FLOWS.



**NOTES:**

3. IMPLEMENTATION, SPECIFICATIONS, AND MAINTENANCE PER CASQA BMP HANDBOOK STANDARD SE-10.
4. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.



**NOTES:**

1. IMPLEMENTATION, SPECIFICATIONS AND MAINTENANCE PER CASQA WM-3 BMP.
2. HAZARDOUS MATERIALS AND REFUSE MUST BE KEPT IN CLOSED CONTAINERS THAT ARE COVERED AND UTILIZE SECONDARY CONTAINMENT NOT DIRECTLY ON SOIL.
3. PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
4. STOCKPILES NEED TO BE PROTECTED IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS.

**5 STOCKPILE BMP DETAIL**  
NOT TO SCALE

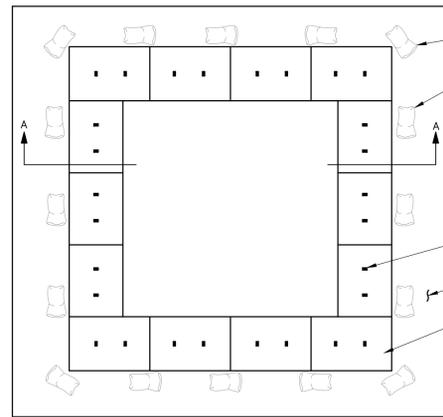
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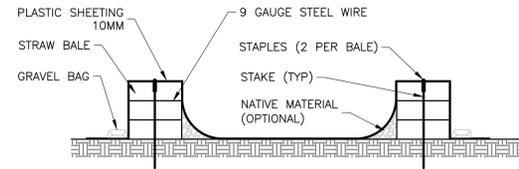
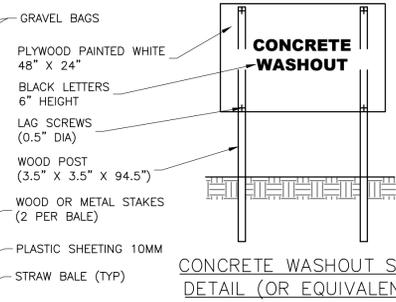
**EROSION AND SEDIMENT CONTROL DETAILS**

**DRAFT**

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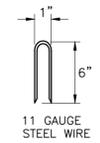
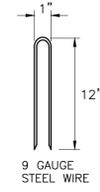


PLAN TYPE "ABOVE GRADE"  
WITH STRAW BALES



SECTION A-A

- GRAVEL BAGS
- PLYWOOD PAINTED WHITE  
48" X 24"
- BLACK LETTERS  
6" HEIGHT
- LAG SCREWS  
(0.5" DIA)
- WOOD POST  
(3.5" X 3.5" X 94.5")
- WOOD OR METAL STAKES  
(2 PER BALE)
- PLASTIC SHEETING 10MM
- STRAW BALE (TYP)



- CONCRETE WASHOUT SIGN  
DETAIL (OR EQUIVALENT)
- 9 GAUGE STEEL WIRE
- 11 GAUGE STEEL WIRE
- PLASTIC SHEETING 10MM
- STRAW BALE
- GRAVEL BAG
- 9 GAUGE STEEL WIRE
- STAPLES (2 PER BALE)
- STAKE (TYP)
- NATIVE MATERIAL (OPTIONAL)

NOTES:

1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN (SEE FIGURE 4-15) SHALL BE INSTALLED WITHIN 32 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

6

**CONCRETE WASTE MANAGEMENT**

NOT TO SCALE

NO.	HISTORY / REVISION	BY	CHK.	DATE

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**EROSION AND SEDIMENT CONTROL DETAILS**

**DRAFT**

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**LEGEND/ABBREVIATIONS**

- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- CENTERLINE
- - - EASEMENT LINE
- - - BUILDING ENVELOPE/CREEK SETBACK LINE
- 285 MAJOR CONTOUR
- MINOR CONTOUR
- - - FENCE
- - - BUILDING LINE
- STORM DRAIN PIPE W/ SIZE & TYPE
- FLOWLINE
- GAS UNDERGROUND GAS LINE
- W UNDERGROUND WATER LINE
- EDGE OF ASPHALT CONCRETE
- CONCRETE SURFACE
- ROCK/RIP RAP SURFACE
- TREE DRIPLINE/EDGE OF VEGETATED AREA
- 15" OAK
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- FOUND MONUMENT AS NOTED
- RCP REINFORCED CONCRETE PIPE
- CONC CONCRETE
- DW DRIVEWAY
- EL ELEVATION
- INV INVERT

**NOTES**

BOUNDARY LINES SHOWN ON THIS MAP DERIVED FROM FOUND MONUMENTS AND RECORD DATA PER BOOK 647 OF MAPS AT PAGES 31-33.

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM STATIC GPS OCCUPATION PROCESSED USING NGS OPUS

CONTOUR INTERVAL IS ONE FOOT

BASIS OF BEARINGS  
BOOK 647 OF MAPS AT PAGES 31-33

(UNDERGROUND UTILITIES AND) SUBSURFACE CONDITIONS NOT SURVEYED.

FIELD SURVEY BY LACO ASSOCIATES ON MARCH 11, 2021.  
ONLY CONDITIONS EXISTING AT THAT TIME ARE REFLECTED ON THIS MAP.

THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE REQUEST OF BUILDER'S STUDIO INC. LACO ASSOCIATES ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANYONE OTHER THAN THE AUTHORIZED REPRESENTATIVE THEREOF.

AN ELECTRONIC FILE OF THIS MAP HAS BEEN PREPARED AND, IF TRANSMITTED FOR USE BY OTHERS, WAS DONE SO AS A COURTESY AND IS SUPPLEMENTARY TO THE SIGNED AND SEALED ELECTRONIC PDF. DUE TO THE SUSCEPTIBILITY OF ELECTRONIC FILES TO CORRUPTION BY OTHERS, THE SIGNED AND SEALED ELECTRONIC PDF, DELIVERED TO THE CLIENT, CONSTITUTES THE ONLY ACTUAL WORK PRODUCT OFFICIALLY PRODUCED IN ACCORDANCE WITH THE EXECUTED PROFESSIONAL SERVICES AGREEMENT.

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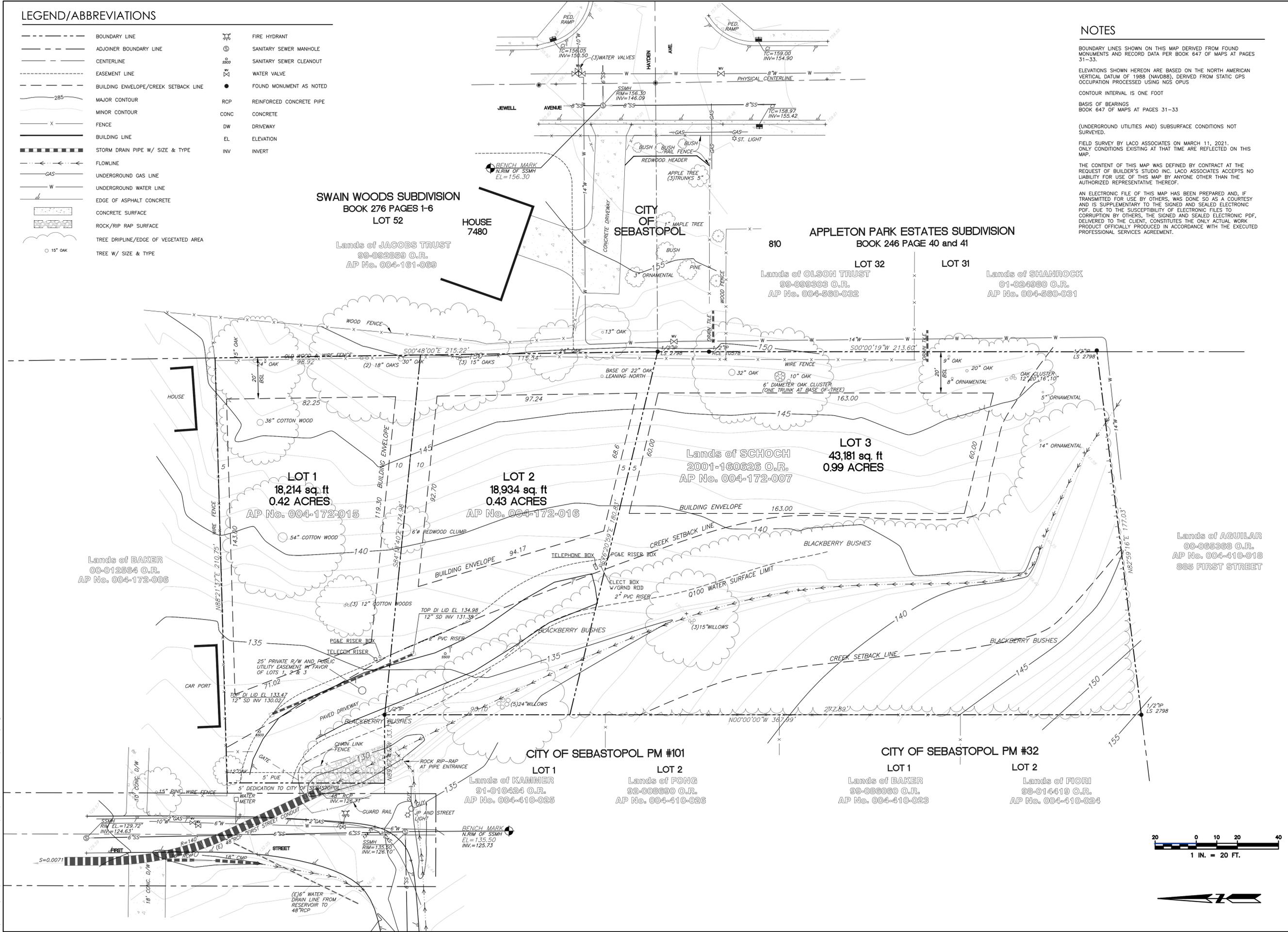
NO.	HISTORY/REVISION	BY	CHK.	DATE

SCHOCH RESIDENCE  
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**TOPOGRAPHIC SURVEY MAP**



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APPROVED	BAT
DATE	07-19-2021
JOB NUMBER	9884.00
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Paver Volumes

Name	Area (sf)	depth (in)	Volume (CY)
Main Driveway	2070	3.5	22.4
ADU Driveway	1090	5	16.8
House Patio main	1200	6	22.2
Spa Patio A	65	6	1.2
Spa Patio B	55	6	1.0
Spa Patio C	95	6	1.8
ADU Patio	320	6	5.9
Main Ent Pathway	540	6	10.0
			0.0

Total Grading Area (sf): 15,397

**81** C.Y. cut

AutoCAD Cut/Fill Report: **367** C.Y. Cut  
 Pavers: **81** C.Y. Cut  
 Main House Footings: **60** C.Y. Cut  
 ADU Footings: **12** C.Y. Cut  
 Utility Trench Spoils: **30** C.Y. Cut  
 Strip top 3": **143** C.Y. Fill  
 Recompact top 12": **171** C.Y. Fill

Main House Footings

2 x-section (sf)  
 812 Length  


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**60** C.Y. Cut

ADU Footings

2 x-section (sf)  
 163 Length  


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**12** C.Y. Cut

Utility Trench Spoils

**30** C.Y. Cut

Strip and grub 3"

**143** C.Y. Fill

Recompact top 12" (Assume 30% loss)

**171** C.Y. Fill

<b>Totals:</b>	237 C.Y. Cut	Off-haul
	143 C.Y. Cut	Off-haul top 3" (possible re-use as topsoil)
	<b>380 C.Y. Cut</b>	

NOTE: These values are estimates, actual earthwork volumes may vary

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RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE SEBASTOPOL CITY COUNCIL  
APPROVING A MINOR TENTATIVE PARCEL MAP  
TO ALLOW THE 3-LOT SUBDIVISION OF  
763 FIRST STREET,  
APN 004-172-007

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WHEREAS, an application for Minor Tentative Parcel Map was filed by Paul Schoch on May 10, 2000, to divide a 1.86 acre parcel located at 763 First Street (APN 004-172-007) into 3 lots;

WHEREAS, the Environmental Coordinator has prepared a Mitigated Negative Declaration for the project, based on an Initial Study dated May 22, 2001, performed pursuant to the California Environmental Quality Act (CEQA);

WHEREAS, on June 19<sup>th</sup>, 2001, the Planning Commission of the City of Sebastopol held a duly noticed Public Hearing to consider the application of Paul Schoch for the 3-lot subdivision of the property located at 763 First Street, heard public testimony and considered the staff report;

WHEREAS, the Planning Commission of the City of Sebastopol, at their meeting of June 19, 2001, reviewed and adopted said Mitigated Negative Declaration, along with all recommended Mitigation Measures contained therein, finding it to be appropriate for the project as conditioned;

WHEREAS, after hearing said application for subdivision, staff report, and public testimony, and after finding adequate and adopting the Mitigated Negative Declaration, the Planning Commission did find and determine that the proposed Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the Sebastopol General Plan, the State Subdivision Map Act, and with the Sebastopol Subdivision and Zoning Ordinances;

WHEREAS, having made the necessary findings of consistency, the Planning Commission did adopt Resolution No. 02-2001, recommending to the City Council adoption of the Mitigated Negative Declaration and approval of the Minor Tentative Parcel Map, together with the provisions for its design and improvements, subject to the conditions set forth therein; and,

WHEREAS, on July 18, 2001, the Sebastopol Tree Board held duly noticed public hearing to consider the separate request of Paul Schoch for removal of a 49" d.b.h. Black Oak tree from just beyond the Hayden Avenue Extension on the easterly side of this same property, said request having been filed as a separate application from that of the proposed subdivision of land, and thus to be considered on its own merits, pursuant to the Sebastopol Tree Protection Ordinance;

WHEREAS, after due consideration of the facts, findings, analysis, staff report, expert

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testimony and recommendations, and public testimony, the Tree Board found that the subject tree, having been declared hazardous, did qualify for the issuance of a Tree Removal Permit under the requirements of the Tree Protection Ordinance, and having so found, the Sebastopol Tree Board did grant the requested Tree Removal Permit, subject to conditions to ensure the adequate and timely planting of the required replacement trees; and,

WHEREAS, the Sebastopol City Council held a duly noticed public hearing on September 18<sup>th</sup>, 2001, received public testimony and considered the environmental document, staff report, and the recommendations of the Planning Commission;

WHEREAS, the City Council has determined and hereby declares that the proposed Mitigated Negative Declaration is both adequate and appropriate for this project;

WHEREAS, the City Council finds that the application for Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the goals, policies and objectives of the Sebastopol General Plan;

WHEREAS, the City Council finds that the application is consistent with the State Subdivision Map Act, and with the Land Use Designation of the Sebastopol General Plan; and that it meets all requirements and development standards of the Subdivision and Zoning Ordinances;

WHEREAS, the City Council finds that the granting of the Tree Removal Permit by the Sebastopol Tree Board eliminates the necessity of the design and access limitations imposed by the Planning Commission in the absence of such an approval for tree removal, and also eliminates the necessity of certain conditions recommended by the Planning Commission related to the placement of the proposed Jewell Avenue driveway and the protection of the subject tree;

WHEREAS, the City Council further finds that the subject division of property represents a residential infill project, such as is encouraged by the policies and programs set forth in the 1994 Sebastopol General Plan; and further, that it maintains consistency with the land use type and scale of adjacent development, and as such is consistent with the intent of the Land Use Chapter of the General Plan, and compatible with adjacent and surrounding land uses.

NOW, THEREFORE BE IT RESOLVED, after due consideration of the facts and analysis, and finding the proposal to be consistent with the Sebastopol General Plan, the State Subdivision Map Act, the Sebastopol Zoning Ordinance No. 913, and the Subdivision Ordinance No. 944, the Sebastopol City Council hereby approves the Minor Tentative Parcel Map application, together with the provisions for its design and improvements, subject to the conditions of approval set forth below:

**Conditions of Approval**  
Tentative Parcel Map  
763 First Street

September 18, 2001

**Planning Department Conditions of Approval:**

**General Conditions**

- P1. Approval is granted for the application date stamped May 10, 2000, except as amended herein.
- P2. Alignment of the driveway across the Hayden Avenue Extension (HAE) to access Lot 3 shall be made to the satisfaction of the Sebastopol Tree Board, Design Review Board, and the City Arborist and City Engineer. An Arborist's Report containing a Tree Inventory for the entirety of the subject parcel, and including any trees on adjacent properties whose driplines overhang or are near the subject parcel, as well as a Tree Protection Plan setting forth the measures required to afford maximum protection to all protected trees during and after construction, shall be submitted with the Improvement Plans.

**Prior to Issuance of a Grading Permit**

- P3. A Tree Protection Plan (TPP), including a TPP Map Sheet, is required to be submitted as a part of the Grading and/or Improvement Plans. The Map Sheet containing the Grading Plan shall reference the TPP Sheet with the following large, boxed note:

<p>"NOTE: Contractor is responsible for compliance with the approved Tree Protection Plan (Sheet x). Failure to fully comply with the restrictions, conditions, and mitigation measures of the Tree Protection Plan, as reflected on Sheet x, may result in the issuance of a stop-work order, or the imposition of fines and penalties, or both."</p>
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- P4. The Grading and Improvement Plans, including the Tree Protection Plan Sheet (TPP Map Sheet), shall be reviewed and approved by the City Engineer, the City Planning Director, and the City Arborist prior to issuance of a Grading Permit. The Grading Plans may be referred to the Design Review Boards, the Sebastopol Tree Board, or both, if, in the sole opinion of the Planning Director, the proposed site grading is excessive, and/or will impact the privacy of surrounding residents, and/or does not afford the maximum level of protection to existing trees.
- P5. Any tree shown to be removed which is 8" or larger d.b.h. (unless named as exempt under the Sebastopol Tree Protection Ordinance) shall receive a Tree Removal Permit from the Sebastopol Tree Board prior to issuance of a Grading Permit.

**Prior to Issuance of a Building Permit**

- P6. The new residential development shall be subject to the review and approval of the Design Review Board. Design Review shall include consideration of the

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maintenance of privacy for adjacent properties, as well as compatibility with the existing neighborhood. Fencing materials at project boundaries shall also be subject to Design Review.

- P7. Prior to issuance of a Building Permit for Lot #3, the applicant for a Building Permit for this Lot shall file an application for a Second Dwelling Unit that is consistent with all applicable provisions of the City's Second Dwelling Unit Ordinance; if approved, the unit may be provided either simultaneous to the primary home, and rented out; or, it may be provided as a finished-space extension of the primary home, in such a manner that the provision of kitchen appliances and the construction of a simple firewall division between the units shall render it fully self-contained as a separate unit; or, it may be framed, plumbed, wired, ducted & insulated and closed in, but left unfinished until such time as the property owner elects to finish it and provide it as a rental unit, whether for a family member, or for any other person or household of approximately one to three persons, as the unit may be provided to, so long as the availability, advertisement, and rental or lease terms and practices associated therewith prohibit discrimination of any kind, and comply with all other applicable Fair Housing Laws.
- P8. A Traffic Impact Fee shall be paid prior to issuance of a building permit on each lot. The amount of the fee shall be determined by the City Traffic Engineer.
- P9. A Park In-lieu Fee shall be paid prior to issuance of a building permit on each lot.
- P10. Access to Lot 3 only shall be provided through the Hayden Avenue Extension right-of-way, and shall be located as approved herein.
- P11. The potential impacts associated with increased traffic along First Street shall be reviewed by the City Traffic Engineer, with recommendations made to address any increased impacts.
- P12. Adjacent residents Mr. Jacobs and Mr. Olson shall be provided with a minimum of 90 days' written notice prior to any work being performed on the Hayden Avenue Extension. This is to allow those private property owners so named to remove from the Hayden Avenue Extension right-of-way their previous installation(s) of fencing, irrigation, and/or landscaping materials.
- P13. A determination shall be made by the City in consultation with applicant and adjacent property owners as to the party having primary responsibility for the maintenance and upkeep of the Hayden Avenue Extension.
- P14. The applicant and future property owner(s) are encouraged to work with the City and the adjacent property owners to provide for the continuing maintenance and replacement as needed of landscaping along the Hayden Avenue Extension.

Mitigation Measures.

- M 1. A Geotechnical/Soils Report shall be submitted with the application for Final Map, if appropriate, or with each individual application for Building Permit, if applicable.

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The Report shall identify and discuss site soils, slopes, geological features and any other site conditions, and shall make recommendations as to the type of construction best suited for the site conditions; the recommendations shall be followed, and shall become conditions of approval of the project to be incorporated into the plans submitted with the Building Permit application, to the satisfaction of the Building Official. Notwithstanding, if circumstances and conditions so warrant, the soils report requirement may be duly waived, in writing with a copy of said waiver provided to the Environmental Coordinator, by the Building Official pursuant to and consistent with all applicable provisions of the UBC and the Subdivision Map Act, provided that the Building Official verifies that he has sufficient knowledge of soils in the area, such data having been previously provided by Geotechnical and/or soils reports for construction in the general area, and having had experience with similar or proximate sites, and appropriate knowledge of appropriate construction requirements, as specified in the UBC. In the case that no engineering-level soils report is required to be submitted with the application for Building Permit, then prior to the acceptance of an application for Design Review as complete, the applicant shall submit written verification from the Soils Engineer that the proposed type and size of construction is consistent with standard Geotechnical or Soils Report recommendations, as well as with any specific recommendation made for the particular Lot, as applicable.

- M 2. The Final Map shall indicate the approved areas upon which building may occur for each Lot (“building envelopes”), in order to reflect the following, as applicable:
- a) the exclusion of building construction within the SCWA-required 30’ creek setback;
  - b) the required front, rear, and/or side yard setbacks for each future home on each Lot, being those yards required in the Rural Residential (RR) Zone District unless another set of requirements are established as a part of the project and approved by the City Council, with only those approved shown and labeled;
  - c) the area to remain undisturbed, if any, within the root protection zone of any protected tree or trees, as may be required by the approved Tree Protection Plan; or, if there be no approved Tree Protection Plan for any particular Lot, as may be determined to be necessary and appropriate by the City Arborist; and
  - d) such other specific construction limit(s), restriction(s) or allowance(s), as may be applicable, whether requested by the applicant and approved by the Council, or by request of the Council and agreed to by the applicant, or as a condition of project approval, without which there would be no approval. The intent of this measure is to delineate, in an appropriate format, such specific criteria as are or may be established for any or all Lot(s) as may be related to building footprint limitations or allowances; reduced or increased setback(s), whether in general or as may be imposed for second stories; limitation(s) and/or allowance(s) as may be related to rooflines, such as ridge heights, roof slopes, and the like.
- M3. All project-related grading, excavation, trenching, backfilling, compaction, and the like shall be conducted in strict accordance with City design specifications, and

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shall be approved in advance of work by the City Engineer. In general, all grading and excavation activities shall be limited to the "dry" season (between April 15 and October 15) in order to minimize wind or water erosion; any exceptions to the above time period shall only be allowed with the express written advance approval of the City Engineer upon his review and approval of the appropriate Engineered Grading Plans, including a weatherization plan; if applicable, such winterization plan shall be submitted as a part of the application for Grading Permit, and shall be approved as a part thereof. The winterization plan(s), if used, shall include specifications for the seeding and/or re-seeding of all exposed soil surfaces, both on-site and off-site, prior to the onset of normal winter rains, with supplemental fill-ins following any new exposure of soil surface area. Specifications shall adhere to the requirements that:

- a) native grasses are to be used whenever possible; and,
- b) in no case shall any seed or seed mix containing greater than 0.1% noxious weeds be used for this purpose.

- M4. For any home proposed on any Lot(s) within this subdivision, if the proposal includes a fireplace/chimney, and said fireplace is not intended (and gas service provided for) decorative use only, the following requirement shall be made, and shall be noted on the plans submitted for Building Permit: Woodstoves, pellet stoves, and/or fireplace inserts are required to be installed in all non-decorative (i.e., not solely gas-serviced) fireplaces within the home(s). All stoves and inserts used shall be of the maximum efficiency type, certified as meeting or exceeding the requirements of the BAAQMD, or as otherwise deemed satisfactory by the Building Official. This restriction shall continue to apply to each Lot(s) until such time as the applicable standard is no longer valid, or the BAAQMD ceases to exist and there is no similar successor agency.
- M5. Prior to issuance of any Grading Permit or Building Permit for any particular Lot within this project, the Sebastopol Tree Board shall review and approve a Tree Removal and Tree Protection Plan, or, if applicable, a Specific Tree Protection/Contingent Removal Plan and Permit, unless such Plan does not involve removal or contingent removal of any protected tree such that the Tree Board has delegated review authority of the Tree Protection Plan to staff. The Tree Protection Plan and/or Tree Removal Permit/Contingent Removal Permit shall meet all submittal requirements of the Tree Ordinance and the Tree Board. The Tree Protection Plan shall reflect any tree-related limitations to building envelope, as required by Measure #4c, above. If site development will involve the removal of any protected tree, the Tree Removal Permit shall be required to be approved, with performance and protective bonds (if any) set and paid, prior to the commencement of any site clearing or site work on that Lot, and prior to issuance of any grading or building permit for that Lot, including a foundation-only permit.
- M6. A tree replacement plan consistent with the minimum replacement requirements

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discussed herein, and any required tree protection bonding or other performance/ protection guarantees as may be required, shall be in place prior to issuance of any permit for grading or construction activities, to the satisfaction of the Planning Director. If the Tree Removal Permit is denied such that a re-design of site improvements is required, the re-design shall not be subject to further discretionary reviews so long as the changes are limited to those needed in order to provide tree protection.

M7. For each tree heritage tree, if any, approved to be removed, the Tree Board shall require Tree Replacement at a rate equal to or exceeding the ratio established by the Ordinance, as provided for within the Ordinance, when a different requirement is warranted related to the size and age of the subject tree. The replacement program shall consist of a variety of tree sizes, including but not limited to the use of at least one 24" box tree (or equivalent) and two 15 gallon trees for each protected heritage-size tree removed; and of a variety of types and sizes to mitigate both short- and long-term effects of the loss of protected trees.

M8. The homes to be built within this project shall be subject to the review and approval of the Sebastopol Design Review Board. The Board will be guided in their review of the proposal by their adopted Project Review Guidelines; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).

M9. Garages and other off-street parking areas planned to serve the new residential development shall be located in such a way that vehicles entering or existing the site from Jewell Avenue or First Street will not unduly produce direct, sustained headlight glare into the living areas of surrounding homes. If necessary, screening devices and/or plantings may be used to help dissipate any such direct glare, to the satisfaction of the Design Review Board.

**Fire Department Conditions of Approval:**

**General**

F1. Fire protection for the homes to be built on Lots 2 and 3 shall be to the satisfaction of the City Fire Chief.

**Engineering Department Conditions of Approval:**

**General**

E1 Submittals for Engineering Plan Check shall be made at the Engineering Department. Plan Check deposit shall be paid at the time of submittal. Call 823-2151 for information.

E2 Any exceptions or variances from the conditions stated herein will require the

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written approval of the City Engineer or approval of the City Council if required by the City Code.

- E3 No construction shall be initiated until the Improvement Plans have been approved by the City, all applicable fees have been paid, an encroachment permit and/or grading permit has been issued and a project schedule has been submitted to the City Engineer and a pre-construction conference has been held with the City Engineer or designee.
- E4 All construction shall conform with the City Standard Details and Standard Specifications dated July 1998, all City Ordinances, the State Subdivision Map Act, and the approved plans.
- E5 Public Utility easements shall be provided as requested by the Public Utility Agencies and shall be offered for dedication on the map.
- E6 All underground utilities within the private access street shall be installed prior to street construction.
- E7 All utility distribution facilities, within the Hayden Street access and in the new private access from First Street, shall be placed underground except for surface mounted transformers, pedestal mounted terminal boxes, meter cabinets, fire hydrants, and street lights. Appropriate easements shall be provided to facilitate these installations. Existing overhead utilities on the First Street frontage of the project are not required to be placed underground because this requirement would result in an additional pole and guy wires, defeating the intended purpose.
- E8 Any existing septic tank(s) shall be abandoned under permit and inspection by the Sonoma County Health Department prior to map recordation.
- E9 Any existing well(s) shall be abandoned under permit and inspection of the Sonoma County Health Department.
- E10 The applicant shall submit to the City of Sebastopol for review and approval by the City Engineer, improvement plans prepared by a Registered Civil Engineer. Plans shall show all street, drainage, water, wastewater and grading improvements.
- E11 The following notes shall appear on the improvement plan cover sheet:  
"All utilities on site shall be placed underground".  
"During construction, the Developer shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and streets".
- E12 The subdivider shall either complete the required construction or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Parcel Map, agreeing to complete the required construction within 24 months after the filing of the map. The Improvement Agreement shall be

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recorded with the map.

- E13 The developer shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any buildings to the City water or wastewater system.

### **Grading and Site Work**

- E14 All grading work shall be shown on a grading plan to be incorporated into the improvement plans.
- E15 Grading plan shall include the location and size of all existing trees to be removed, and trees to remain. The plans shall show all measures identified in the Tree Protection Plan as needed, to protect trees during construction.
- E16 Improvement plans shall be submitted showing all proposed improvements including grading, paving, utilities, drainage, structures to be built, lighting and trash collection. Improvement plans shall include a winterization and erosion protection plan.
- E17 The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.

### **Streets**

- E18 Construction of curb, gutter, and sidewalk on First Street shall be deferred to such time as other portions of First Street are improved. The Subdivider shall guarantee eventual construction of these improvements through an agreement, to be recorded against the lots taking access from First Street. The Subdivider shall also provide a preliminary design, including plan, profile and cross-sections, for the future improvements on First Street.
- E19 Driveway entrances shall meet the requirements of the City Traffic Engineer.
- E20 The access easement on Lot 1 in favor of Lot 2 shall be a minimum width of 25 feet.

### **Storm Drainage/Flood Damage Protection**

- E21 Drainage facilities shall be provided within the subdivision to eliminate the effects of additional stormwater runoff on adjacent properties.
- E22 Calder Creek shall be protected from water quality impacts due to additional stormwater runoff. Subject to feasibility (as determined by the geotechnical engineer, the Sonoma County Water Agency, the Regional Water Quality Control Board, and/or the State Department of Fish & Game, as applicable), drainage shall be filtered by natural vegetation or infiltration prior to entering Calder Creek.
- E23 If any work is necessary in Calder Creek, the subdivider shall be responsible for obtaining any and all permits deemed necessary, including but not limited to the

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following:

State Department of Fish and Game, Streambed Alteration Permit  
Regional Water Quality Control Board, Section 401 Permit

**Water Distribution**

- E24 Fire protection facilities shall be in accord with the requirements of Sebastopol Fire Department.
- E25 Backflow prevention devices will be required in accordance with the requirements of the City of Sebastopol's Backflow Prevention Ordinance.
- E26 Water services to serve this development shall be connected to the existing mains. Meter locations shall be subject to approval by the Sebastopol Public Works Department.

**Sewer Collection**

- E27 Sanitary sewer to serve this development shall be extended from the existing mains.
- E28 New sewer laterals shall be constructed in accordance with City Standards.

**Parcel Map**

- E29 A Parcel Map as defined in the State Subdivision Map Act and prepared by a licensed surveyor or civil engineer, showing at all parcel rights-of-way and easements, shall be filed with the City of Sebastopol Engineer's Office. The Parcel Map shall conform to the requirements of the State Subdivision Map Act and the City Subdivision Ordinance. Upon recordation of the Map, the Subdivision is valid.
- E30 All property corners of lots within the subdivision shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into the earth except as expressly permitted in writing by the City Engineer.
- E31 The Parcel Map shall show:
  - The assessor's parcel number
  - Total area of land being subdivided (in acres)
  - Total number of lots being created
- E32 NOTE ON PARCEL MAP: "Building permits shall be subject to payment of development fees in effect at time of permit issuance."

E33 The following covenant shall be recorded with each lot: An approved Grading, Drainage, and Erosion Control Plan shall be required for each lot (if such a plan has not already been approved for the entirety of this minor subdivision). The Grading, Drainage and Erosion Control Plan shall be submitted to the Engineering Department and shall be approved by the City Engineer, and by any other body as may be applicable as set forth herein, prior to issuance of a Grading Permit or a Building Permit, including but not limited to a foundation-only permit. (Note, recordation of this covenant may be waived if an inclusive Grading, Drainage, and Erosion

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Control Plan has been approved for the entirety of this subdivision, and work to be performed is consistent with the approved Plan.)

E34 The owner shall record contemporaneously with the Parcel Map an irrevocable offer of dedication to the City of Sebastopol to provide additional right-of-way along the First Street frontage as necessary to provide a width of 25 feet from the centerline of the street. Additionally, a 5-foot-wide public utility easement shall be provided outside of (and adjacent to) the right-of-way.

DULY ADOPTED by the Sebastopol City Council on this 18<sup>th</sup> day of September, 2001, by the following vote:

VOTING AYE:

VOTING NO:

ABSENT:

ABSTAIN:

ATTEST: \_\_\_\_\_  
City Clerk

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RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE SEBASTOPOL CITY COUNCIL  
APPROVING A MINOR TENTATIVE PARCEL MAP  
TO ALLOW THE 3-LOT SUBDIVISION OF  
763 FIRST STREET,  
APN 004-172-007

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WHEREAS, an application for Minor Tentative Parcel Map was filed by Paul Schoch on May 10, 2000, to divide a 1.86 acre parcel located at 763 First Street (APN 004-172-007) into 3 lots;

WHEREAS, the Environmental Coordinator has prepared a Mitigated Negative Declaration for the project, based on an Initial Study dated May 22, 2001, performed pursuant to the California Environmental Quality Act (CEQA);

WHEREAS, on June 19<sup>th</sup>, 2001, the Planning Commission of the City of Sebastopol held a duly noticed Public Hearing to consider the application of Paul Schoch for the 3-lot subdivision of the property located at 763 First Street, heard public testimony and considered the staff report;

WHEREAS, the Planning Commission of the City of Sebastopol, at their meeting of June 19, 2001, reviewed and adopted said Mitigated Negative Declaration, along with all recommended Mitigation Measures contained therein, finding it to be appropriate for the project as conditioned;

WHEREAS, after hearing said application for subdivision, staff report, and public testimony, and after finding adequate and adopting the Mitigated Negative Declaration, the Planning Commission did find and determine that the proposed Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the Sebastopol General Plan, the State Subdivision Map Act, and with the Sebastopol Subdivision and Zoning Ordinances;

WHEREAS, having made the necessary findings of consistency, the Planning Commission did adopt Resolution No. 02-2001, recommending to the City Council adoption of the Mitigated Negative Declaration and approval of the Minor Tentative Parcel Map, together with the provisions for its design and improvements, subject to the conditions set forth therein; and,

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WHEREAS, after due consideration of the facts, findings, analysis, staff report, expert

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WHEREAS, the City Council finds that the application for Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the goals, policies and objectives of the Sebastopol General Plan;

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WHEREAS, the City Council finds that the granting of the Tree Removal Permit by the Sebastopol Tree Board eliminates the necessity of the design and access limitations imposed by the Planning Commission in the absence of such an approval for tree removal, and also eliminates the necessity of certain conditions recommended by the Planning Commission related to the placement of the proposed Jewell Avenue driveway and the protection of the subject tree;

WHEREAS, the City Council further finds that the subject division of property represents a residential infill project, such as is encouraged by the policies and programs set forth in the 1994 Sebastopol General Plan; and further, that it maintains consistency with the land use type and scale of adjacent development, and as such is consistent with the intent of the Land Use Chapter of the General Plan, and compatible with adjacent and surrounding land uses.

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September 18, 2001

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maintenance of privacy for adjacent properties, as well as compatibility with the existing neighborhood. Fencing materials at project boundaries shall also be subject to Design Review.

- P7. Prior to issuance of a Building Permit for Lot #3, the applicant for a Building Permit for this Lot shall file an application for a Second Dwelling Unit that is consistent with all applicable provisions of the City's Second Dwelling Unit Ordinance; if approved, the unit may be provided either simultaneous to the primary home, and rented out; or, it may be provided as a finished-space extension of the primary home, in such a manner that the provision of kitchen appliances and the construction of a simple firewall division between the units shall render it fully self-contained as a separate unit; or, it may be framed, plumbed, wired, ducted & insulated and closed in, but left unfinished until such time as the property owner elects to finish it and provide it as a rental unit, whether for a family member, or for any other person or household of approximately one to three persons, as the unit may be provided to, so long as the availability, advertisement, and rental or lease terms and practices associated therewith prohibit discrimination of any kind, and comply with all other applicable Fair Housing Laws.
- P8. A Traffic Impact Fee shall be paid prior to issuance of a building permit on each lot. The amount of the fee shall be determined by the City Traffic Engineer.
- P9. A Park In-lieu Fee shall be paid prior to issuance of a building permit on each lot.
- P10. Access to Lot 3 only shall be provided through the Hayden Avenue Extension right-of-way, and shall be located as approved herein.
- P11. The potential impacts associated with increased traffic along First Street shall be reviewed by the City Traffic Engineer, with recommendations made to address any increased impacts.
- P12. Adjacent residents Mr. Jacobs and Mr. Olson shall be provided with a minimum of 90 days' written notice prior to any work being performed on the Hayden Avenue Extension. This is to allow those private property owners so named to remove from the Hayden Avenue Extension right-of-way their previous installation(s) of fencing, irrigation, and/or landscaping materials.
- P13. A determination shall be made by the City in consultation with applicant and adjacent property owners as to the party having primary responsibility for the maintenance and upkeep of the Hayden Avenue Extension.
- P14. The applicant and future property owner(s) are encouraged to work with the City and the adjacent property owners to provide for the continuing maintenance and replacement as needed of landscaping along the Hayden Avenue Extension.

Mitigation Measures.

- M 1. A Geotechnical/Soils Report shall be submitted with the application for Final Map, if appropriate, or with each individual application for Building Permit, if applicable.

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The Report shall identify and discuss site soils, slopes, geological features and any other site conditions, and shall make recommendations as to the type of construction best suited for the site conditions; the recommendations shall be followed, and shall become conditions of approval of the project to be incorporated into the plans submitted with the Building Permit application, to the satisfaction of the Building Official. Notwithstanding, if circumstances and conditions so warrant, the soils report requirement may be duly waived, in writing with a copy of said waiver provided to the Environmental Coordinator, by the Building Official pursuant to and consistent with all applicable provisions of the UBC and the Subdivision Map Act, provided that the Building Official verifies that he has sufficient knowledge of soils in the area, such data having been previously provided by Geotechnical and/or soils reports for construction in the general area, and having had experience with similar or proximate sites, and appropriate knowledge of appropriate construction requirements, as specified in the UBC. In the case that no engineering-level soils report is required to be submitted with the application for Building Permit, then prior to the acceptance of an application for Design Review as complete, the applicant shall submit written verification from the Soils Engineer that the proposed type and size of construction is consistent with standard Geotechnical or Soils Report recommendations, as well as with any specific recommendation made for the particular Lot, as applicable.

- M 2. The Final Map shall indicate the approved areas upon which building may occur for each Lot (“building envelopes”), in order to reflect the following, as applicable:
- a) the exclusion of building construction within the SCWA-required 30’ creek setback;
  - b) the required front, rear, and/or side yard setbacks for each future home on each Lot, being those yards required in the Rural Residential (RR) Zone District unless another set of requirements are established as a part of the project and approved by the City Council, with only those approved shown and labeled;
  - c) the area to remain undisturbed, if any, within the root protection zone of any protected tree or trees, as may be required by the approved Tree Protection Plan; or, if there be no approved Tree Protection Plan for any particular Lot, as may be determined to be necessary and appropriate by the City Arborist; and
  - d) such other specific construction limit(s), restriction(s) or allowance(s), as may be applicable, whether requested by the applicant and approved by the Council, or by request of the Council and agreed to by the applicant, or as a condition of project approval, without which there would be no approval. The intent of this measure is to delineate, in an appropriate format, such specific criteria as are or may be established for any or all Lot(s) as may be related to building footprint limitations or allowances; reduced or increased setback(s), whether in general or as may be imposed for second stories; limitation(s) and/or allowance(s) as may be related to rooflines, such as ridge heights, roof slopes, and the like.
- M3. All project-related grading, excavation, trenching, backfilling, compaction, and the like shall be conducted in strict accordance with City design specifications, and

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shall be approved in advance of work by the City Engineer. In general, all grading and excavation activities shall be limited to the "dry" season (between April 15 and October 15) in order to minimize wind or water erosion; any exceptions to the above time period shall only be allowed with the express written advance approval of the City Engineer upon his review and approval of the appropriate Engineered Grading Plans, including a weatherization plan; if applicable, such winterization plan shall be submitted as a part of the application for Grading Permit, and shall be approved as a part thereof. The winterization plan(s), if used, shall include specifications for the seeding and/or re-seeding of all exposed soil surfaces, both on-site and off-site, prior to the onset of normal winter rains, with supplemental fill-ins following any new exposure of soil surface area. Specifications shall adhere to the requirements that:

- a) native grasses are to be used whenever possible; and,
- b) in no case shall any seed or seed mix containing greater than 0.1% noxious weeds be used for this purpose.

- M4. For any home proposed on any Lot(s) within this subdivision, if the proposal includes a fireplace/chimney, and said fireplace is not intended (and gas service provided for) decorative use only, the following requirement shall be made, and shall be noted on the plans submitted for Building Permit: Woodstoves, pellet stoves, and/or fireplace inserts are required to be installed in all non-decorative (i.e., not solely gas-serviced) fireplaces within the home(s). All stoves and inserts used shall be of the maximum efficiency type, certified as meeting or exceeding the requirements of the BAAQMD, or as otherwise deemed satisfactory by the Building Official. This restriction shall continue to apply to each Lot(s) until such time as the applicable standard is no longer valid, or the BAAQMD ceases to exist and there is no similar successor agency.
- M5. Prior to issuance of any Grading Permit or Building Permit for any particular Lot within this project, the Sebastopol Tree Board shall review and approve a Tree Removal and Tree Protection Plan, or, if applicable, a Specific Tree Protection/Contingent Removal Plan and Permit, unless such Plan does not involve removal or contingent removal of any protected tree such that the Tree Board has delegated review authority of the Tree Protection Plan to staff. The Tree Protection Plan and/ or Tree Removal Permit/Contingent Removal Permit shall meet all submittal requirements of the Tree Ordinance and the Tree Board. The Tree Protection Plan shall reflect any tree-related limitations to building envelope, as required by Measure #4c, above. If site development will involve the removal of any protected tree, the Tree Removal Permit shall be required to be approved, with performance and protective bonds (if any) set and paid, prior to the commencement of any site clearing or site work on that Lot, and prior to issuance of any grading or building permit for that Lot, including a foundation-only permit.
- M6. A tree replacement plan consistent with the minimum replacement requirements

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discussed herein, and any required tree protection bonding or other performance/ protection guarantees as may be required, shall be in place prior to issuance of any permit for grading or construction activities, to the satisfaction of the Planning Director. If the Tree Removal Permit is denied such that a re-design of site improvements is required, the re-design shall not be subject to further discretionary reviews so long as the changes are limited to those needed in order to provide tree protection.

- M7. For each tree heritage tree, if any, approved to be removed, the Tree Board shall require Tree Replacement at a rate equal to or exceeding the ratio established by the Ordinance, as provided for within the Ordinance, when a different requirement is warranted related to the size and age of the subject tree. The replacement program shall consist of a variety of tree sizes, including but not limited to the use of at least one 24" box tree (or equivalent) and two 15 gallon trees for each protected heritage-size tree removed; and of a variety of types and sizes to mitigate both short- and long-term effects of the loss of protected trees.
- M8. The homes to be built within this project shall be subject to the review and approval of the Sebastopol Design Review Board. The Board will be guided in their review of the proposal by their adopted Project Review Guidelines; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).
- M9. Garages and other off-street parking areas planned to serve the new residential development shall be located in such a way that vehicles entering or existing the site from Jewell Avenue or First Street will not unduly produce direct, sustained headlight glare into the living areas of surrounding homes. If necessary, screening devices and/or plantings may be used to help dissipate any such direct glare, to the satisfaction of the Design Review Board.

**Fire Department Conditions of Approval:**

**General**

- F1. Fire protection for the homes to be built on Lots 2 and 3 shall be to the satisfaction of the City Fire Chief.

**Engineering Department Conditions of Approval:**

**General**

- E1 Submittals for Engineering Plan Check shall be made at the Engineering Department. Plan Check deposit shall be paid at the time of submittal. Call 823-2151 for information.
- E2 Any exceptions or variances from the conditions stated herein will require the

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written approval of the City Engineer or approval of the City Council if required by the City Code.

- E3 No construction shall be initiated until the Improvement Plans have been approved by the City, all applicable fees have been paid, an encroachment permit and/or grading permit has been issued and a project schedule has been submitted to the City Engineer and a pre-construction conference has been held with the City Engineer or designee.
- E4 All construction shall conform with the City Standard Details and Standard Specifications dated July 1998, all City Ordinances, the State Subdivision Map Act, and the approved plans.
- E5 Public Utility easements shall be provided as requested by the Public Utility Agencies and shall be offered for dedication on the map.
- E6 All underground utilities within the private access street shall be installed prior to street construction.
- E7 All utility distribution facilities, within the Hayden Street access and in the new private access from First Street, shall be placed underground except for surface mounted transformers, pedestal mounted terminal boxes, meter cabinets, fire hydrants, and street lights. Appropriate easements shall be provided to facilitate these installations. Existing overhead utilities on the First Street frontage of the project are not required to be placed underground because this requirement would result in an additional pole and guy wires, defeating the intended purpose.
- E8 Any existing septic tank(s) shall be abandoned under permit and inspection by the Sonoma County Health Department prior to map recordation.
- E9 Any existing well(s) shall be abandoned under permit and inspection of the Sonoma County Health Department.
- E10 The applicant shall submit to the City of Sebastopol for review and approval by the City Engineer, improvement plans prepared by a Registered Civil Engineer. Plans shall show all street, drainage, water, wastewater and grading improvements.
- E11 The following notes shall appear on the improvement plan cover sheet:  
"All utilities on site shall be placed underground".  
"During construction, the Developer shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and streets".
- E12 The subdivider shall either complete the required construction or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Parcel Map, agreeing to complete the required construction within 24 months after the filing of the map. The Improvement Agreement shall be

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recorded with the map.

- E13 The developer shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any buildings to the City water or wastewater system.

### **Grading and Site Work**

- E14 All grading work shall be shown on a grading plan to be incorporated into the improvement plans.
- E15 Grading plan shall include the location and size of all existing trees to be removed, and trees to remain. The plans shall show all measures identified in the Tree Protection Plan as needed, to protect trees during construction.
- E16 Improvement plans shall be submitted showing all proposed improvements including grading, paving, utilities, drainage, structures to be built, lighting and trash collection. Improvement plans shall include a winterization and erosion protection plan.
- E17 The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.

### **Streets**

- E18 Construction of curb, gutter, and sidewalk on First Street shall be deferred to such time as other portions of First Street are improved. The Subdivider shall guarantee eventual construction of these improvements through an agreement, to be recorded against the lots taking access from First Street. The Subdivider shall also provide a preliminary design, including plan, profile and cross-sections, for the future improvements on First Street.
- E19 Driveway entrances shall meet the requirements of the City Traffic Engineer.
- E20 The access easement on Lot 1 in favor of Lot 2 shall be a minimum width of 25 feet.

### **Storm Drainage/Flood Damage Protection**

- E21 Drainage facilities shall be provided within the subdivision to eliminate the effects of additional stormwater runoff on adjacent properties.
- E22 Calder Creek shall be protected from water quality impacts due to additional stormwater runoff. Subject to feasibility (as determined by the geotechnical engineer, the Sonoma County Water Agency, the Regional Water Quality Control Board, and/or the State Department of Fish & Game, as applicable), drainage shall be filtered by natural vegetation or infiltration prior to entering Calder Creek.
- E23 If any work is necessary in Calder Creek, the subdivider shall be responsible for obtaining any and all permits deemed necessary, including but not limited to the

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following:

State Department of Fish and Game, Streambed Alteration Permit  
Regional Water Quality Control Board, Section 401 Permit

**Water Distribution**

- E24 Fire protection facilities shall be in accord with the requirements of Sebastopol Fire Department.
- E25 Backflow prevention devices will be required in accordance with the requirements of the City of Sebastopol's Backflow Prevention Ordinance.
- E26 Water services to serve this development shall be connected to the existing mains. Meter locations shall be subject to approval by the Sebastopol Public Works Department.

**Sewer Collection**

- E27 Sanitary sewer to serve this development shall be extended from the existing mains.
- E28 New sewer laterals shall be constructed in accordance with City Standards.

**Parcel Map**

- E29 A Parcel Map as defined in the State Subdivision Map Act and prepared by a licensed surveyor or civil engineer, showing at all parcel rights-of-way and easements, shall be filed with the City of Sebastopol Engineer's Office. The Parcel Map shall conform to the requirements of the State Subdivision Map Act and the City Subdivision Ordinance. Upon recordation of the Map, the Subdivision is valid.
- E30 All property corners of lots within the subdivision shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into the earth except as expressly permitted in writing by the City Engineer.
- E31 The Parcel Map shall show:
  - The assessor's parcel number
  - Total area of land being subdivided (in acres)
  - Total number of lots being created
- E32 NOTE ON PARCEL MAP: "Building permits shall be subject to payment of development fees in effect at time of permit issuance."

E33 The following covenant shall be recorded with each lot: An approved Grading, Drainage, and Erosion Control Plan shall be required for each lot (if such a plan has not already been approved for the entirety of this minor subdivision). The Grading, Drainage and Erosion Control Plan shall be submitted to the Engineering Department and shall be approved by the City Engineer, and by any other body as may be applicable as set forth herein, prior to issuance of a Grading Permit or a Building Permit, including but not limited to a foundation-only permit. (Note, recordation of this covenant may be waived if an inclusive Grading, Drainage, and Erosion

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Control Plan has been approved for the entirety of this subdivision, and work to be performed is consistent with the approved Plan.)

E34 The owner shall record contemporaneously with the Parcel Map an irrevocable offer of dedication to the City of Sebastopol to provide additional right-of-way along the First Street frontage as necessary to provide a width of 25 feet from the centerline of the street. Additionally, a 5-foot-wide public utility easement shall be provided outside of (and adjacent to) the right-of-way.

DULY ADOPTED by the Sebastopol City Council on this 18<sup>th</sup> day of September, 2001, by the following vote:

VOTING AYE:

VOTING NO:

ABSENT:

ABSTAIN:

ATTEST: \_\_\_\_\_  
City Clerk

*File*

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RESOLUTION NO. 5220

A RESOLUTION OF THE SEBASTOPOL CITY COUNCIL  
APPROVING A MINOR TENTATIVE PARCEL MAP  
TO ALLOW THE 3-LOT SUBDIVISION OF  
763 FIRST STREET,  
APN 004-172-007

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WHEREAS, an application for Minor Tentative Parcel Map was filed by Paul Schoch on May 10, 2000, to divide a 1.86 acre parcel located at 763 First Street (APN 004-172-007) into 3 lots;

WHEREAS, the Environmental Coordinator has prepared a Mitigated Negative Declaration for the project, based on an Initial Study dated May 22, 2001, performed pursuant to the California Environmental Quality Act (CEQA);

WHEREAS, on June 19<sup>th</sup>, 2001, the Planning Commission of the City of Sebastopol held a duly noticed Public Hearing to consider the application of Paul Schoch for the 3-lot subdivision of the property located at 763 First Street, heard public testimony and considered the staff report;

WHEREAS, the Planning Commission of the City of Sebastopol, at their meeting of June 19, 2001, reviewed and adopted said Mitigated Negative Declaration, along with all recommended Mitigation Measures contained therein, finding it to be appropriate for the project as conditioned;

WHEREAS, after hearing said application for subdivision, staff report, and public testimony, and after finding adequate and adopting the Mitigated Negative Declaration, the Planning Commission did find and determine that the proposed Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the Sebastopol General Plan, the State Subdivision Map Act, and with the Sebastopol Subdivision and Zoning Ordinances;

WHEREAS, having made the necessary findings of consistency, the Planning Commission did adopt Resolution No. 02-2001, recommending to the City Council adoption of the Mitigated Negative Declaration and approval of the Minor Tentative Parcel Map, together with the provisions for its design and improvements, subject to the conditions set forth therein; and,

WHEREAS, on July 18, 2001, the Sebastopol Tree Board held duly noticed public hearing to consider the separate request of Paul Schoch for removal of a 49" d.b.h. Black Oak tree from just beyond the Hayden Avenue Extension on the easterly side of this same property, said request having been filed as a separate application from that of the proposed subdivision of land, and thus to be considered on its own merits, pursuant to the Sebastopol Tree Protection Ordinance;

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WHEREAS, after due consideration of the facts, findings, analysis, staff report, expert testimony and recommendations, and public testimony, the Tree Board found that the subject tree, having been declared hazardous, did qualify for the issuance of a Tree Removal Permit under the requirements of the Tree Protection Ordinance, and having so found, the Sebastopol Tree Board did grant the requested Tree Removal Permit, subject to conditions to ensure the adequate and timely planting of the required replacement trees; and,

WHEREAS, the Sebastopol City Council held a duly noticed public hearing on September 18<sup>th</sup>, 2001, received public testimony and considered the environmental document, staff report, and the recommendations of the Planning Commission; and

WHEREAS, the City Council continued its discussion and deliberations on the project to October 16, 2001; and

WHEREAS, the City Council has determined and hereby declares that the proposed Mitigated Negative Declaration is both adequate and appropriate for this project;

WHEREAS, the City Council finds that the application for Minor Tentative Parcel Map, together with the provisions for its design and improvements, as conditioned, is consistent with the goals, policies and objectives of the Sebastopol General Plan;

WHEREAS, the City Council finds that the application is consistent with the State Subdivision Map Act, and with the Land Use Designation of the Sebastopol General Plan; and that it meets all requirements and development standards of the Subdivision and Zoning Ordinances;

WHEREAS, the City Council finds that the granting of the Tree Removal Permit by the Sebastopol Tree Board eliminates the necessity of the design and access limitations imposed by the Planning Commission in the absence of such an approval for tree removal, and also eliminates the necessity of certain conditions recommended by the Planning Commission related to the placement of the proposed Jewell Avenue driveway and the protection of the subject tree;

WHEREAS, the City Council further finds that the subject division of property represents a residential infill project, such as is encouraged by the policies and programs set forth in the 1994 Sebastopol General Plan; and further, that it maintains consistency with the land use type and scale of adjacent development, and as such is consistent with the intent of the Land Use Chapter of the General Plan, and compatible with adjacent and surrounding land uses.

NOW, THEREFORE BE IT RESOLVED, after due consideration of the facts and analysis, and finding the proposal to be consistent with the Sebastopol General Plan, the State Subdivision Map Act, the Sebastopol Zoning Ordinance No. 913, and the

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Subdivision Ordinance No. 944, the Sebastopol City Council hereby approves the Minor Tentative Parcel Map application, together with the provisions for its design and improvements, subject to the conditions of approval set forth below:

**Conditions of Approval**  
Tentative Parcel Map  
763 First Street  
APN 004-172-007

*October 16, 2001*

**Planning Department Conditions of Approval:**

**General Conditions**

- P1. Approval is granted for the application date stamped May 10, 2000, except as amended herein.
- P2. All access for the subdivision shall be provided from First Street, and the subdivision map shall be revised to so indicate. No access shall be provided from the Hayden Avenue Extension.

**Prior to Issuance of a Grading Permit**

- P3. A Tree Protection Plan (TPP), including a TPP Map Sheet, is required to be submitted as a part of the Grading and/or Improvement Plans. The Map Sheet containing the Grading Plan shall reference the TPP Sheet with the following large, boxed note:

<p>“NOTE: Contractor is responsible for compliance with the approved Tree Protection Plan (Sheet x). Failure to fully comply with the restrictions, conditions, and mitigation measures of the Tree Protection Plan, as reflected on Sheet x, may result in the issuance of a stop-work order, or the imposition of fines and penalties, or both.”</p>
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- P4. The Grading and Improvement Plans, including the Tree Protection Plan Sheet (TPP Map Sheet), shall be reviewed and approved by the City Engineer, the City Planning Director, and the City Arborist prior to issuance of a Grading Permit. The Grading Plans may be referred to the Design Review Boards, the Sebastopol Tree Board, or both, if, in the sole opinion of the Planning Director, the proposed site grading is excessive, and/or will impact the privacy of surrounding residents, and/or does not afford the maximum level of protection to existing trees.
- P5. Any tree shown to be removed which is 8" or larger d.b.h. (unless named as exempt under the Sebastopol Tree Protection Ordinance) shall receive a Tree Removal Permit from the Sebastopol Tree Board prior to issuance of a Grading

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Permit.

Prior to Issuance of a Building Permit

- P6. The new residential development shall be subject to the review and approval of the Design Review Board. Design Review shall include consideration of the maintenance of privacy for adjacent properties, as well as compatibility with the existing neighborhood. Fencing materials at project boundaries shall also be subject to Design Review.
- P7. Prior to issuance of a Building Permit for Lot #3, the applicant for a Building Permit for this Lot shall file an application for a Second Dwelling Unit that is consistent with all applicable provisions of the City's Second Dwelling Unit Ordinance; if approved, the unit may be provided either simultaneous to the primary home, and rented out; or, it may be provided as a finished-space extension of the primary home, in such a manner that the provision of kitchen appliances and the construction of a simple firewall division between the units shall render it fully self-contained as a separate unit; or, it may be framed, plumbed, wired, ducted & insulated and closed in, but left unfinished until such time as the property owner elects to finish it and provide it as a rental unit, whether for a family member, or for any other person or household of approximately one to three persons, as the unit may be provided to, so long as the availability, advertisement, and rental or lease terms and practices associated therewith prohibit discrimination of any kind, and comply with all other applicable Fair Housing Laws.
- P8. A Traffic Impact Fee shall be paid prior to issuance of a building permit on each lot. The amount of the fee shall be determined by the City Traffic Engineer.
- P9. A Park In-lieu Fee shall be paid prior to issuance of a building permit on each lot.
- P10. Access to Lot 1-3 shall be provided to the satisfaction of the City Engineer, Fire Chief, and Planning Director.
- P11. The potential impacts associated with increased traffic along First Street shall be reviewed by the City Traffic Engineer, with recommendations made to address any increased impacts.
- P12. This condition deleted.
- P13. This condition deleted.
- P14. This condition deleted.

Mitigation Measures.

- M 1. A Geotechnical/Soils Report shall be submitted with the application for Final Map, if appropriate, or with each individual application for Building Permit, if

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applicable. The Report shall identify and discuss site soils, slopes, geological features and any other site conditions, and shall make recommendations as to the type of construction best suited for the site conditions; the recommendations shall be followed, and shall become conditions of approval of the project to be incorporated into the plans submitted with the Building Permit application, to the satisfaction of the Building Official. Notwithstanding, if circumstances and conditions so warrant, the soils report requirement may be duly waived, in writing with a copy of said waiver provided to the Environmental Coordinator, by the Building Official pursuant to and consistent with all applicable provisions of the UBC and the Subdivision Map Act, provided that the Building Official verifies that he has sufficient knowledge of soils in the area, such data having been previously provided by Geotechnical and/or soils reports for construction in the general area, and having had experience with similar or proximate sites, and appropriate knowledge of appropriate construction requirements, as specified in the UBC. In the case that no engineering-level soils report is required to be submitted with the application for Building Permit, then prior to the acceptance of an application for Design Review as complete, the applicant shall submit written verification from the Soils Engineer that the proposed type and size of construction is consistent with standard Geotechnical or Soils Report recommendations, as well as with any specific recommendation made for the particular Lot, as applicable.

- M 2. The Final Map shall indicate the approved areas upon which building may occur for each Lot (“building envelopes”), in order to reflect the following, as applicable:
- a) the exclusion of building construction within the SCWA-required 30’ creek setback;
  - b) the required front, rear, and/or side yard setbacks for each future home on each Lot, being those yards required in the Rural Residential (RR) Zone District unless another set of requirements are established as a part of the project and approved by the City Council, with only those approved shown and labeled;
  - c) the area to remain undisturbed, if any, within the root protection zone of any protected tree or trees, as may be required by the approved Tree Protection Plan; or, if there be no approved Tree Protection Plan for any particular Lot, as may be determined to be necessary and appropriate by the City Arborist; and
  - d) such other specific construction limit(s), restriction(s) or allowance(s), as may be applicable, whether requested by the applicant and approved by the Council, or by request of the Council and agreed to by the applicant, or as a condition of project approval, without which there would be no approval. The intent of this measure is to delineate, in an appropriate format, such specific criteria as are or may be established for any or all Lot(s) as may be related to building footprint limitations or allowances; reduced or increased setback(s), whether in general or as may be imposed for second stories; limitation(s) and/or allowance(s) as may be related to rooflines, such as ridge heights, roof slopes, and the like.

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- M3. All project-related grading, excavation, trenching, backfilling, compaction, and the like shall be conducted in strict accordance with City design specifications, and shall be approved in advance of work by the City Engineer. In general, all grading and excavation activities shall be limited to the "dry" season (between April 15 and October 15) in order to minimize wind or water erosion; any exceptions to the above time period shall only be allowed with the express written advance approval of the City Engineer upon his review and approval of the appropriate Engineered Grading Plans, including a weatherization plan; if applicable, such winterization plan shall be submitted as a part of the application for Grading Permit, and shall be approved as a part thereof. The winterization plan(s), if used, shall include specifications for the seeding and/or re-seeding of all exposed soil surfaces, both on-site and off-site, prior to the onset of normal winter rains, with supplemental fill-ins following any new exposure of soil surface area. Specifications shall adhere to the requirements that:
- a) native grasses are to be used whenever possible; and,
  - b) in no case shall any seed or seed mix containing greater than 0.1% noxious weeds be used for this purpose.
- M4. For any home proposed on any Lot(s) within this subdivision, if the proposal includes a fireplace/chimney, and said fireplace is not intended (and gas service provided for) decorative use only, the following requirement shall be made, and shall be noted on the plans submitted for Building Permit: Woodstoves, pellet stoves, and/or fireplace inserts are required to be installed in all non-decorative (i.e., not solely gas-serviced) fireplaces within the home(s). All stoves and inserts used shall be of the maximum efficiency type, certified as meeting or exceeding the requirements of the BAAQMD, or as otherwise deemed satisfactory by the Building Official. This restriction shall continue to apply to each Lot(s) until such time as the applicable standard is no longer valid, or the BAAQMD ceases to exist and there is no similar successor agency.
- M5. Prior to issuance of any Grading Permit or Building Permit for any particular Lot within this project, the Sebastopol Tree Board shall review and approve a Tree Removal and Tree Protection Plan, or, if applicable, a Specific Tree Protection/Contingent Removal Plan and Permit, unless such Plan does not involve removal or contingent removal of any protected tree such that the Tree Board has delegated review authority of the Tree Protection Plan to staff. The Tree Protection Plan and/ or Tree Removal Permit/Contingent Removal Permit shall meet all submittal requirements of the Tree Ordinance and the Tree Board. The Tree Protection Plan shall reflect any tree-related limitations to building envelope, as required by Conditions above. If site development will involve the removal of any protected tree, the Tree Removal Permit shall be required to be approved, with performance and protective bonds (if any) set and paid, prior to the commencement of any site clearing or site work on that Lot, and prior to

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issuance of any grading or building permit for that Lot, including a foundation-only permit.

- M6. A tree replacement plan consistent with the minimum replacement requirements discussed herein, and any required tree protection bonding or other performance/protection guarantees as may be required, shall be in place prior to issuance of any permit for grading or construction activities, to the satisfaction of the Planning Director. If the Tree Removal Permit is denied such that a re-design of site improvements is required, the re-design shall not be subject to further discretionary reviews so long as the changes are limited to those needed in order to provide tree protection.
- M7. For each tree heritage tree, if any, approved to be removed, the Tree Board shall require Tree Replacement at a rate equal to or exceeding the ratio established by the Ordinance, as provided for within the Ordinance, when a different requirement is warranted related to the size and age of the subject tree. The replacement program shall consist of a variety of tree sizes, including but not limited to the use of at least one 24" box tree (or equivalent) and two 15 gallon trees for each protected heritage-size tree removed; and of a variety of types and sizes to mitigate both short-and long-term effects of the loss of protected trees.
- M8. The homes to be built within this project shall be subject to the review and approval of the Sebastopol Design Review Board. The Board will be guided in their review of the proposal by their adopted Project Review Guidelines; by the design criteria set forth in the General Plan, and by the following infill development standard: In general, the size and height of the homes to be constructed within this subdivision shall not exceed those of similar homes of more recent construction in the general area, including both the First Street area and the Swain Woods neighborhood (Jewell near Hayden).
- M9. Garages and other off-street parking areas planned to serve the new residential development shall be located in such a way that vehicles entering or exiting the site from Jewell Avenue or First Street will not unduly produce direct, sustained headlight glare into the living areas of surrounding homes. If necessary, screening devices and/or plantings may be used to help dissipate any such direct glare, to the satisfaction of the Design Review Board.

**Fire Department Conditions of Approval:**

**General**

- F1. Fire protection for the homes to be built on Lots 2 and 3 shall be to the satisfaction of the City Fire Chief.

**Engineering Department Conditions of Approval:**

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General

- E1 Submittals for Engineering Plan Check shall be made at the Engineering Department. Plan Check deposit shall be paid at the time of submittal. Call 823-2151 for information.
- E2 Any exceptions or variances from the conditions stated herein will require the written approval of the City Engineer or approval of the City Council if required by the City Code.
- E3 No construction shall be initiated until the Improvement Plans have been approved by the City, all applicable fees have been paid, an encroachment permit and/or grading permit has been issued and a project schedule has been submitted to the City Engineer and a pre-construction conference has been held with the City Engineer or designee.
- E4 All construction shall conform with the City Standard Details and Standard Specifications dated July 1998, all City Ordinances, the State Subdivision Map Act, and the approved plans.
- E5 Public Utility easements shall be provided as requested by the Public Utility Agencies and shall be offered for dedication on the map.
- E6 All underground utilities within the private access street shall be installed prior to street construction.
- E7 All utility distribution facilities, within the Hayden Street access and in the new private access from First Street, shall be placed underground except for surface mounted transformers, pedestal mounted terminal boxes, meter cabinets, fire hydrants, and street lights. Appropriate easements shall be provided to facilitate these installations. Existing overhead utilities on the First Street frontage of the project are not required to be placed underground because this requirement would result in an additional pole and guy wires, defeating the intended purpose.
- E8 Any existing septic tank(s) shall be abandoned under permit and inspection by the Sonoma County Health Department prior to map recordation.
- E9 Any existing well(s) shall be abandoned under permit and inspection of the Sonoma County Health Department.
- E10 The applicant shall submit to the City of Sebastopol for review and approval by the City Engineer, improvement plans prepared by a Registered Civil Engineer. Plans shall show all street, drainage, water, wastewater and grading improvements.

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- E11 The following notes shall appear on the improvement plan cover sheet: “All utilities on site shall be placed underground”.  
“During construction, the Developer shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and streets”.
- E12 The subdivider shall either complete the required construction or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Parcel Map, agreeing to complete the required construction within 24 months after the filing of the map. The Improvement Agreement shall be recorded with the map.
- E13 The developer shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any buildings to the City water or wastewater system.

#### Grading and Site Work

- E14 All grading work shall be shown on a grading plan to be incorporated into the improvement plans.
- E15 Grading plan shall include the location and size of all existing trees to be removed, and trees to remain. The plans shall show all measures identified in the Tree Protection Plan as needed, to protect trees during construction.
- E16 Improvement plans shall be submitted showing all proposed improvements including grading, paving, utilities, drainage, structures to be built, lighting and trash collection. Improvement plans shall include a winterization and erosion protection plan.
- E17 The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.

#### Streets

- E18 Construction of curb, gutter, and sidewalk on First Street shall be deferred to such time as other portions of First Street are improved. The Subdivider shall guarantee eventual construction of these improvements through an agreement, to be recorded against the lots taking access from First Street. The Subdivider shall also provide a preliminary design, including plan, profile and cross-sections, for the future improvements on First Street.
- E19 Driveway entrances shall meet the requirements of the City Traffic Engineer.
- E20 The access easement on Lots 1 and 2 in favor of Lots 2 and 3 shall be a minimum width of 25 feet.

#### Storm Drainage/Flood Damage Protection

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- E21 Drainage facilities shall be provided within the subdivision to eliminate the effects of additional stormwater runoff on adjacent properties.
- E22 Calder Creek shall be protected from water quality impacts due to additional stormwater runoff. Subject to feasibility (as determined by the geotechnical engineer, the Sonoma County Water Agency, the Regional Water Quality Control Board, and/or the State Department of Fish & Game, as applicable), drainage shall be filtered by natural vegetation or infiltration prior to entering Calder Creek.
- E23 If any work is necessary in Calder Creek, the subdivider shall be responsible for obtaining any and all permits deemed necessary, including but not limited to the following:  
State Department of Fish and Game, Streambed Alteration Permit  
Regional Water Quality Control Board, Section 401 Permit

#### Water Distribution

- E24 Fire protection facilities shall be in accord with the requirements of Sebastopol Fire Department.
- E25 Backflow prevention devices will be required in accordance with the requirements of the City of Sebastopol's Backflow Prevention Ordinance.
- E26 Water services to serve this development shall be connected to the existing mains. Meter locations shall be subject to approval by the Sebastopol Public Works Department.

#### Sewer Collection

- E27 Sanitary sewer to serve this development shall be extended from the existing mains.
- E28 New sewer laterals shall be constructed in accordance with City Standards.

#### Parcel Map

- E29 A Parcel Map as defined in the State Subdivision Map Act and prepared by a licensed surveyor or civil engineer, showing at all parcel rights-of-way and easements, shall be filed with the City of Sebastopol Engineer's Office. The Parcel Map shall conform to the requirements of the State Subdivision Map Act and the City Subdivision Ordinance. Upon recordation of the Map, the Subdivision is valid.
- E30 All property corners of lots within the subdivision shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into the earth except as expressly permitted in writing by the City Engineer.
- E31 The Parcel Map shall show:           The assessor's parcel number

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Total area of land being subdivided (in acres)

Total number of lots being created

E32 NOTE ON PARCEL MAP: "Building permits shall be subject to payment of development fees in effect at time of permit issuance."

E33 The following covenant shall be recorded with each lot:  
An approved Grading, Drainage, and Erosion Control Plan shall be required for each lot (if such a plan has not already been approved for the entirety of this minor subdivision). The Grading, Drainage and Erosion Control Plan shall be submitted to the Engineering Department and shall be approved by the City Engineer, and by any other body as may be applicable as set forth herein, prior to issuance of a Grading Permit or a Building Permit, including but not limited to a foundation-only permit. (Note, recordation of this covenant may be waived if an inclusive Grading, Drainage, and Erosion Control Plan has been approved for the entirety of this subdivision, and work to be performed is consistent with the approved Plan.)

E34 The owner shall record contemporaneously with the Parcel Map an irrevocable offer of dedication to the City of Sebastopol to provide additional right-of-way along the First Street frontage as necessary to provide a width of 25 feet from the centerline of the street. Additionally, a 5-foot-wide public utility easement shall be provided outside of (and adjacent to) the right-of-way.

DULY ADOPTED by the Sebastopol City Council on this 16<sup>th</sup> day of October, 2001, by the following vote:

APPROVED: \_\_\_\_\_

Mayor

VOTING AYE: Councilmembers Roventini, Spooner and Mayor Robinson

VOTING NO: Councilmember Litwin

ABSENT: None

ABSTAIN: Councilmember Anderson

ATTEST: \_\_\_\_\_

City Clerk



Parcel Number	County Land Use	Parcel Address	Parcel City	Parcel Zip	Assessor Lot Acres	Residential Units	Bedrooms	Bathrooms	Main Building Square Feet	Year Built	Zoning Code
004-660-027	SFD W/GRANNY UNIT	931 BAYBERRY CT	SEBASTOPOL	95472	0.4275	1	3	3	2371	1990	R3
004-410-028	SINGLE FAMILY DWELLING	838 1ST ST	SEBASTOPOL	95472	0.46	1	5	4	2917	1990	R2
004-660-024	SINGLE FAMILY DWELLING	900 BAYBERRY CT	SEBASTOPOL	95472	0.4079	1	5	4	3336	1990	R3
004-410-027	SINGLE FAMILY DWELLING	830 1ST ST	SEBASTOPOL	95472	0.6235		3	3	2464	1991	R2
060-210-061	SINGLE FAMILY DWELLING	764 1ST ST	SEBASTOPOL	95472	0.6548	1	4	3	2296	1993	R2
004-410-014	SINGLE FAMILY DWELLING	880 1ST ST	SEBASTOPOL	95472	0.8586	2	4	2	2423	1994	R2
060-200-017	RURAL RES/VACANT HOMESITE	910 1ST ST	SEBASTOPOL	95472	0.5034	1	3	2	1978	1997	R2
060-210-062	RURAL RES/MANUFACTURED HOME	750 1ST ST	SEBASTOPOL	95472	0.4593	1	3	2	1328	1998	R2
060-200-018	SINGLE FAMILY DWELLING	900 1ST ST	SEBASTOPOL	95472	0.4695	1	3	2	2233	1998	R2
060-200-015	SFD W/GRANNY UNIT	920 1ST ST	SEBASTOPOL	95472	0.4621	2	5	4	3732	1998	R2
060-200-016	RURAL RES SFD W/GRANNY UNIT	930 1ST ST	SEBASTOPOL	95472	0.5087		4	3	3309	1998	R2
004-410-031	SINGLE FAMILY DWELLING	864 1ST ST	SEBASTOPOL	95472	0.34	1	3	2	1971	1999	R2
060-200-019	SINGLE FAMILY DWELLING	915 1ST ST	SEBASTOPOL	95472	0.3444		4	3	2653	1999	R3
060-200-020	SINGLE FAMILY DWELLING	925 1ST ST	SEBASTOPOL	95472	0.446	1	4	3	2532	1999	R3
004-410-018	SINGLE FAMILY DWELLING	885 1ST ST	SEBASTOPOL	95472	0.2755	1	4	3	2589	2000	R3
004-161-057	SINGLE FAMILY DWELLING	7420 BLOSSOMWOOD AVE	SEBASTOPOL	95472	0.2302	1	3	2	1851	2003	R4
060-210-063	SINGLE FAMILY DWELLING	754 1ST ST	SEBASTOPOL	95472	0.4491	1	3	3	2162	2004	R2
004-340-036	SINGLE FAMILY DWELLING	880 MCFARLANE AVE	SEBASTOPOL	95472	0.1607	1	3	2	1779	2004	R4

2440.2



**Builders Studio**  
OF SEBASTOPOL  
369 SO. MAIN STREET  
SEBASTOPOL, CALIFORNIA 95472  
OFFICE: (707) 837-3388 FAX: (707) 837-3253  
WWW.BUILDERSSTUDIOINC.COM  
CSL: 878343

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REV.	DATE	DESCRIPTION	DRAWN	CHECKED

**SCHOCH RESIDENCE**  
New Residence and ADU

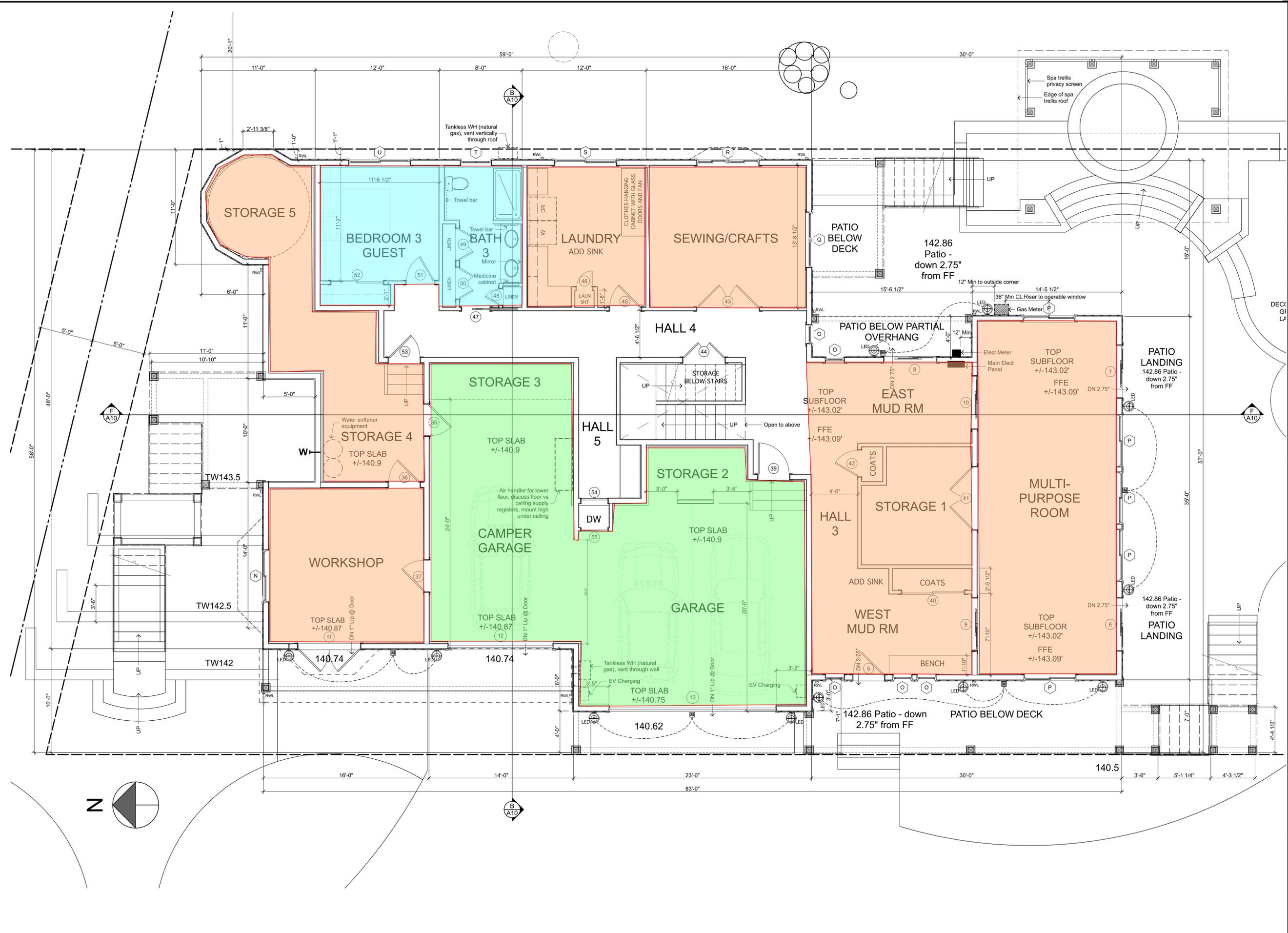
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



DATE: 5-13-21

Sheet  
**A-5**

Scale



**LOWER LEVEL FLOOR PLAN - MAIN HOUSE**

1/4"=1'-0"

12/15/2021

Ted Luthin, Chair  
Design Review Board  
c/o Planning Department  
7120 Bodega Ave.  
Sebastopol, CA 95473  
Via email delivery

RE: 771 and 773 First Street, Sebastopol

Dear Chair Luthin:

We are in receipt of the Planning Department's staff report regarding the interpretation of Mitigation Measure No. 8 (M8) and how it should be applied to a proposed single-family home in the subdivision. The Board's direction was to separate the meaning of M8 from the application of M8. The board separated the meaning from actual design review to focus solely on how the Mitigation Measure was to be read, with design review issues to be reviewed at a subsequent meeting. The staff report fails to follow this direction.

The staff report misstates facts, proposes arbitrary and capricious standards, and includes irrelevant analysis regarding the meaning of Mitigation Measure No. 8<sup>1</sup>. This results in a prejudicial analysis of both interpretive issues as well as the previously proposed project (which is not before the Board at this meeting).

#### **Agenda Item**

- The hearing agenda description does not comport with the DRB's direction. The DRB directed staff to notice a hearing to consider M8. Contrary to the DRB's direction, the December 15, 2021 hearing agenda description is limited to "size." This materially and prejudicially skews the focus of the hearing, which should integrate an interpretation reflecting *all* the elements of M8, not just one.

#### **Inappropriate and prejudicial references<sup>2</sup>**

- Understanding Mitigation Measure No. 8 is critical to the design of the subsequent proposed project. The staff report assumes the project will be the design previously submitted; however, we are awaiting the Board's understanding – where needed - of Mitigation No. 8 before we consider whether revisions to the previous design are warranted. Details and analysis about the square footage of the previously proposed home or other elements of that design are *not* before the Board for action and should *not* have been a focus of the staff report.

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<sup>1</sup> To be clear, the vast majority of M8 is clear and unambiguous based on M8's plain language.

<sup>2</sup> We address specific items in the staff report, but do not waive and expressly preserve our right to challenge the irrelevant items in the staff report and the biased analysis in the staff report.

- The staff report misstates the conditioned square footage of the previously-submitted design at 5,321 square feet when it is actually 4,521 square feet.
- The staff report accurately describes the main floor area as 2,990 square feet, but in initially describing the 'lower floor', the report states it is 3,623 square feet, which includes unconditioned space and the garage, areas not typically included when describing home square footage. Such areas are typically described separately rather than combined with conditioned space. This is a prejudicial description that is contrary to how the Zoning Ordinance defines a dwelling and the common understanding of home size.
- The staff report on page 2 states, "...it's also important to keep in mind the other mitigation measures relevant to this resolution which also include a Tree Protection Plan prior to the approval of a grading permit." Then on pages 3 - 5, the report focuses *at length* on tree and grading issues associated with the submitted design; however these issues are not noticed, were not what the Board directed be addressed at this meeting, and were not what staff told the applicant would be at issue during. Inclusion prejudices the matter before the Board: where needed, understanding ambiguous language in Mitigation Measure No. 8.

#### **Biased Analysis of M8**

- The City cannot ignore the entirety of M8. Limiting the DRB's consideration to "size" is an abuse of discretion and impermissibly renders the remainder of M8 superfluous.
- The City cannot add language that is not there to M8. For example, M8 does not call for an average of other home sizes, nor does it establish a measurement to determine the "general area." Both of these things are impermissible additions to the language in M8.
- Even if limiting the discussion to "size" followed the DRB's direction, the City is not making an "apples to apples" comparison. The staff report compares the conditioned space of allegedly similar homes to the conditioned and unconditioned space of the previously proposed home. This approach is arbitrary, capricious, prejudicial, and factually inaccurate.
- The report states that 'similar homes' "...should only be applied to those home (sic) within the incorporated limits of Sebastopol." There is no valid rationale for this approach, and it conflicts with the plain language of M8. The actual, physical general area includes unincorporated territory, and as noted in our previous correspondence, this site is most similar to First Street properties and larger lot, unincorporated Sebastopol properties.
- The staff report states it would be "unfair" to discount uninhabitable/unconditioned or storage space. This language is biased, judgmental, lacking both evidentiary and legal foundations, and prejudicial. While in the future, the Board will review the actual home design, massing, and the like, the issue at hand at this time is the meaning of M8. It is incontrovertible that the Zoning Ordinance definition of 'dwelling' does not include uninhabitable spaces and that the common understanding of home "size" matches that definition.

- Use of a 600' (or 650', as stated elsewhere in the report) radius as to what constitutes the 'general area' is arbitrary, capricious, and conflicts with the plain language of M8, particularly since there has been very little residential construction, and even less on 'similar' lots, in the general Sebastopol area in recent decades. The ¼ mile standard is applied to assess proximity (and walkability) to transit stops. We have seen no record of the City considering less than this distance for any other projects in the past. This should be the minimum for the board to consider when determining 'general area.'

### **Board Action**

The issue is the plain language of M8 and to the extent the plain language is unclear, the meaning of the ambiguous language; not the project design, not tree issues, not grading issues. The Board should construe M8 as follows:

For purposes of interpreting and applying Mitigation Measure No. 8, the Board finds that 'size' means conditioned square footage; that 'height' means building height as defined in the Zoning Ordinance; 'similar homes' includes homes on sites that are similarly situated to this lot, on larger lots of more rural character; 'more recent construction' means within approximately 25 years prior to the subdivision approval and/or a subject application; 'general area' means greater Sebastopol, as defined by its zip code; 'First Street area' means First Street and areas adjacent to it; 'Swain Woods neighborhood' means homes on several streets, including but not limited to all or portions of Swain Avenue, Swain Woods Terrace, Blossomwood Avenue, Palm Avenue, Jewell Avenue, and Parquet Street.

We thank you for your careful consideration of this matter.

Greg Beale, Design/Builder

cc: Larry McLaughlin, City Manager/City Attorney  
Rose and Steve Schoch  
Tina Wallis, Attorney at Law  
Kenyon Webster, Planning Consultant