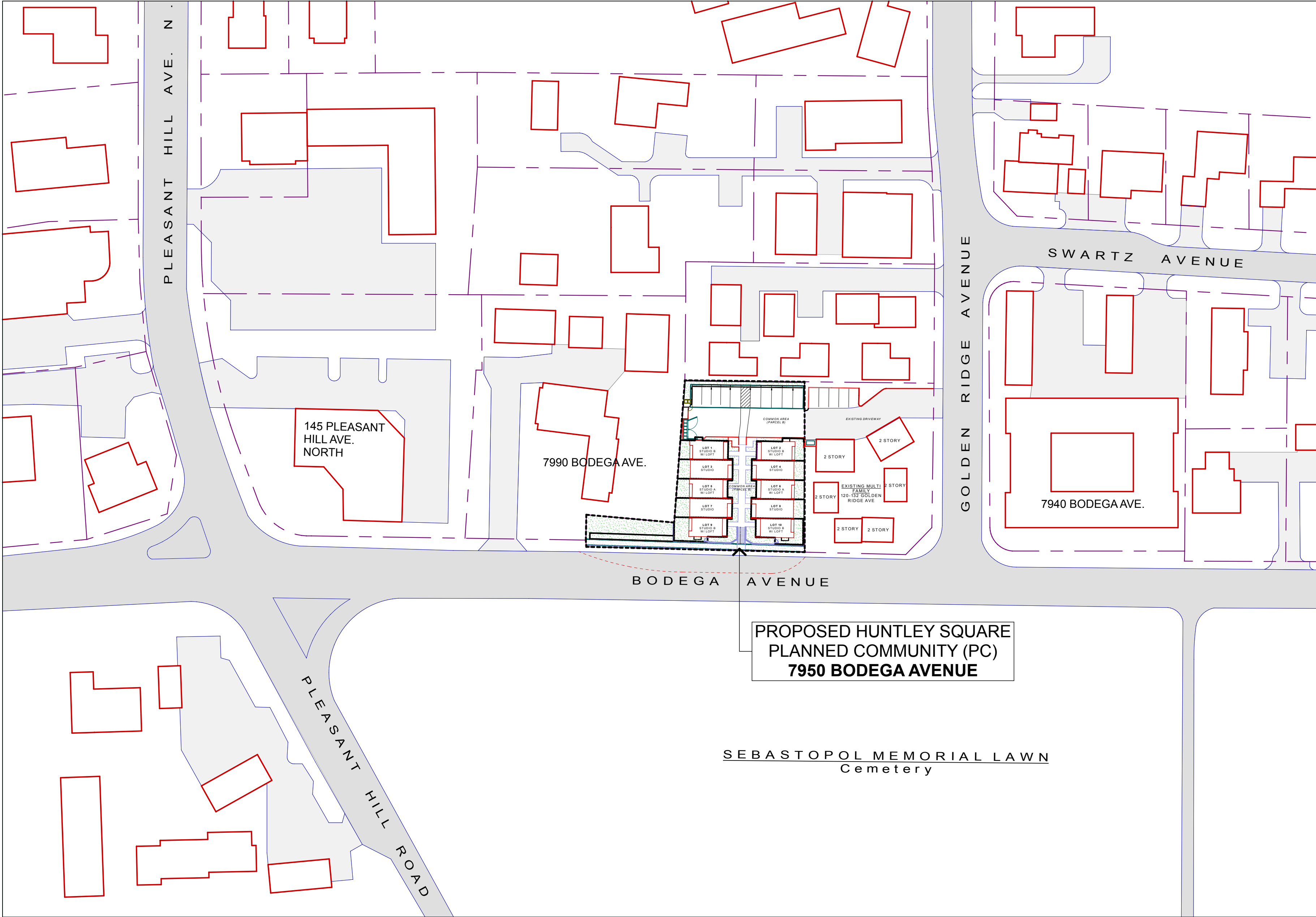
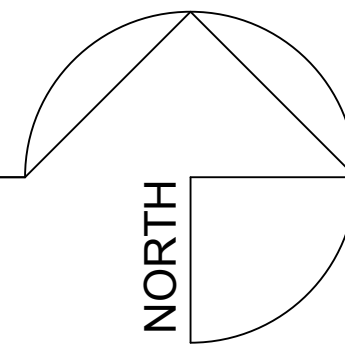


# HUNTLEY SQUARE



**1** LOCATION MAP  
 SCALE: 1" = 60'  
 0 1/2" 1" 2"



**DRAWING INDEX**

- A0.0 - COVER SHEET
- A0.1 - EXISTING SITE PHOTOS
- A0.2 - RENDERINGS

**CIVIL DRAWINGS**

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- 2 TOPOGRAPHIC MAP
- 3 PROPOSED LOT LINES
- 4 UTILITY PLAN
- 5 GRADING AND DRAINAGE
- 6 SITE SECTIONS 3

**LANDSCAPE DRAWINGS**

- L1 PRELIMINARY LANDSCAPE PLAN
- L2 PLANT PALETTE
- T1 TREE PRESERVATION PLAN 3

**ARCHITECTURAL DRAWINGS**

- A1.0 - VICINITY MAP
- A1.1 - SITE PLAN / PRELIMINARY MAP
- A1.2 - LOT LINE DIAGRAM
- A1.3 - RETAINING WALL DETAILS
- A1.4 - AREA DEVELOPMENT MAP
  
- A2.0 GENERAL FLOOR PLANS
- A2.1 BLDG 1 - FIRST FLOOR
- A2.2 BLDG 1 - SECOND FLOOR
- A2.3 GENERAL ROOF PLAN

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- A3.1 EXTERIOR ELEVATION - North, South
- A3.2 EXTERIOR ELEVATION - East, West
- A3.3 EXTERIOR ELEVATIONS
- A3.4 PARKING ELEVATIONS & GRADES

**A4.0 SECTIONS - PROJECT**

- A4.1 SECTIONS - BUILDING 1
- A4.2 SECTIONS - BUILDING 2 3
- A4.3 SECTIONS - BUILDING 1-2

- M1.1 MATERIAL BOARD
- M1.2 MATERIAL BOARD
- M1.3 SPECIFICATIONS

S1.0 SIGN DETAIL

**NOTICE**  
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**HUNTLEY SQUARE**  
 MINI HOME VILLAGE  
 7950 BODEGA AVE.  
 SEBASTOPOLE, CA 95472  
 A.P.N. 004-350-024-000

**COVER SHEET**  
 LOCATION MAP  
 DRAWING INDEX

<b>ISSUE/REVISIONS:</b>	
REV. 9-10-20	2
REV. 8-31-21	3
DATE: 3/29/22	

DRAWN BY: AJL  
 SCALE: AS NOTED

SHEETNO.:  
**A0.0**  
 (NEW SHEET) 2



1 Looking NE across Bodega Ave., toward 120-132 Golden Ridge Ave.



2 Looking NW across Bodega Ave., from intersection @ Golden Ridge Ave.



3 Looking north along east side of 120-132 Golden Ridge Ave.



4 Driveway entrance to parking behind 120-132 Golden Ridge Ave.



5 Looking west behind 120-132 Golden Ridge Ave. to rear of subject parcel



6 Looking NE across Bodega Ave. toward front of site



7 Looking north across Bodega Ave. toward front of site



8 Looking NW across Bodega Ave. toward front of site



9



10



11

11 Composite panorama of the site



13 Oak tree at west end of site frontage on Bodega Ave.



14 Other oak trees on site frontage on Bodega Ave.



15

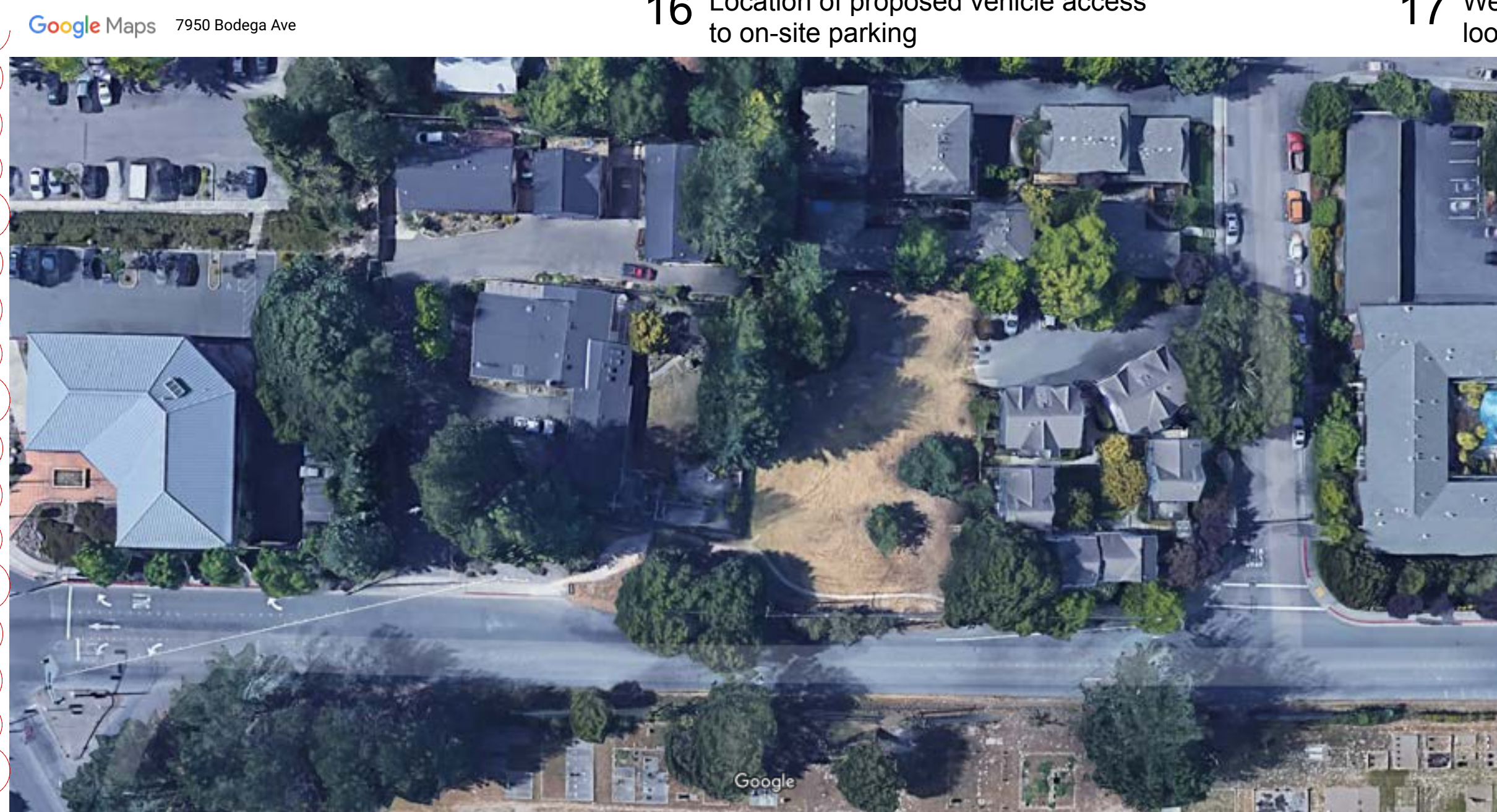
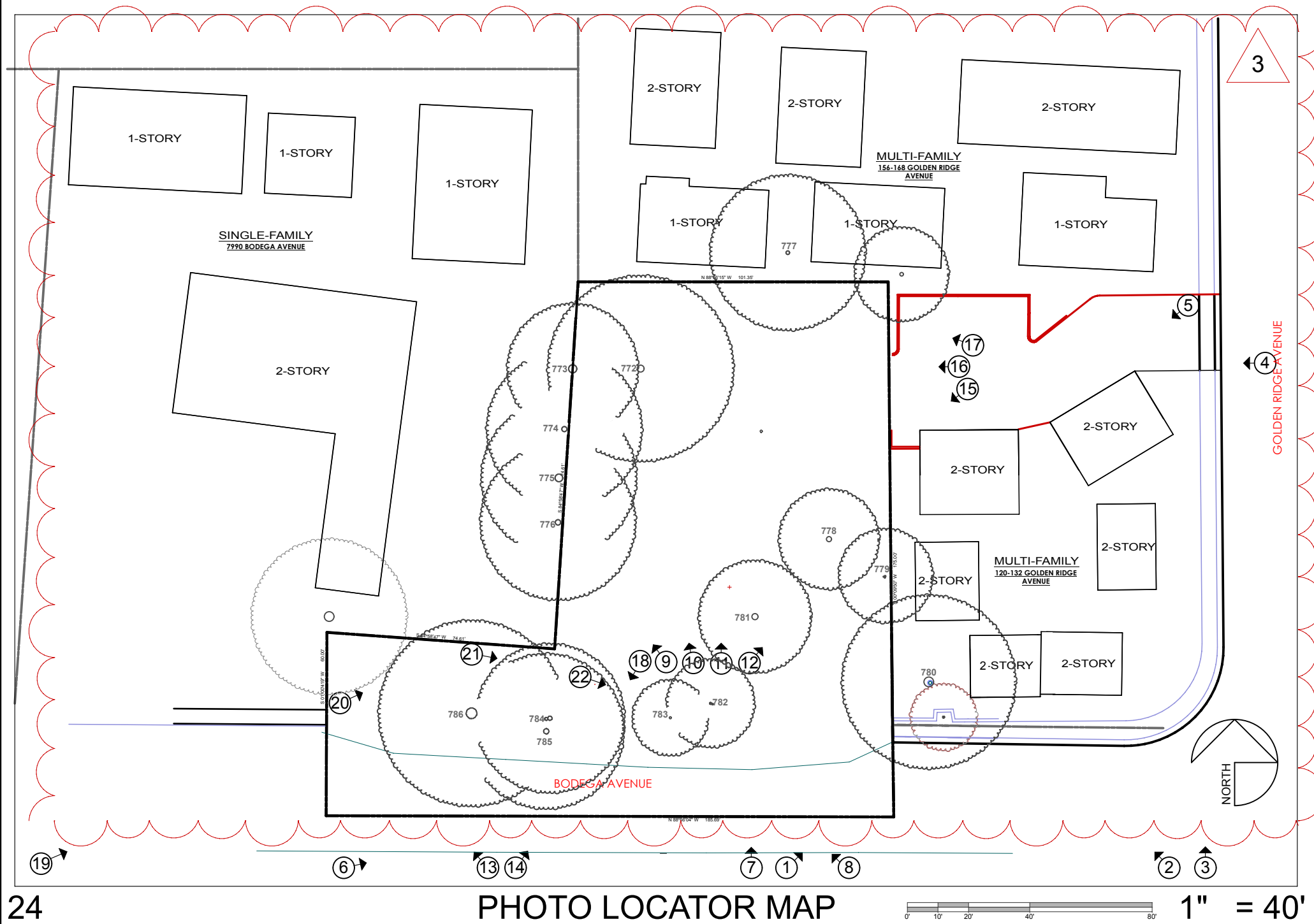
16 Location of proposed vehicle access to on-site parking



17 Western end of neighboring parking, looking into NE corner of site



18 Power pole @ front of site



AERIAL VIEW OF SITE

1:1.28



19 Street frontage & end of sidewalk at 7990 Bodega Ave.



20 Dirt path going up from end of sidewalk at west end of site



21 Dirt path along front fence of 7990 Bodega Ave.



22 Dirt path across front of site



**HEALTHY BUILDINGS**  
 630 AIRPARK ROAD, SUITE A  
 NAPA, CA 94558  
 T. 707.676.8999  
 F. 707.676.8998  
 WWW.HBUSA.NET

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 7950 BODEGA AVE,  
 SEBASTOPOLE, CA 95472  
 A.P.N. 004-350-024-000

**INVENTORY**  
**EXISTING SITE**  
**PHOTOS**

**ISSUE/REVISIONS:**  
 REV. 9-10-20  
 REV. 8-31-21 3  
 DATE: 5/13/22

DRAWN BY: AJL  
 SCALE: AS NOTED

SHEETNO.:

**A0.1**



1 VIEW FROM BODEGA AVENUE



VIEW FROM RESIDENT PARKING AREA 2



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 F. 707.676.8998  
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**HUNTLEY SQUARE**  
 MINI HOME VILLAGE  
 7950 BODEGA AVE,  
 SEBASTOPOLE, CA 95472  
 A.P.N. 004-350-024-000

**RENDERINGS**

ISSUE/REVISIONS:  
 DATE: 3/29/22

DRAWN BY: HB  
 SCALE: NTS

SHEETNO.:

**A0.2**  
 (NEW SHEET)

**ABBREVIATIONS**

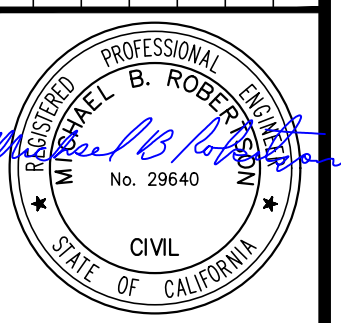
AC	ASPHALT CONCRETE
AP	ANGLE POINT
APN	ASSESSOR PARCEL NUMBER
APPROX	APPROXIMATE
BC	BEGINNING OF CURVE
BLDG	BUILDING
BSW	BACK OF SIDEWALK
CB	CATCH BASIN
C&G	CURB & GUTTER
CNC	CONCRETE
CL	CENTERLINE
COR	CORNER
CP	CONTROL POINT
DE	DRAINAGE EASEMENT
DI	DROP INLET
DWY	DRIVEWAY
EBX	ELECTRIC BOX
EP	EDGE OF PAVEMENT
EX, (E)	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FIP	FOUND IRON PIPE
FL	FLOWLINE
FND	FOUND
G	EX GROUND SPOT ELEVATION
GV	GAS VALVE
HB	HOSE BIB
HC	HANDICAP
IG	INVERT GRADE
(max)	MAXIMUM
(min)	MINIMUM
(N)	NEW
R/W	RIGHT OF WAY
SD	STORM DRAIN
SHT	SHEET
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
STRP	STRIP
SUD	SIDEWALK UNDERDRAIN
SW	SIDEWALK
TB	TOP OF BANK
TC	TOP OF CURB
TO	TOP OF GRADE
TS	TOE OF SLOPE
(typ)	TYPICAL
USA-Y	YELLOW MARKING - GAS/JT
WM	WATER METER
WV	WATER VALVE

**SYMBOLS LEGEND**

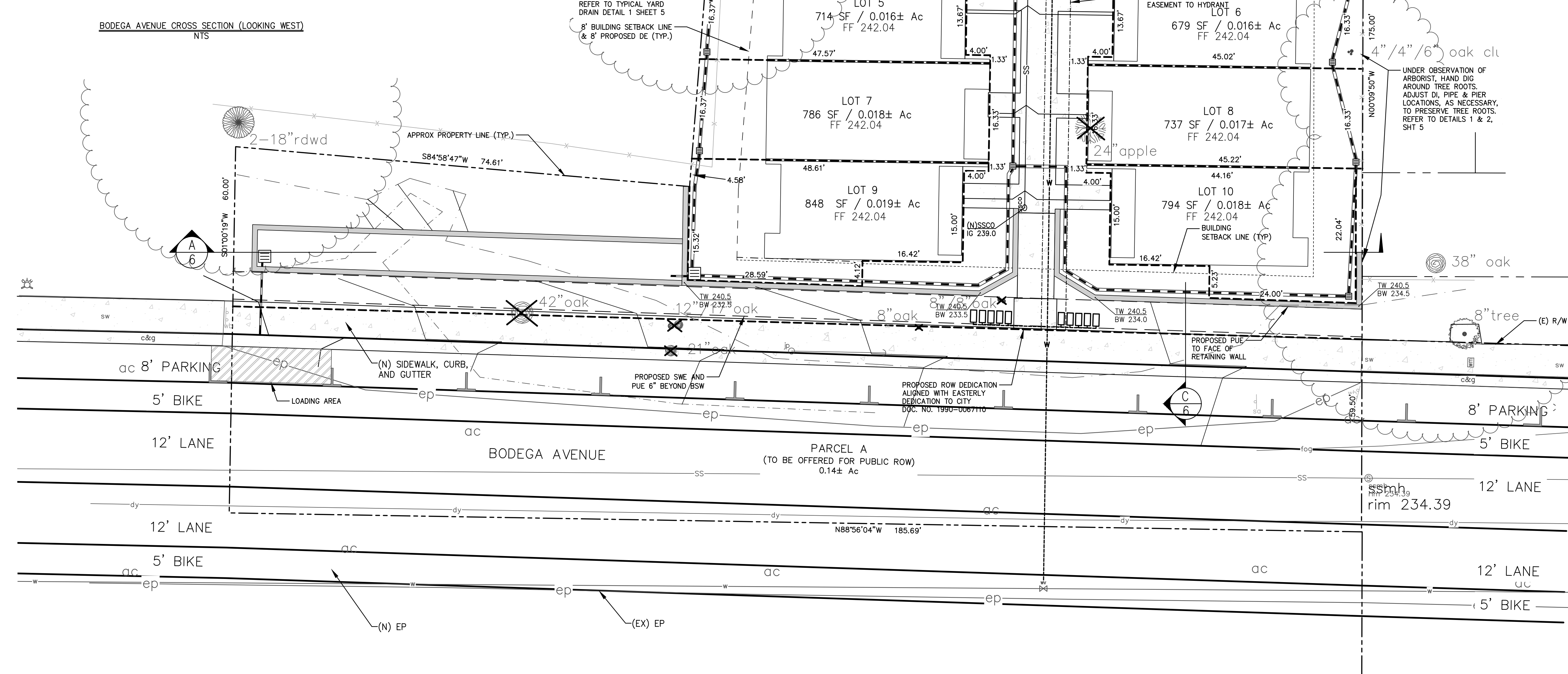
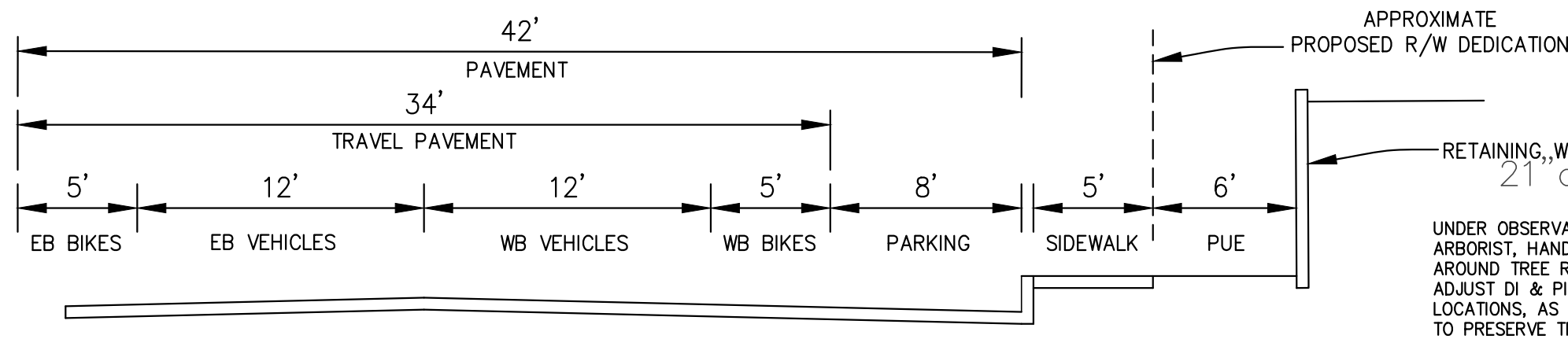
SCREENED AND/OR lower case DENOTES EXISTING FEATURES	PROPERTY LINE	---
	CENTERLINE	---
	CONTOUR & ELEVATION	---35---
	SETBACK LINE	---
	SWALE	---
	DROP INLET	⊕
	SANITARY SEWER CLEANOUT	⊕ <sub>SSCO</sub>
	SANITARY SEWER MANHOLE	⊕ <sub>SSMH</sub>
	JOINT UTILITY POLE	⊕ <sub>JUP</sub>
	TELEPHONE MANHOLE	⊕ <sub>TMH</sub>
	GAS VALVE	⊕ <sub>GV</sub>
	FIRE HYDRANT	⊕ <sub>FH</sub>
	WATER METER	⊕ <sub>WM</sub>
	WATER VALVE	⊕ <sub>WV</sub>
	STREET LIGHT	⊕ <sub>SL</sub>
	ELECTRIC POLE & ANCHOR	⊕ <sub>EPA</sub>
	FND IRON PIPE, AS NOTED	⊕ <sub>FND</sub>
	ELECTRIC METER	⊕ <sub>EM</sub>
	SURVEY CONTROL POINT	⊕ <sub>SCP</sub>

# TENTATIVE MAP FOR 7950 BODEGA AVE SEBASTOPOL CALIFORNIA

DATE:	Aug 2020
SCALE:	As Shown
DESIGNED:	MBR
DRAWN:	KF
CHECKED:	MBR
PROJ. ENGR.:	MBR
PROJ. MGR.:	MBR
NO. / DATE	REVISION



5-13-22  
95405  
2300 BETHARDS DRIVE, SUITE L, SANTA ROSA, CA 95405  
Tel: 707.523.7490 Fax: 707.523.7499  
E-mail: office@robertsonengineering.net



**NOTES**

1. THERE ARE NO EXISTING STRUCTURES ON THE SITE.
2. THERE ARE NO KNOWN WELLS OR SEPTIC SYSTEMS ON THE SITE. PROPOSED STRUCTURES TO BE CONNECTED TO CITY UTILITIES.
3. THERE ARE NO WATER COURSES OR OPEN DRAINAGE CHANNELS, EXISTING OR PROPOSED ON OR NEAR THE SITE.
4. THERE ARE NO AREAS ON THE SITE SUBJECT TO INUNDATION.

**SITE INFORMATION**

TOTAL SITE AREA: 0.53± ACRES

**CONSULTANT INFORMATION**

ARCHITECT:  
HEALTHY BUILDINGS  
630 AIRPARK RD, STE A  
NAPA, CA 94559  
707-676-8999  
BETH@HBUSA.NET

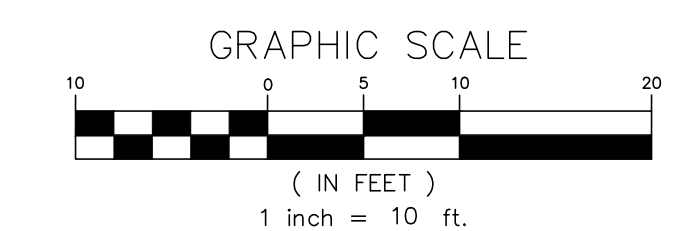
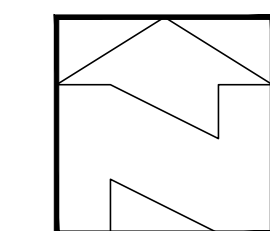
CIVIL ENGINEER AND SURVEYOR:  
ROBERTSON ENGINEERING  
2300 BETHARDS DR, STE L  
SANTA ROSA, CA 95405  
707-523-7490  
MIKE@ROBERTSONENGINEERING.NET

**OWNER/SUBDIVIDER**

HUNTLEY SQUARE, LLC  
630 AIRPARK RD, STE A  
NAPA, CA 94559  
707-676-8999

**SHEET INDEX**

- 1 SITE PLAN
- 2 TOPOGRAPHIC MAP
- 3 PROPOSED LOT LINES
- 4 UTILITY PLAN
- 5 GRADING AND DRAINAGE PLAN
- 6 SITE SECTIONS

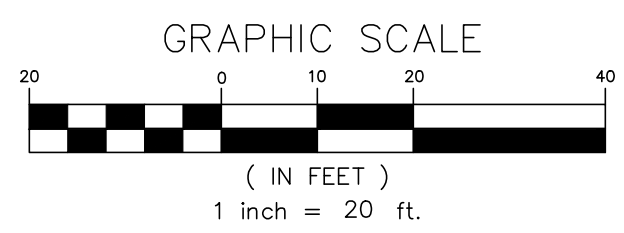
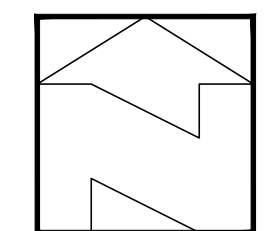
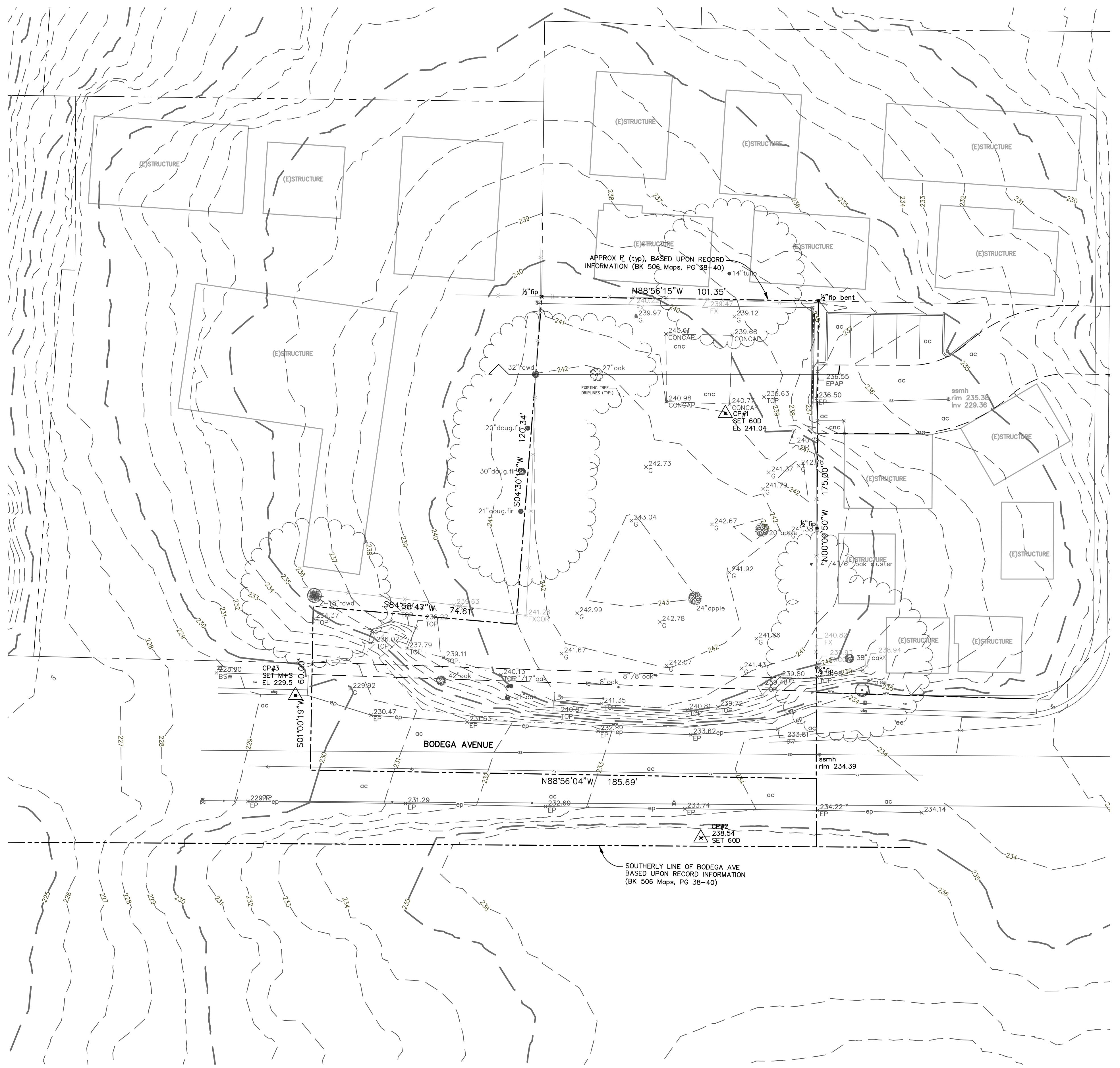


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E-mail: office@robertsonengineering.net

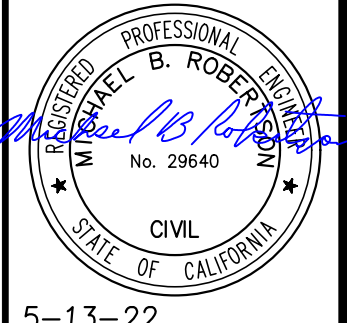
CALIFORNIA

**SITE PLAN**  
7950 BODEGA AVE  
SONOMA COUNTY

SHEET 1 OF 6 SHEETS  
JOB No. 18165



DATE:	Aug 2020	
SCALE:	As Shown	
DESIGNED:	MBR	
DRAWN:	KF	
CHECKED:	MBR	
PROJ. ENGR.:	MBR	
PROJ. MGR.:	MBR	
NO.	DATE	REVISION



5-13-22

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**TOPOGRAPHIC NOTES**

1. TOPOGRAPHIC SURVEY SHOWN ON PLAN PROVIDED BY ROBERTSON ENGINEERING, INC., FIELD SURVEYED 9/14/15.
2. THIS TOPOGRAPHIC SURVEY DOES NOT CONTAIN A SURVEY OF THE BOUNDARY. BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM RECORD DATA AND SHOULD NOT BE CONSIDERED AS FINAL OR ALL INCLUSIVE. ENCROACHMENTS, AMBIGUITIES AND INCONSISTENCIES (IF ANY) BETWEEN THE RECORD DATA AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED.
3. NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND FEATURES. UNDERGROUND FEATURES SHOWN ARE BASED UPON VISUAL INSPECTION AND FOUND & SURVEYED ABOVE GROUND FEATURES.
4. COUNTY LINES BEYOND THE PROJECT SITE ARE BASED ON COUNTY LIDAR DATA

**BENCHMARK**

STANDARD STREET MONUMENT AT P.I. OF CURVE APPROXIMATELY 200' NORTH OF BODEGA AVENUE ON PLEASANT HILL AVENUE NORTH.  
 TOP OF MONUMENT = 211.70

CP# 1 ELEVATION = 241.04  
 CP# 2 ELEVATION = 238.54  
 CP# 3 ELEVATION = 229.50

(BASED UPON THE ELEVATIONS FROM THE BODEGA FLATS IMPROVEMENT PLANS)

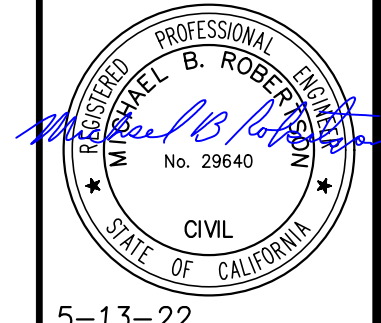
CALIFORNIA

7950 BODEGA AVE  
 SONOMA COUNTY

TOPOGRAPHIC MAP

SHEET	2
OF	6
SHEETS	
JOB No.	18165

DATE:	Aug 2020	
SCALE:	As Shown	
DESIGNED:	MBR	
DRAWN:	KF	
CHECKED:	MBR	
PROJ. ENGR.:	MBR	
PROJ. MGR.:	MBR	
NO.	DATE	REVISION



5-13-22

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 Tel: 707.523.7490 Fax: 707.523.7499  
 E-mail: office@robertsonengineering.net

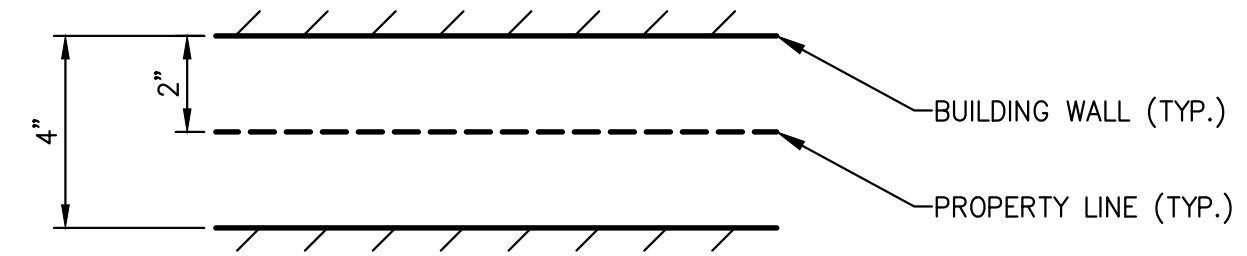
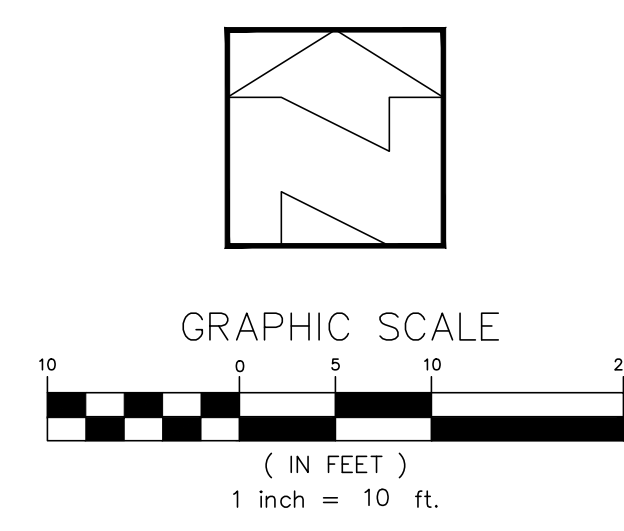
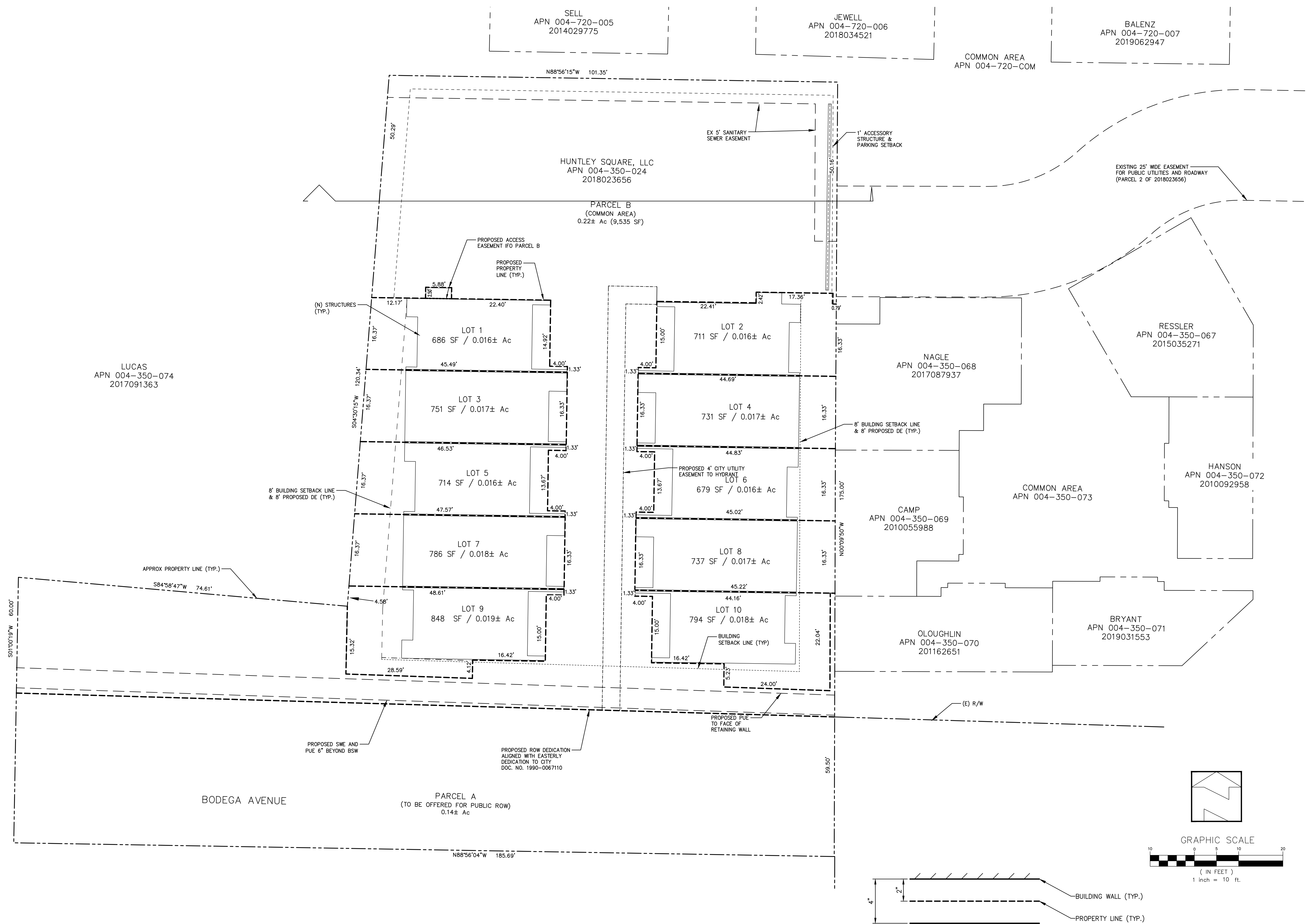
**PROPOSED LOT LINES**

CALIFORNIA

7950 BODEGA AVE  
 SONOMA COUNTY

SEBASTOPOL

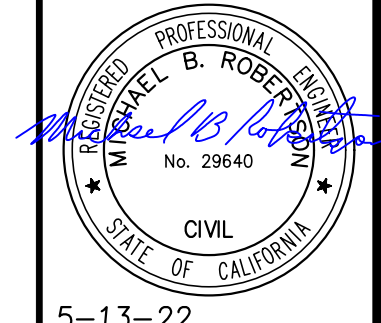
SHEET OF 3  
 6 SHEETS  
 JOB No. 18165



1 TYPICAL DETAIL PROP. LINES BETWEEN BUILDINGS NTS

DATE: Aug 2020  
 SCALE: As Shown  
 DESIGNED: MBR  
 DRAWN: KF  
 CHECKED: MBR  
 PROJ. ENGR.: MBR  
 PROJ. MGR.: MBR

NO.	DATE	REVISION



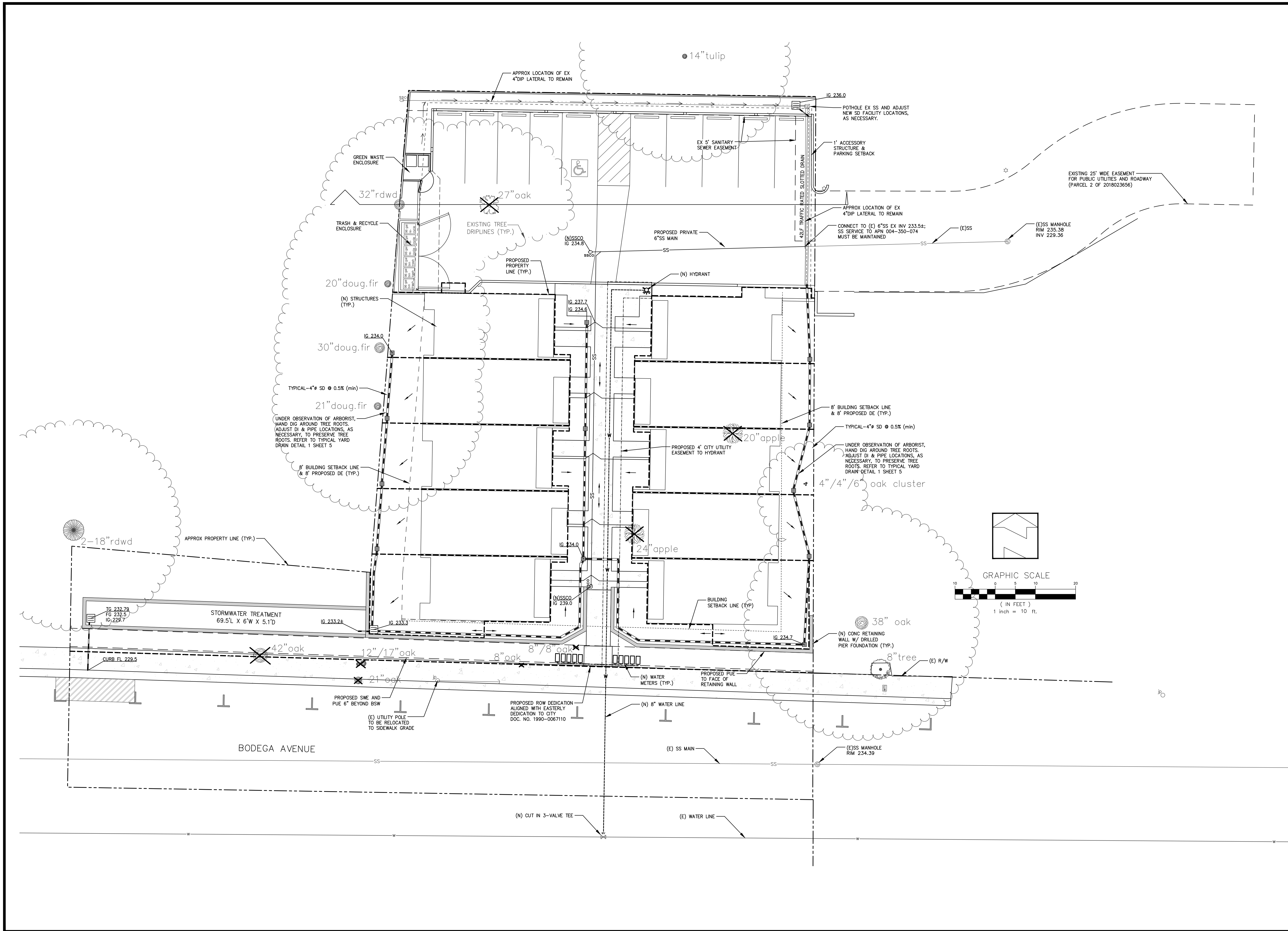
5-13-22  
 ROBERTSON ENGINEERING  
 2300 BETHARDS DRIVE, SUITE L, SANTA ROSA, CA 95405  
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 E-mail: office@robertsonengineering.net

CALIFORNIA

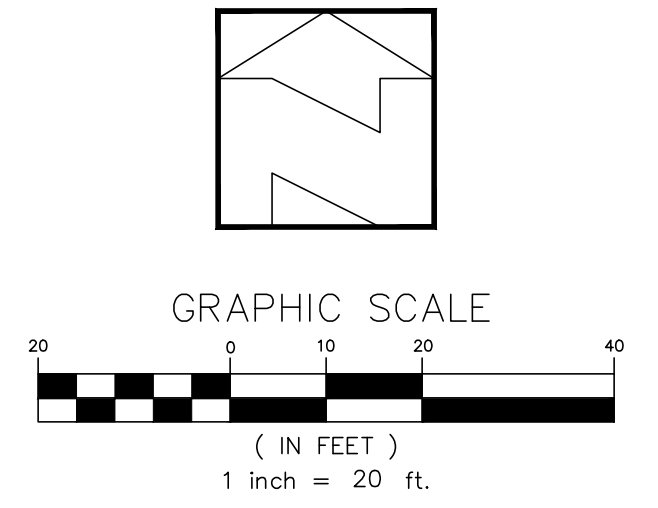
UTILITY PLAN  
 7950 BODEGA AVE  
 SONOMA COUNTY

SEBASTOPOL

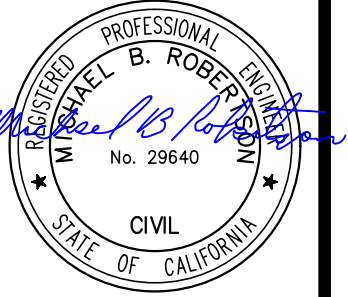
SHEET 4 OF 6 SHEETS  
 JOB No. 18165



DATE: Aug 2020  
 SCALE: As Shown  
 DESIGNED: MBR  
 DRAWN: KF  
 CHECKED: MBR  
 PROJ. ENGR.: MBR  
 PROJ. MGR.: MBR



No.	DATE	REVISION
1	8/29/20	REVISED PER CITY COMMENTS



5-13-22

95405  
 2300 BETHARDS DRIVE, SUITE L, SANTA ROSA, CA 95405  
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 Tel: 707.523.7490 E-mail: office@robertsonengineering.net

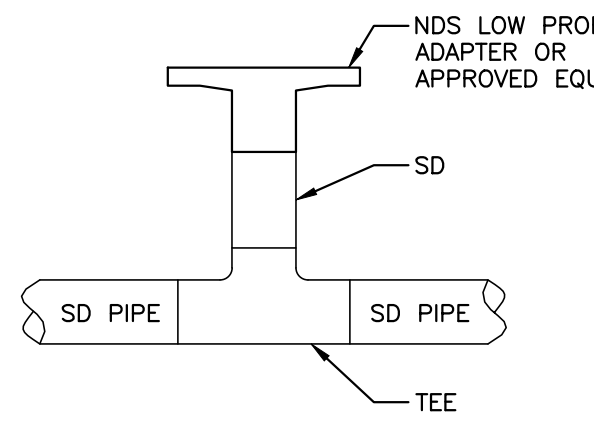
CALIFORNIA

7950 BODEGA AVE  
 SONOMA COUNTY

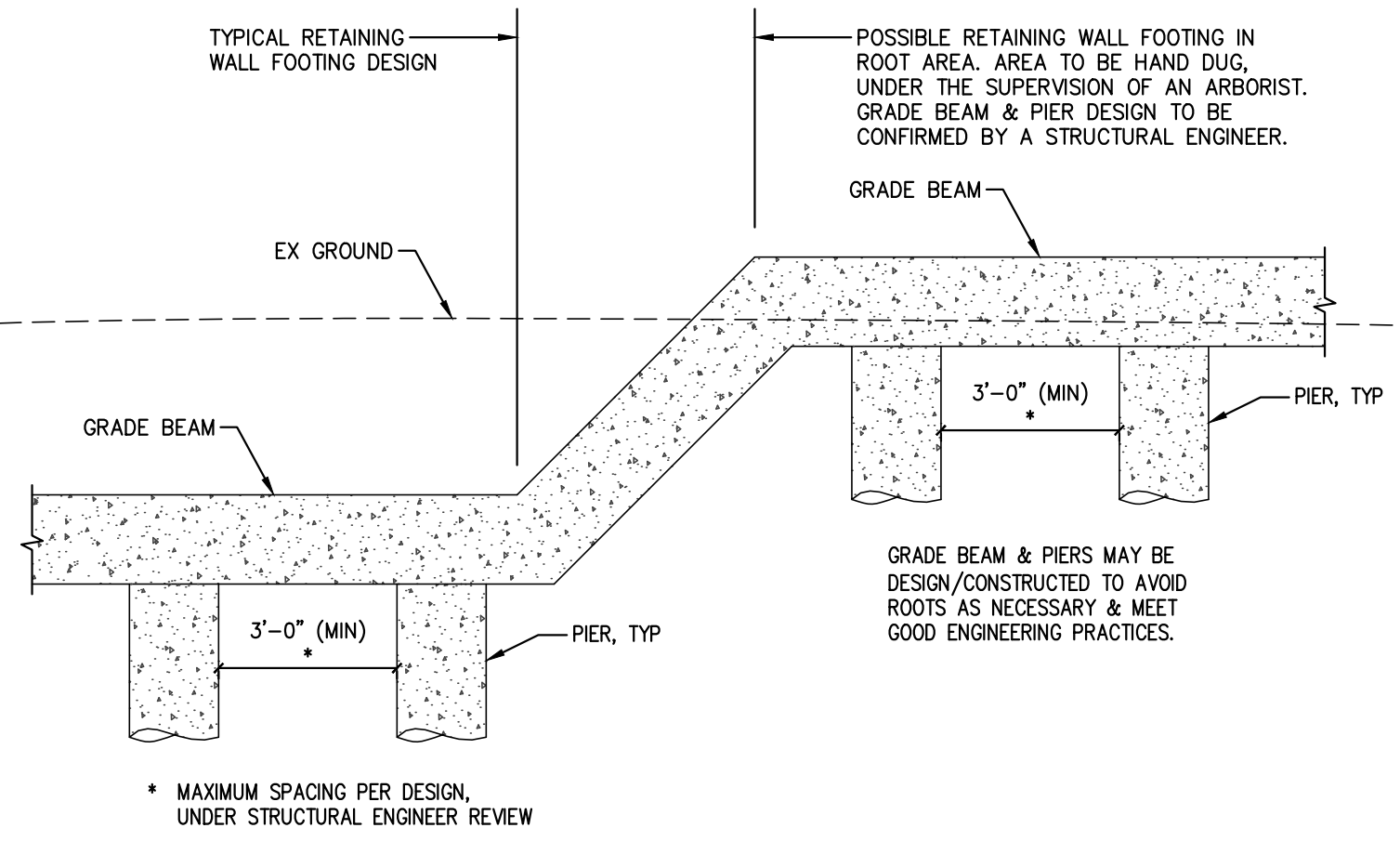
SEBASTOPOL

SHEET **5**  
 OF  
**6** SHEETS

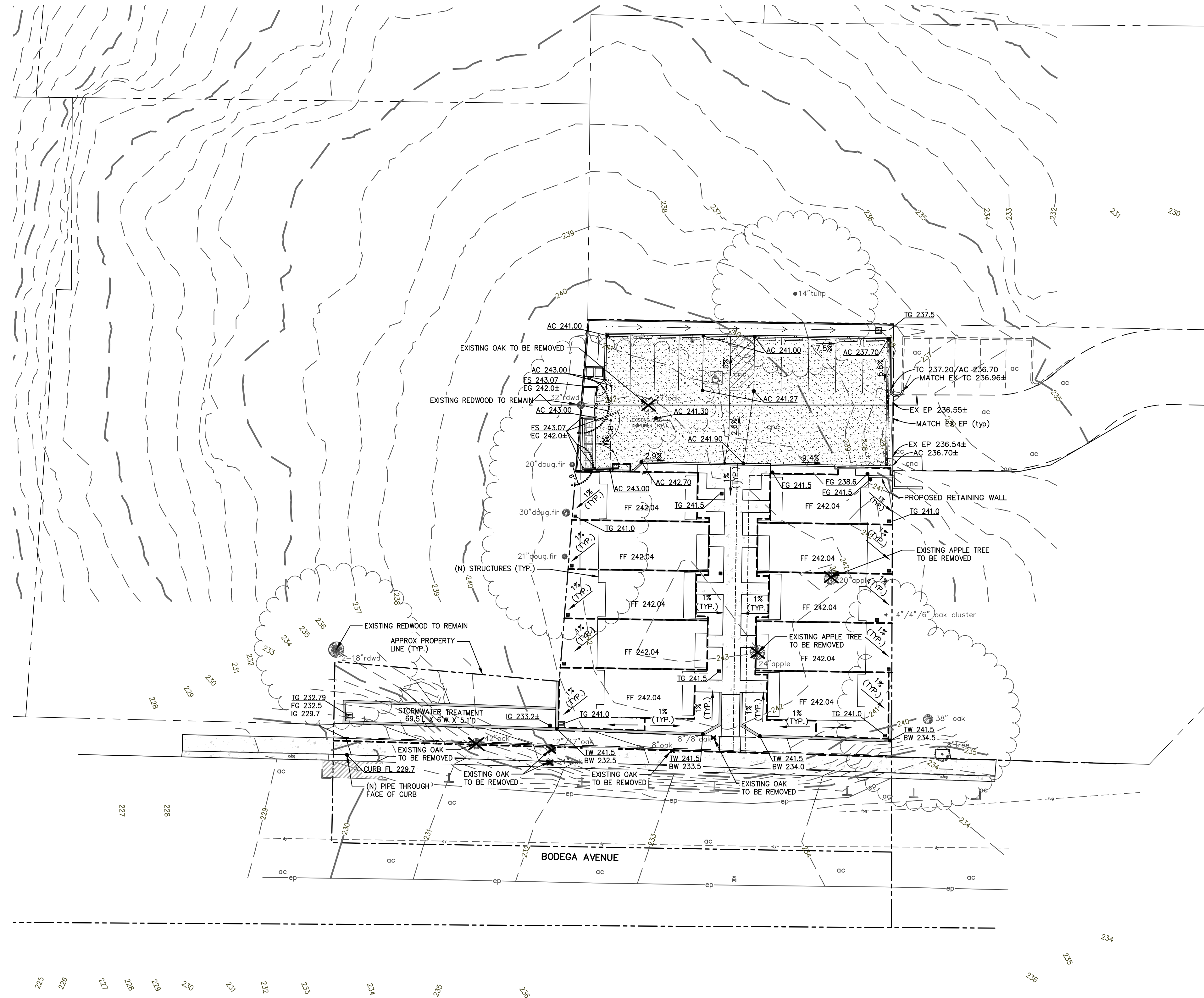
JOB No.  
**18165**



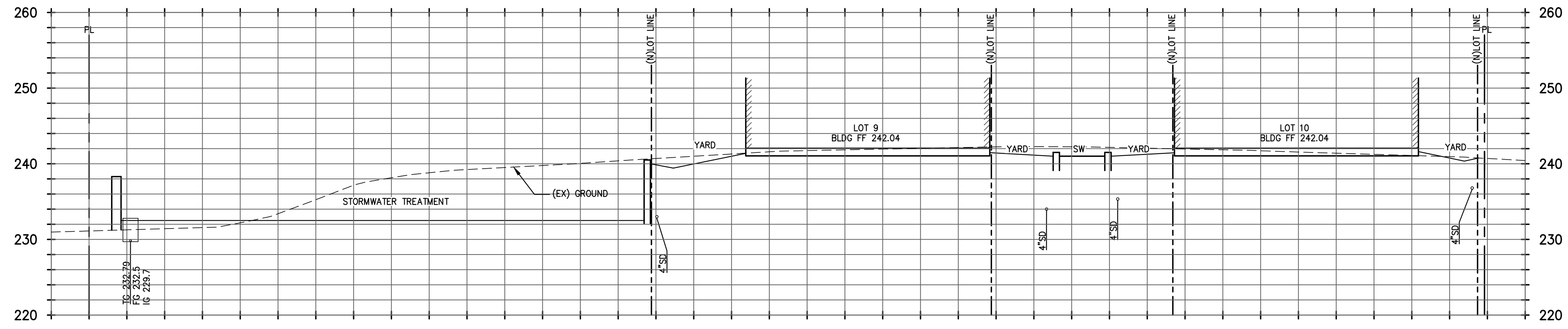
**1** TYPICAL YARD DRAIN DETAIL  
 SCALE: NTS  
 SD - SD PIPE PER PLAN



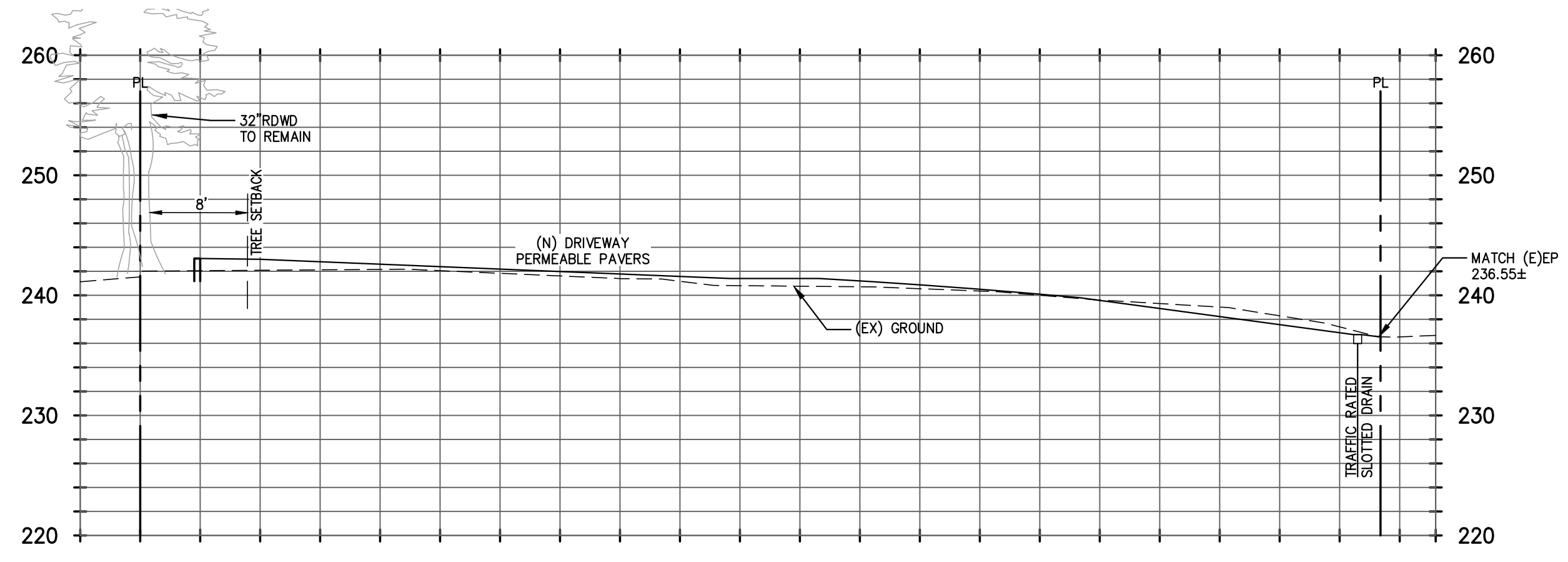
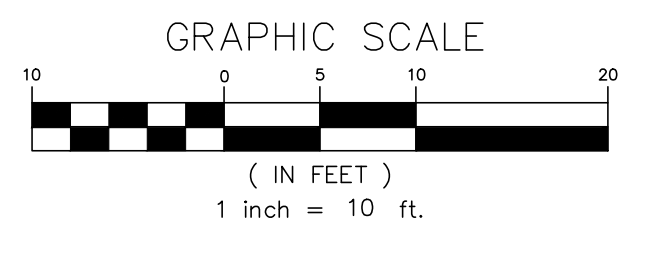
**2** POSSIBLE RETAINING WALL FOOTING DESIGN  
 SCALE: NTS



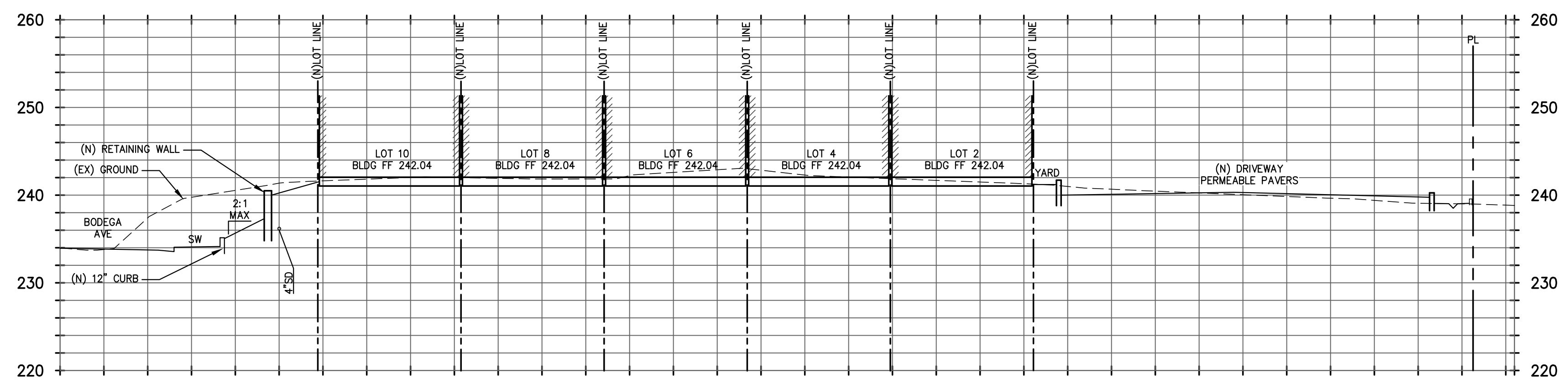




**A** SECTION A  
SCALE: 1" = 10' (H & V)



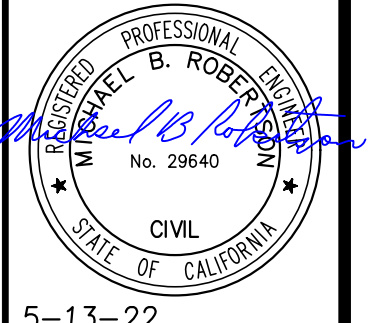
**B** SECTION B  
SCALE: 1" = 10' (H & V)



**C** SECTION C  
SCALE: 1" = 10' (H & V)

DATE: Aug 2020  
SCALE: As Shown  
DESIGNED: MBR  
DRAWN: KF  
CHECKED: MBR  
PROJ. ENGR.: MBR  
PROJ. MGR.: MBR

No.	DATE	REVISION
1	8/29/20	REVISED PER CITY COMMENTS



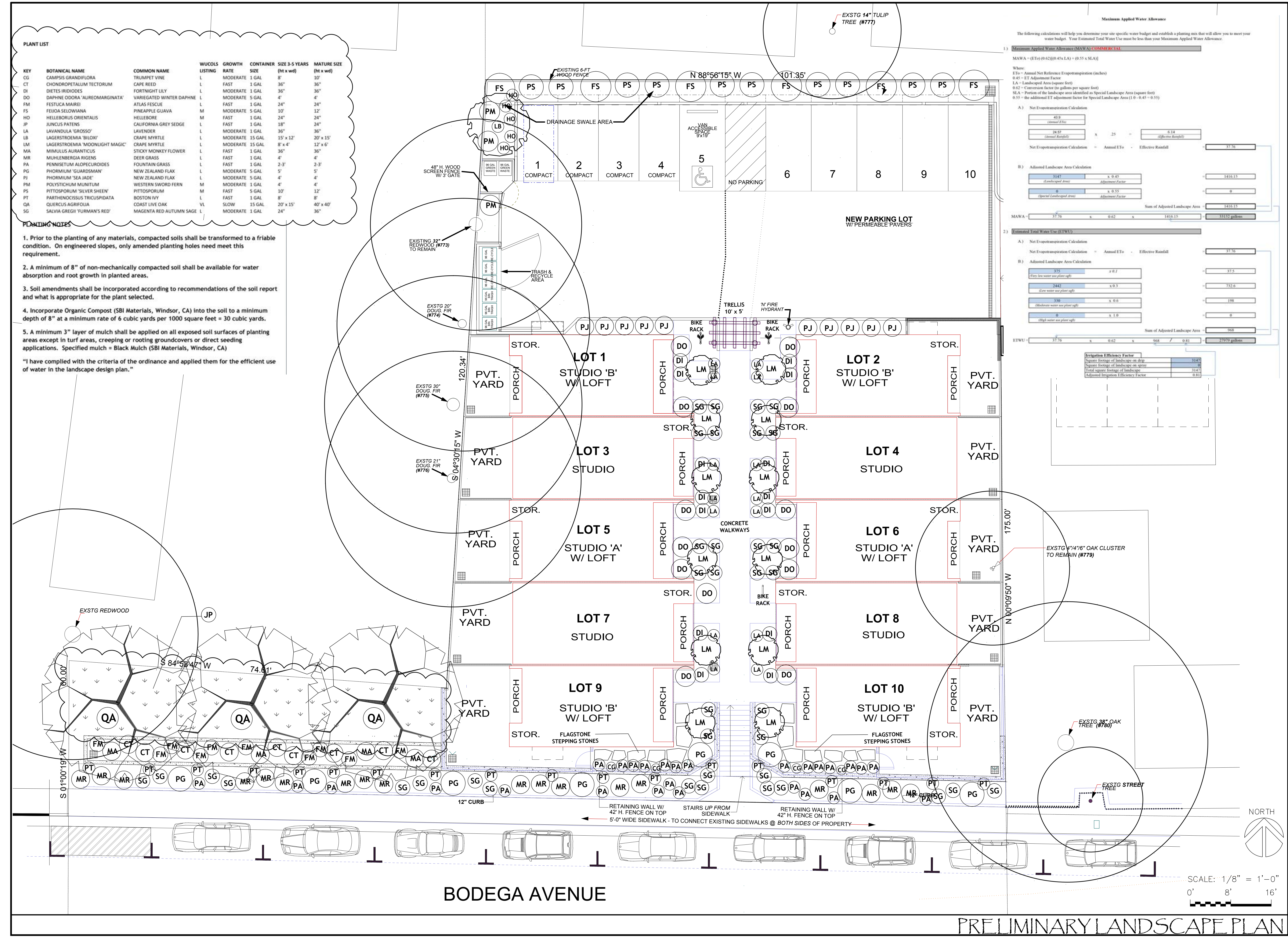
5-13-22  
ROBERTSON ENGINEERING INC.  
2300 BETHARDS DRIVE, SUITE L, SANTA ROSA, CA 95405  
Tel. 707.523.7490 Fax 707.523.7499  
E-mail: office@robertsonengineering.net

SITE SECTIONS  
7950 BODEGA AVE  
SONOMA COUNTY  
SEBASTOPOL  
CALIFORNIA

SHEET 6 OF 6 SHEETS  
JOB No. 18165

KEY	BOTANICAL NAME	COMMON NAME	WUCOLS LISTING	GROWTH RATE	CONTAINER SIZE	SIZE 3-5 YEARS (ht x wd)	MATURE SIZE (ht x wd)
CG	CAMPIS GRANDIFLORA	TRUMPET VINE	L	MODERATE	1 GAL	8"	10"
CT	CHONDROPETALUM TECTORUM	CAPE REED	L	FAST	1 GAL	36"	36"
DI	DIETES IRIDIODES	FORTNIGHT LILY	L	MODERATE	1 GAL	36"	36"
DO	DAPHNE ODORA 'AUREOMARGINATA'	VARIEGATED WINTER DAPHNE	L	MODERATE	5 GAL	4"	4"
FM	FESTUCA MAIREI	ATLAS FESCUE	L	FAST	1 GAL	24"	24"
FS	FEDUA SELOWIANA	PINEAPPLE GUAVA	M	MODERATE	5 GAL	10"	12"
HO	HELLEBORUS ORIENTALIS	HELLEBORE	M	FAST	1 GAL	24"	24"
JP	JUNCUS PATENS	CALIFORNIA GREY SEDGE	L	FAST	1 GAL	18"	24"
LA	LAVANDULA 'GROSSO'	LAVENDER	L	MODERATE	1 GAL	36"	36"
LB	LAGERSTROEMIA 'BILOXI'	CRAPE MYRTLE	L	MODERATE	15 GAL	15' x 12'	20' x 15'
LM	LAGERSTROEMIA 'MOONLIGHT MAGIC'	CRAPE MYRTLE	L	MODERATE	15 GAL	8' x 4'	12' x 6'
MA	MIMULUS AURANTICUS	STICKY MONKEY FLOWER	L	FAST	1 GAL	36"	36"
MR	MUHLENBERGIA RIGENS	DEER GRASS	L	FAST	1 GAL	4"	4"
PA	PENNETUM ALOPECURIOIDES	FOUNTAIN GRASS	L	FAST	1 GAL	2-3"	2-3"
PG	PHORMIUM 'GUARDSMAN'	NEW ZEALAND FLAX	L	MODERATE	5 GAL	5"	5"
PJ	PHORMIUM 'SEA JADE'	NEW ZEALAND FLAX	L	MODERATE	5 GAL	4"	4"
PM	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	M	MODERATE	1 GAL	4"	4"
PS	PITTIOSPORUM 'SILVER SHEEN'	PITTIOSPORUM	M	FAST	1 GAL	10"	12"
PT	PARTHENOISSUS TRICUSPIDATA	BOSTON IVY	L	FAST	1 GAL	8"	8"
QA	QUERCUS AGRIFOLIA	COAST LIVE OAK	VL	SLOW	15 GAL	20' x 15'	40' x 40'
SG	SALVIA GREGII 'FURMAN'S RED'	MAGENTA RED AUTUMN SAGE	L	MODERATE	1 GAL	24"	36"

- PLANTING NOTES**
- Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes need meet this requirement.
  - A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
  - Soil amendments shall be incorporated according to recommendations of the soil report and what is appropriate for the plant selected.
  - Incorporate Organic Compost (SBI Materials, Windsor, CA) into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet = 30 cubic yards.
  - A minimum 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers or direct seeding applications. Specified mulch = Black Mulch (SBI Materials, Windsor, CA)
- "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan."



**Maximum Applied Water Allowance**

The following calculations will help you determine your site specific water budget and establish a planting mix that will allow you to meet your water budget. Your Estimated Total Water Use must be less than your Maximum Applied Water Allowance.

**1) Maximum Applied Water Allowance (MAWA) COMMON RAIL**

MAWA = (ET<sub>o</sub>) (0.62) [(0.43 LA) + (0.55 x SLA)]

Where:  
 ET<sub>o</sub> = Annual Net Reference Evapotranspiration (inches)  
 0.43 = ET Adjustment Factor  
 LA = Landscaped Area (square feet)  
 0.62 = Conversion factor (in gallons per square foot)  
 SLA = Portion of the landscape area identified as Special Landscape Area (square feet)  
 0.55 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.43 = 0.55)

**A) Net Evapotranspiration Calculation**

Annual ET <sub>o</sub>	=	43.0
(Annual Rainfall)	x .25	= 6.14
<b>Net Evapotranspiration Calculation = Annual ET<sub>o</sub> - Effective Rainfall</b>	=	<b>37.76</b>

**B) Adjusted Landscape Area Calculation**

(Landscaped Area)	x 0.45	= 1416.15
(Special Landscaped Area)	x 0.55	= 0
<b>Sum of Adjusted Landscape Area</b>	=	<b>1416.15</b>

MAWA = 37.76 x 0.62 x 1416.15 = 33152 gallons

**2) Estimated Total Water Use (ETWU)**

**A) Net Evapotranspiration Calculation**

Net Evapotranspiration Calculation = Annual ET <sub>o</sub> - Effective Rainfall	=	37.76
--	---	-------

**B) Adjusted Landscape Area Calculation**

(Very low water use plant soft)	x 0.1	= 37.5
(Low water use plant soft)	x 0.3	= 132.6
(Moderate water use plant soft)	x 0.6	= 198
(High water use plant soft)	x 1.0	= 0
<b>Sum of Adjusted Landscape Area</b>	=	<b>368</b>

ETWU = 37.76 x 0.62 x 368 = 27979 gallons

**Irrigation Efficiency Factor**

Square footage of landscape on drip	= 3147
Square footage of landscape on spray	= 0
Total square footage of landscape	= 3147
Adjusted Irrigation Efficiency Factor	= 0.81

REV	DATE	BY
A	9.08.2020	SH
B	12.21.2020	SH
C	7.27.2021	SH
D	3.24.2022	SH



1478 Olivet Road  
 Santa Rosa, CA 95401  
 (707) 526-3177  
 www.allenlanddesign.com

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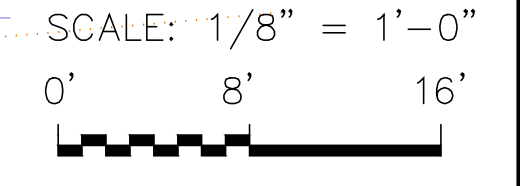
PRELIMINARY LANDSCAPE PLAN  
 HUNTLEY SQUARE  
 MINIHOME VILLAGE  
 7950 BODEGA AVENUE  
 SEBASTOPOLE, CA

JOB NO.:  
 DATE: 5/5/2020  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: SH  
 CHECKED BY:  
 CAD FILE: DWG

L.1

BODEGA AVENUE

PRELIMINARY LANDSCAPE PLAN





FESTUCA MAIREI



LAVANDULA 'GROSSO'



SALVIA 'FURMAN'S RED'



CAMPSIS GRANDIFLORA



MIMULUS AURANTICUS



DIETES IRIDIOIDES



LAGERSTROEMIA 'BILOXI'



QUERCUS AGRIFOLIA



PARTHENOCISSUS TRICUSPIDATA



PITTOSPORUM 'SILVER SHEEN'



PENNISETUM ALOPECUROIDES



PHORMIUM 'SEA JADE'



DAPHNE ODORA



POLYSTICHUM MUNITUM



FEIJOA SELOWIANA



MUHLENBERGIA RIGENS



PHORMIUM 'GUARDSMAN'



CHONDROPETALUM TECTORUM



HELLEBORUS ORIENTALIS



LAGERSTROEMIA 'MIDNIGHT MAGIC'

REV	DATE	BY



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PLANT PALETTE  
 HUNTLEY SQUARE  
 MINIHOME VILLAGE  
 7950 BODEGA AVE  
 SEBASTOPOL, CA

JOB NO.: \_\_\_\_\_  
 DATE: 3/24/2022  
 SCALE: \_\_\_\_\_  
 DRAWN BY: SH  
 CHECKED BY: \_\_\_\_\_  
 CAD FILE: \_\_\_\_\_DWG

L.2

PLANT PALETTE




**RECOMMENDATIONS**

**HORTICULTURAL ASSOCIATES  
CONSULTANTS IN HORTICULTURE AND ARBORICULTURE**

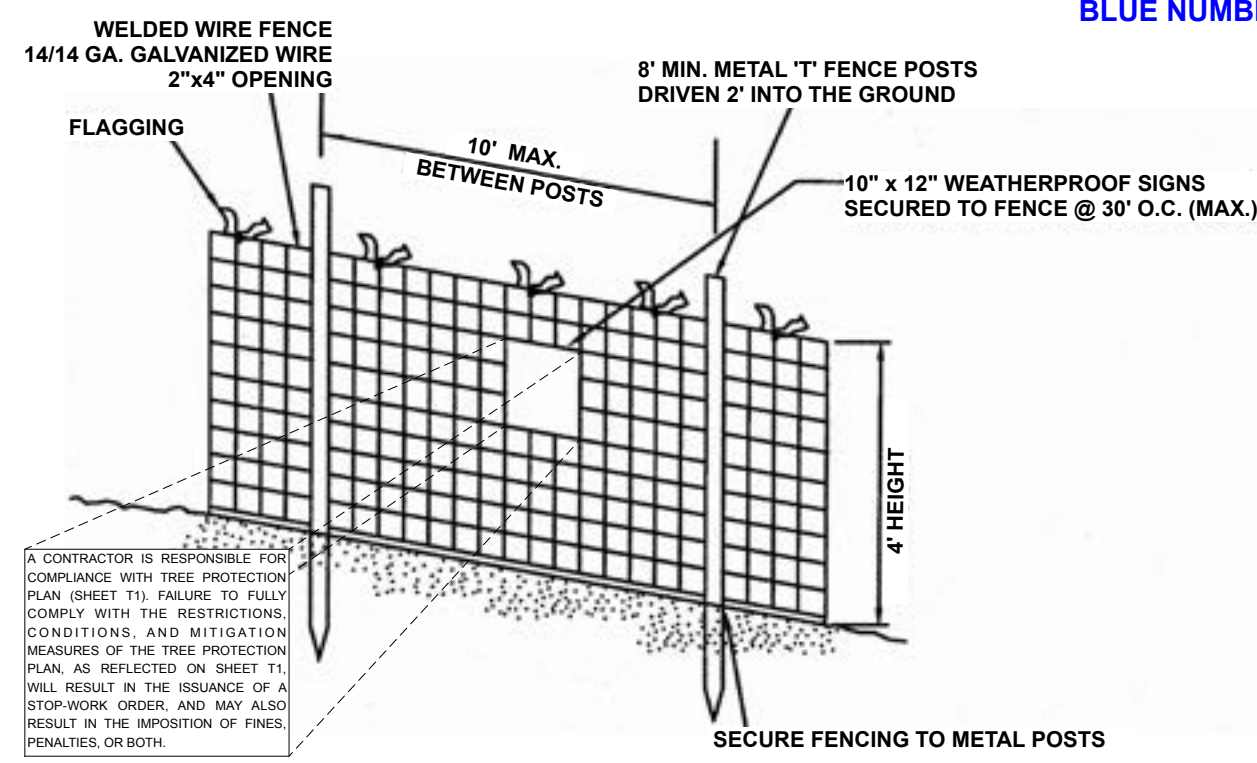
RECOMMENDATIONS ARE PROVIDED FOR REMOVAL OR PRESERVATION. FOR THOSE BEING PRESERVED, PROTECTION MEASURES AND MITIGATION PROCEDURES TO OFFSET IMPACTS AND IMPROVE TREE HEALTH ARE PROVIDED.

- 1) PRESERVATION APPEARS TO BE POSSIBLE.
- 2) REMOVAL IS REQUIRED DUE TO SIGNIFICANT DEVELOPMENT IMPACTS.
- 3) REMOVAL IS RECOMMENDED DUE TO POOR HEALTH OR HAZARDOUS STRUCTURE.
- 4) REMOVAL IS REQUIRED DUE TO SIGNIFICANT DEVELOPMENT IMPACTS AND POOR EXISTING HEALTH OR STRUCTURE.
- 5) REMOVAL IS RECOMMENDED DUE TO POOR SPECIES CHARACTERISTICS.
- 6) INSTALL TEMPORARY PROTECTIVE FENCING AT THE EDGE OF THE TREE PROTECTION ZONE (TPZ), OR EDGE OF APPROVED CONSTRUCTION, PRIOR TO BEGINNING GRADING OR CONSTRUCTION. MAINTAIN FENCING IN PLACE FOR DURATION OF ALL CONSTRUCTION ACTIVITY IN THE AREA.
- 7) MAINTAIN EXISTING GRADE WITHIN THE FENCED PORTION OF THE TPZ. ROUTE DRAINAGE SWALES AND ALL UNDERGROUND WORK OUTSIDE THE DRIPLINE.
- 8) PLACE A 4" LAYER OF CHIPPED BARK MULCH OVER THE SOIL SURFACE WITHIN THE FENCED TPZ PRIOR TO INSTALLING TEMPORARY FENCING. MAINTAIN THIS LAYER OF MULCH THROUGHOUT CONSTRUCTION.
- 9) PRUNE TO CLEAN, RAISE, OR PROVIDE NECESSARY CLEARANCE. PRUNE TO REDUCE BRANCHES THAT ARE OVER-LOADED, OVER-EXTENDED, LARGELY HORIZONTAL, ARCHING, OR HAVE FOLIAGE CONCENTRATED NEAR THE BRANCH ENDS, PER INTERNATIONAL SOCIETY OF ARBORICULTURE PRUNING STANDARDS. PRUNING TO OCCUR BY, OR UNDER THE SUPERVISION OF, AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. PRUNING STANDARDS ARE ATTACHED TO THIS REPORT.
- 10) PRUNE THIS TREE SPECIFICALLY TO REDUCE HEAVY END WEIGHTS ON LONG, OVER-EXTENDED LATERAL LIMBS.
- 11) THIS IS AN OFF-SITE TREE THAT OVERHANGS THE PROJECT PROPERTY. INCORPORATE PROTECTION MEASURES AS IF ON PROJECT PROPERTY.

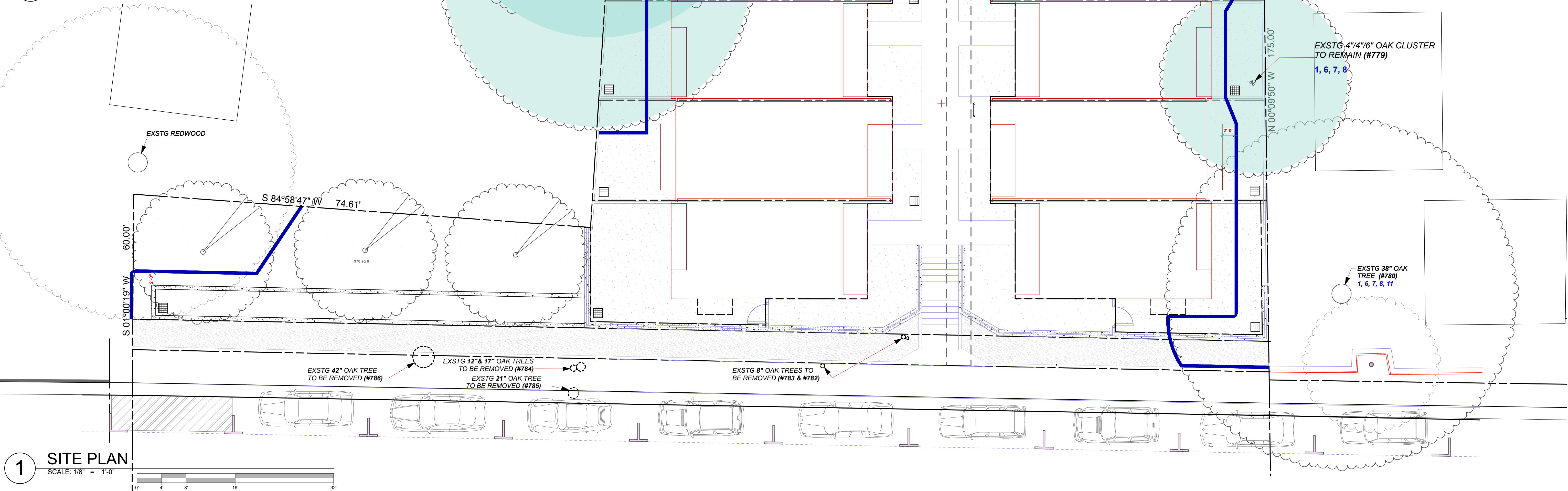
**SYMBOL LEGEND**

-  TREE PROTECTION FENCE
-  PRESERVED TREES
-  RECOMMENDATION

**NOTE:**  
A CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH TREE PROTECTION PLAN (SHEET T1). FAILURE TO FULLY COMPLY WITH THE RESTRICTIONS, CONDITIONS, AND MITIGATION MEASURES OF THE TREE PROTECTION PLAN, AS REFLECTED ON SHEET T1, WILL RESULT IN THE ISSUANCE OF A STOP-WORK ORDER, AND MAY ALSO RESULT IN THE IMPOSITION OF FINES, PENALTIES, OR BOTH.



**2 TREE PROTECTION FENCING DETAIL**  
NOT TO SCALE



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"



**HEALTHY BUILDINGS**  
630 AIRPARK ROAD, SUITE A  
NAPA, CA 94558  
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**HUNTLEY SQUARE  
MINI HOME VILLAGE**  
7950 BODEGA AVE,  
SEBASTOPOLE, CA 95472  
A.P.N. 004-350-024-000

**TREE PRESERVATION  
PLAN**

ISSUE/REVISIONS:  
8-31-21 NEW SHEET  
DATE: 5/13/22

DRAWN BY: MTN  
SCALE: 1/8" = 1'-0"

SHEET NO.:  
**T1**  
(NEW SHEET)  
3

**PROJECT DATA** (Revised 9-1-20)  
APN: 004-350-024  
**RECORD OWNER and SUBDIVIDER**  
Huntley Square LLC  
630 Airpark Road, Suite A  
Napa, CA 94558  
**FIRM PREPARING THE DRAWINGS**  
Healthy Buildings Design Group  
630 Airpark Road, Suite A  
Napa, CA 94558

**PROJECT DATA**

**OVERALL LOT SIZE PER SURVEY DOCUMENT:** 23,070 +/- S.F.  
**AREA OF LOT TO BE DEEDED TO CITY:** 6,098 +/- S.F.  
**PROPOSED LOT SIZE:** 16,972 +/- S.F. = .39 ACRE  
**PROPOSED UTILITY EASEMENT:** 5' X 185' = 925 S.F.

**NET LOT SIZE:** +/- 0.37 ACRES = 16,047 +/- S.F.

**ZONING:** R7 = RESIDENTIAL MULTI-FAMILY HIGH DENSITY

**ALLOWABLE DENSITY:**  
12.1 - 25 UNITS / ACRE  
0.39 ACRES X 12.1 UNITS/ACRE = 4.7 UNITS (MIN.)  
0.39 ACRES X 25 UNITS/ACRE = 9.75 UNITS (MAX.)

**STUDIO DENSITY ALLOWABLE - COUNTS AS 1/2 DWELLING UNIT (ALL STUDIOS)**

9 UNITS (MIN.)  
19 UNITS (MAX.) ALL STUDIOS

**PROPOSED DENSITY:** 10 STUDIO DWELLING UNITS = 10(.39)(2) = 12.8 DU/ACRE

**MAXIMUM HEIGHT = 30'-0" PROPOSED HEIGHT = 23'-0"**

**PARKING REQUIREMENTS:** 1 CAR PER STUDIO  
TOTAL REQUIRED: 10 PARKING SPACES  
TOTAL PROVIDED ON SITE: 10 PARKING SPACES  
INCLUDES 1 VAN ACCESSIBLE PARKING SPACE AND 8' ACCESS AISLE  
ADDITIONAL STREET PARKING PROPOSED: 9 CURB SPACES AT FRONTAGE + 1 OTHER

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**HUNTLEY SQUARE**  
MINI HOME VILLAGE  
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SEBASTOPOL, CA 95472  
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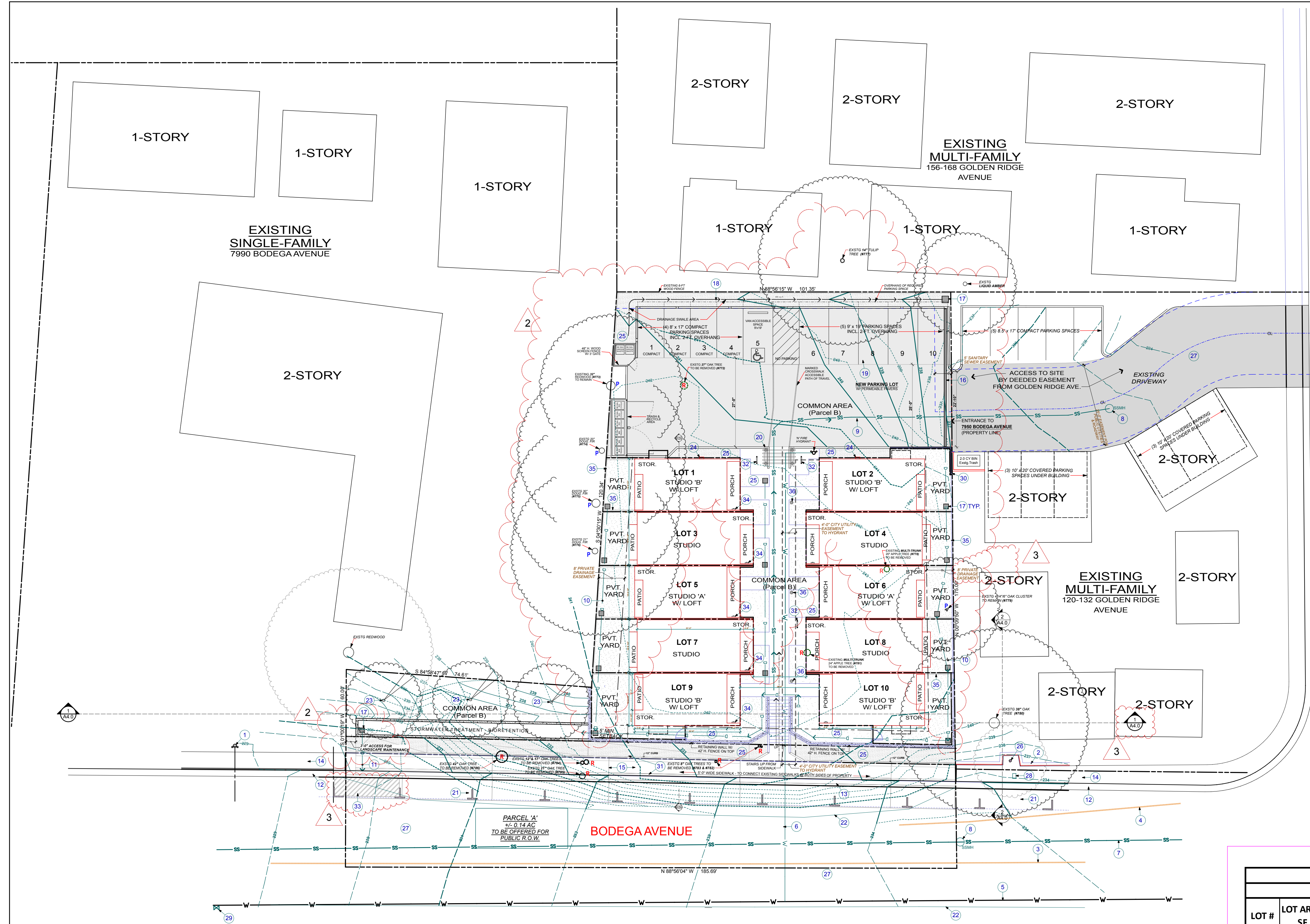
**PROPOSED SUBDIVISION**  
VICINITY MAP

**ISSUE/REVISIONS:**  
2-7-19, rev. 8-22-19  
REV. 9-17-19, 11-12-19  
REV. 5-14-20  
REV. 9-10-20 2  
REV. 8-31-21 3  
DATE: 5/13/22

DRAWN BY: AJL  
SCALE: 1/16" = 1'-0"

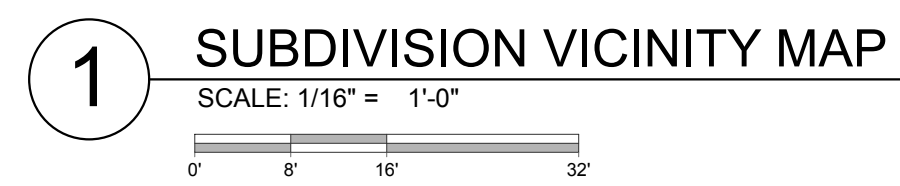
SHEET NO.:

**A1.0**



GOLDEN RIDGE AVENUE

**REVISION NOTES 7-9-21**  
1. DRAWING REVISIONS ARE CLOUDED AND MARKED WITH 'DELTA-3'.



- KEYNOTES** (Not all notes are used on every sheet.)
- |  |  |   |   |   |
|--|--|---|---|---|
| 1. EXISTING FIRE HYDRANT.                            | 9. PROPOSED SEWER LATERAL.               | 17. PROPOSED CATCH BASIN (DI, DRAINAGE INLET).          | 25. PROPOSED LANDSCAPE PLANTING.                            | 34. ELECTRIC METER                                |
| 2. EXISTING WOOD RETAINING WALL.                     | 10. PROPOSED STORM DRAIN (SD).           | 18. PROPOSED DRAINAGE SWALE.                            | 26. EXISTING TREE (8").                                     | 35. PRIVACY FENCE AROUND PROPERTY & BETWEEN UNITS |
| 3. EXISTING DOUBLE YELLOW LINE.                      | 11. DRAIN OUTFALL AT GUTTER.             | 19. PROPOSED CANTILEVERED CARPORT ROOF STRUCTURE.       | 27. EXISTING ASP PAVING                                     | 36. SOLAR BOLLARD                                 |
| 4. EXISTING CURB AND GUTTER (C&G).                   | 12. EXISTING WATER METER.                | 20. PROPOSED TRELLIS.                                   | 28. EXISTING WATER METER                                    |   |
| 5. EXISTING WATER MAIN (W).                          | 13. PROPOSED CURB AND GUTTER (C&G).      | 21. PROPOSED PARALLEL PARKING: 9 SPACES AT 8' x 22' EA. | 29. EXISTING WATER VALVE                                    |   |
| 6. PROPOSED WATER SERVICE LINE.                      | 14. EXISTING SIDEWALK, 5' WIDE.          | 22. EXISTING EDGE OF PAVEMENT (EP).                     | 30. PROPOSED 42" H. RETAINING WALL                          |   |
| 7. EXISTING SANITARY SEWER (SS), APPROX. CENTERLINE. | 15. PROPOSED SIDEWALK TO MATCH EXISTING. | 23. PROPOSED NATIVE OAK TREE.                           | 31. RELOCATE EXISTING UTILITY POLE & GUY TO SIDEWALK LEVEL. |   |
| 8. EXISTING SANITARY SEWER MANHOLE (SSMH).           | 16. PROPOSED TRENCH DRAIN.               | 24. PARKING AREA - LIGHTS                               | 32. BIKE RACK FOR TWO BICYCLES                              |   |
|  |  |   | 33. LOADING ZONE PARKING SPACE                              |   |

- SYMBOL LEGEND**
- |  |                                 |
|--|---------------------------------|
|  | PROPERTY LINE                   |
|  | EXISTING CONTOUR LINE TO REMAIN |
|  | EXISTING CONTOUR TO BE CHANGED  |
|  | PROPOSED GRADING CONTOUR        |
|  | TREE TO BE REMOVED              |
|  | TREE TO BE PROTECTED            |

**LOT-UNIT TABLE**  
**HUNTLEY SQUARE**

**LOT & UNIT AREA CALCULATIONS (Revised 9-10-20)**

LOT #	LOT AREA SF	Lot Coverage SF	Lot Coverage %	UNIT TYPE	UNIT FLOOR AREA	Private Yard	+ Back Porch	Private Open Space
1	686	434	63%	STUDIO W/ LOFT	599	133	27	160
2	711	434	61%	STUDIO W/ LOFT	599	150	27	177
3	751	519	69%	STUDIO	519	162	0	162
4	731	519	71%	STUDIO	519	140	0	140
5	714	434	61%	STUDIO W/ LOFT	599	170	27	197
6	679	434	64%	STUDIO W/ LOFT	599	132	27	159
7	786	519	66%	STUDIO	519	196	0	196
8	737	519	70%	STUDIO	519	142	0	142
9	848	434	51%	STUDIO W/ LOFT	599	328	27	355
10	794	434	55%	STUDIO W/ LOFT	599	274	27	301
<b>TOTAL</b>	<b>7,437</b>	<b>4680</b>	<b>63%</b>	<b>Average</b>	<b>5670</b>	<b>1827</b>	<b>162</b>	<b>1989</b>

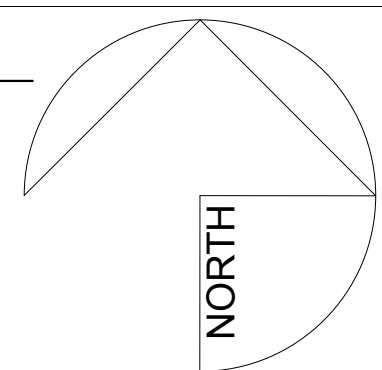
  

**PARCEL B - COMMON AREA CALCULATIONS**

AREA #	DESCRIPTION	AREA SF	ACRES
Common Area B1	Resident parking & trash	5,075	0.12
Common Area B2	Courtyard + retaining wall	2,169	0.05
Common Area B3	Landscaped embankment	1,366	0.03
Common Area B4	Utility easement	925	0.02
<b>TOTAL:</b>		<b>9,535</b>	<b>0.22</b>

**2 PRELIMINARY SUBDIVISION PLAN**

SCALE: 1/8" = 1'-0"



**KEYNOTES** (Not all notes are used on every sheet.)

1. EXISTING FIRE HYDRANT.
2. EXISTING WOOD RETAINING WALL.
3. EXISTING DOUBLE YELLOW LINE.
4. EXISTING PAINTED FOG LINE.
5. EXISTING WATER MAIN (W).
6. PROPOSED WATER SERVICE LINE.
7. EXISTING SANITARY SEWER (SS), APPROX. CENTERLINE.
8. EXISTING SANITARY SEWER MANHOLE (SSMH).
9. PROPOSED SEWER LATERAL.
10. PROPOSED STORM DRAIN (SD).
11. DRAIN OUTFALL AT GUTTER.
12. EXISTING CURB AND GUTTER (C&G).
13. PROPOSED CURB AND GUTTER (C&G).
14. EXISTING SIDEWALK, 5' WIDE.
15. PROPOSED SIDEWALK TO MATCH EXISTING.
16. PROPOSED TRENCH DRAIN.
17. PROPOSED CATCH BASIN (DI, DRAINAGE INLET).
18. PROPOSED DRAINAGE SWALE.
19. PROPOSED CANTILEVERED CARPORT ROOF STRUCTURE.
20. PROPOSED TRELLIS.
21. PROPOSED PARALLEL PARKING: 10 SPACES AT 8' x 22' EA.
22. EXISTING EDGE OF PAVEMENT (EP).
23. PROPOSED NATIVE OAK TREE.
24. PARKING AREA - LIGHTS.
25. PROPOSED LANDSCAPE PLANTING.
26. EXISTING TREE (8').
27. EXISTING AC PAVING.
28. EXISTING WATER METER.
29. EXISTING WATER VALVE.
30. PROPOSED 42" H. RETAINING WALL.
31. RELOCATE POWER/UTILITY POLE & GUY.
32. BIKE RACK PARKING FOR (2) BICYCLES.
33. LOADING ZONE PARKING SPACE.
34. ELECTRIC METER.
35. PRIVACY FENCE AROUND PROPERTY & BETWEEN UNITS.
36. SOLAR BOLLARD.

**SYMBOL LEGEND**

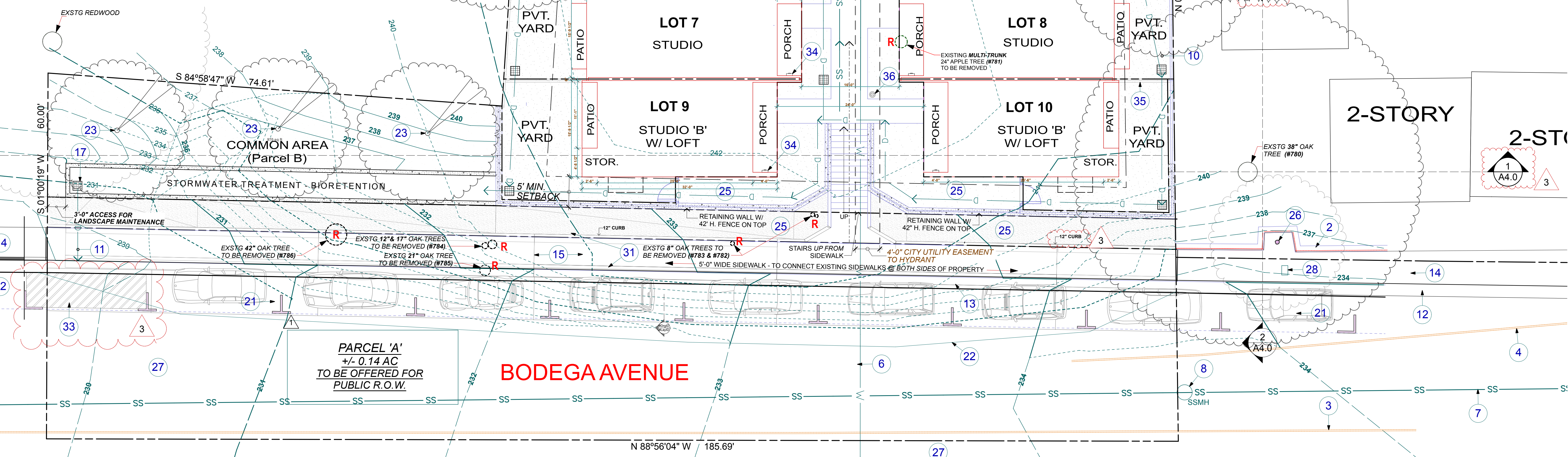
- PROPERTY LINE
- EXISTING CONTOUR LINE TO REMAIN
- EXISTING CONTOUR TO BE CHANGED
- PROPOSED GRADING CONTOUR
- TREE TO BE REMOVED
- TREE TO BE PROTECTED

**SITE PLAN NOTES**

1. EXISTING TREE NUMBERING, LOCATIONS, SIZES AND SPECIES ARE BASED ON DATA IN "TREE PRESERVATION AND MITIGATION REPORT" PREPARED BY HORTICULTURAL ASSOCIATES, DATED AUGUST 6, 2020.

**REVISION NOTES 7-09-21**

1. DRAWING REVISIONS ARE CLOUDED AND MARKED WITH 'DELTA-3'.  
2. SEE SHEET A1.0 FOR FULL EXTENT OF DRAWING REVISION CLOUDING.



**HEALTHY BUILDINGS**  
630 AIRPARK ROAD, SUITE A  
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**HUNTLEY SQUARE MINI HOME VILLAGE**  
7950 BODEGA AVE.  
SEBASTOPOL, CA 95472  
A.P.N. 004-350-024-000

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**SITE PLAN PRELIMINARY MAP**

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**ISSUE/REVISIONS:**

2-7-19, rev. 8-22-19
REV. 9-17-19, 11-12-19
REV. 5-14-20 1
REV. 9-10-20 2
REV. 8-31-21 3

DATE: 5/13/22

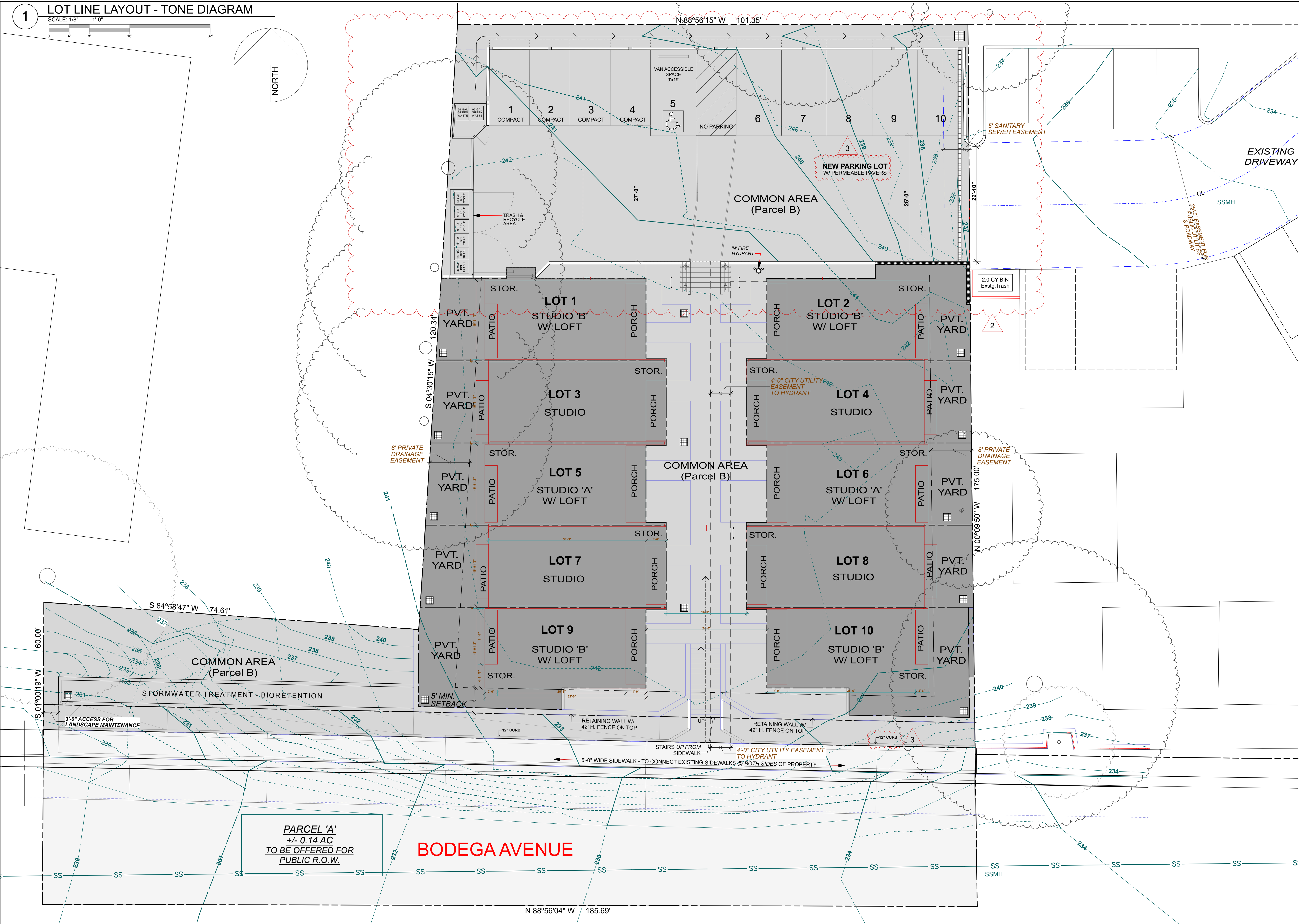
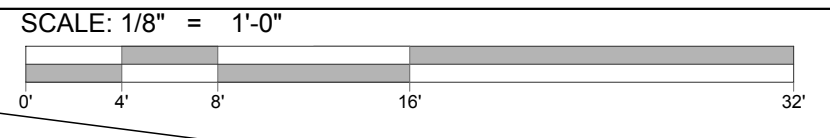
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DRAWN BY: AJL  
SCALE: 1/8" = 1'-0"

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SHEET NO.:  
**A1.1**

1 LOT LINE LAYOUT - TONE DIAGRAM



**HEALTHY BUILDINGS**  
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**HUNTLEY SQUARE**  
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 7950 BODEGA AVE,  
 SEBASTOPOLE, CA 95472  
 A.P.N. 004-350-024-000

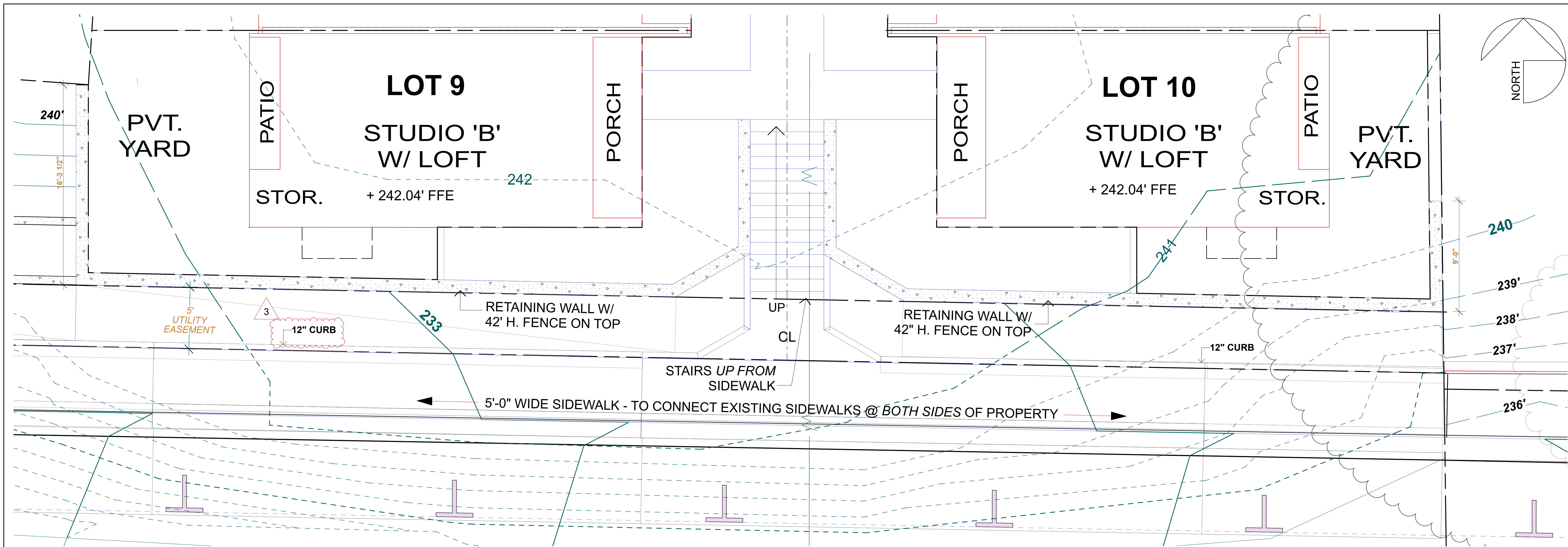
**SUBDIVISION**  
**LOT LINE**  
**DIAGRAM**

**ISSUE/REVISIONS:**

2-7-19, rev. 8-22-19
REV. 9-17-19, 11-12-19
REV. 11-12-19
REV. 9-10-20 2
REV. 8-31-21 3
DATE: 5/13/22

DRAWN BY: AJL  
 SCALE: 1/8" = 1'-0"

SHEET NO.:  
**A1.2**



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**HUNTLEY SQUARE**  
 MINI HOME VILLAGE  
 7950 BODEGA AVE,  
 SEBASTOPOL, CA 95472  
 A.P.N. 004-350-024-000

**SITE DEVELOPMENT:**  
 RETAINING WALL  
 DETAILS

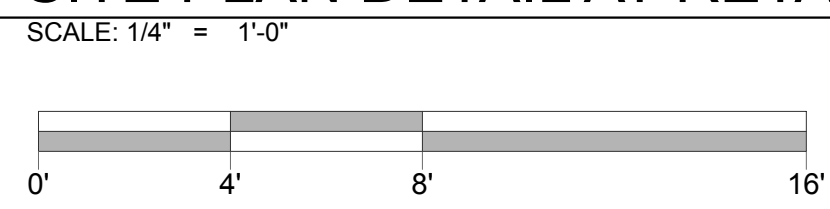
**ISSUE/REVISIONS:**

2-7-19, rev. 8-22-19
REV. 9-17-19
REV. 11-12-19
REV. 9-10-20 / 2
REV. 8-31-21 / 3
DATE: 3/29/22

DRAWN BY: AJL  
 SCALE: 1/4" = 1'-0"

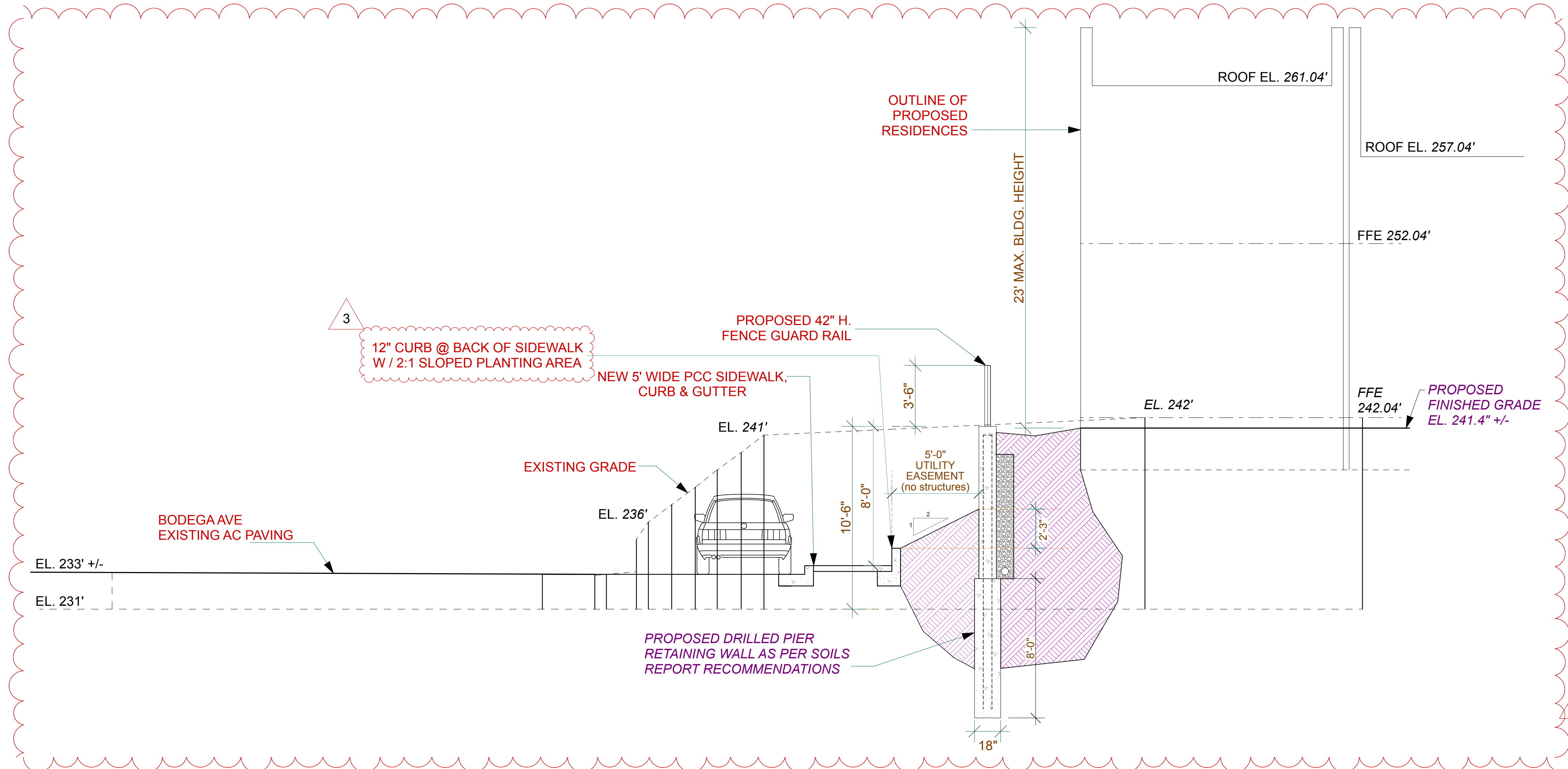
SHEETNO.:  
**A1.3**

**2 SITE PLAN DETAIL AT RETAINING WALL**

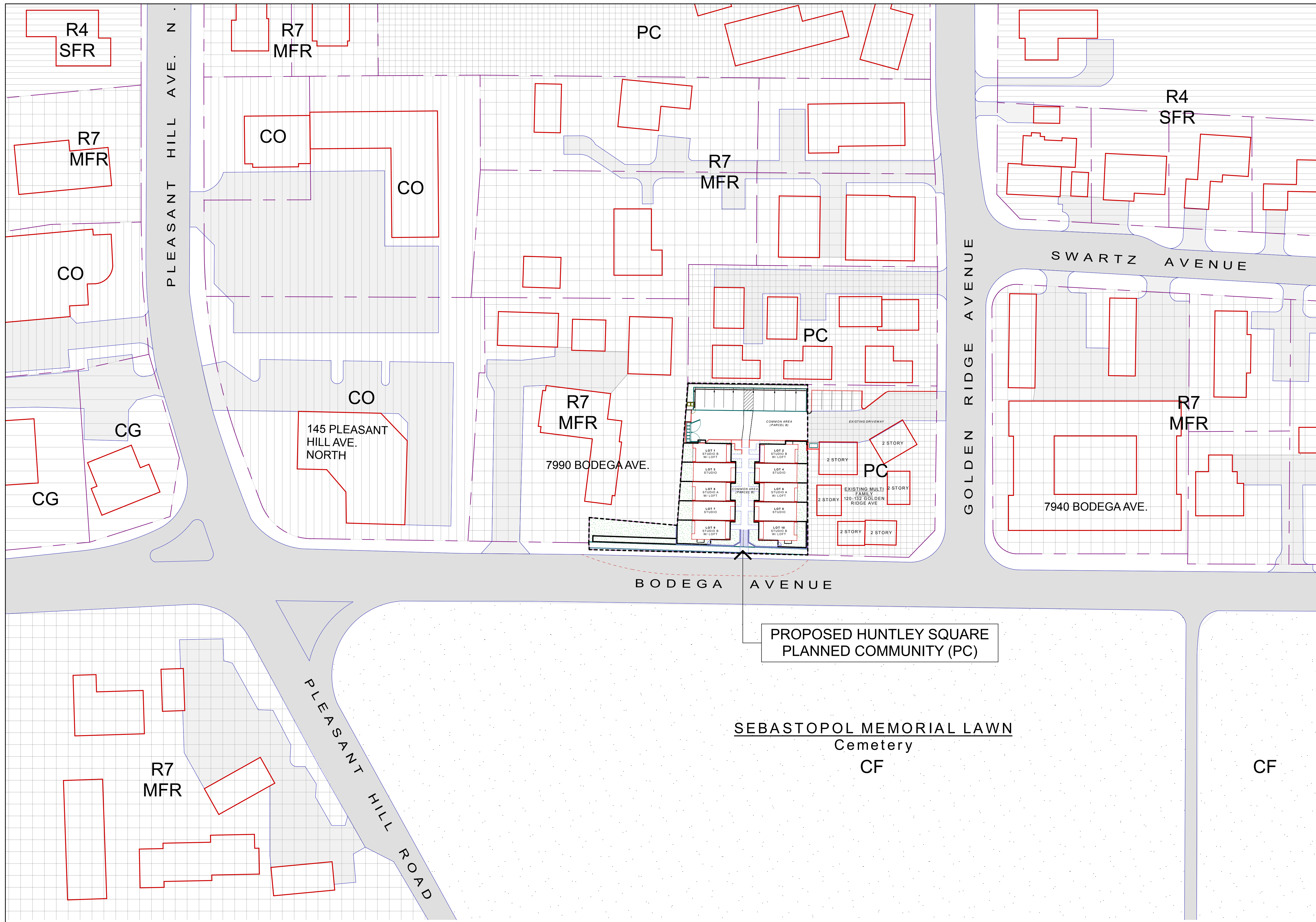


**REVISION NOTES 7-09-21**

- DRAWING REVISIONS ARE CLOUDED AND MARKED WITH 'DELTA-3'.
- SEE SHEET A1.0 FOR FULL EXTENT OF DRAWING REVISION CLOUDED.







**SYMBOL LEGEND**

	R4 - SINGLE FAMILY RESIDENTIAL Land Use - Medium Density Residential
	R7 - MULTI-FAMILY RESIDENTIAL Land Use - High Density Residential
	PC - PLANNED COMMUNITY Land Use - High Density Residential
	CO - OFFICE COMMERCIAL Land Use - Commercial Office
	CG - GENERAL COMMERCIAL Land Use - Commercial Office
	CF - COMMUNITY FACILITY Land Use - Community Facility

**NOTES**  
 1. Land use designation is according to General Plan Land Use Map.



**HEALTHY BUILDINGS**  
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 MINI HOME VILLAGE**  
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**AREA  
 DEVELOPMENT  
 MAP**

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**ISSUE/REVISIONS:**  
 REV. 9-10-20 / 2  
 DATE: 3/29/22

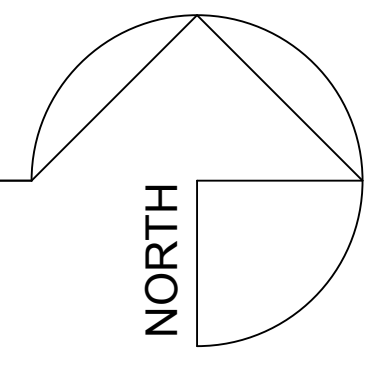
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DRAWN BY: AJL  
 SCALE: AS NOTED

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SHEETNO.:  
**A1.4**  
 (NEW SHEET)

**1 AREA DEVELOPMENT PLAN**  
 SCALE: 1" = 40'



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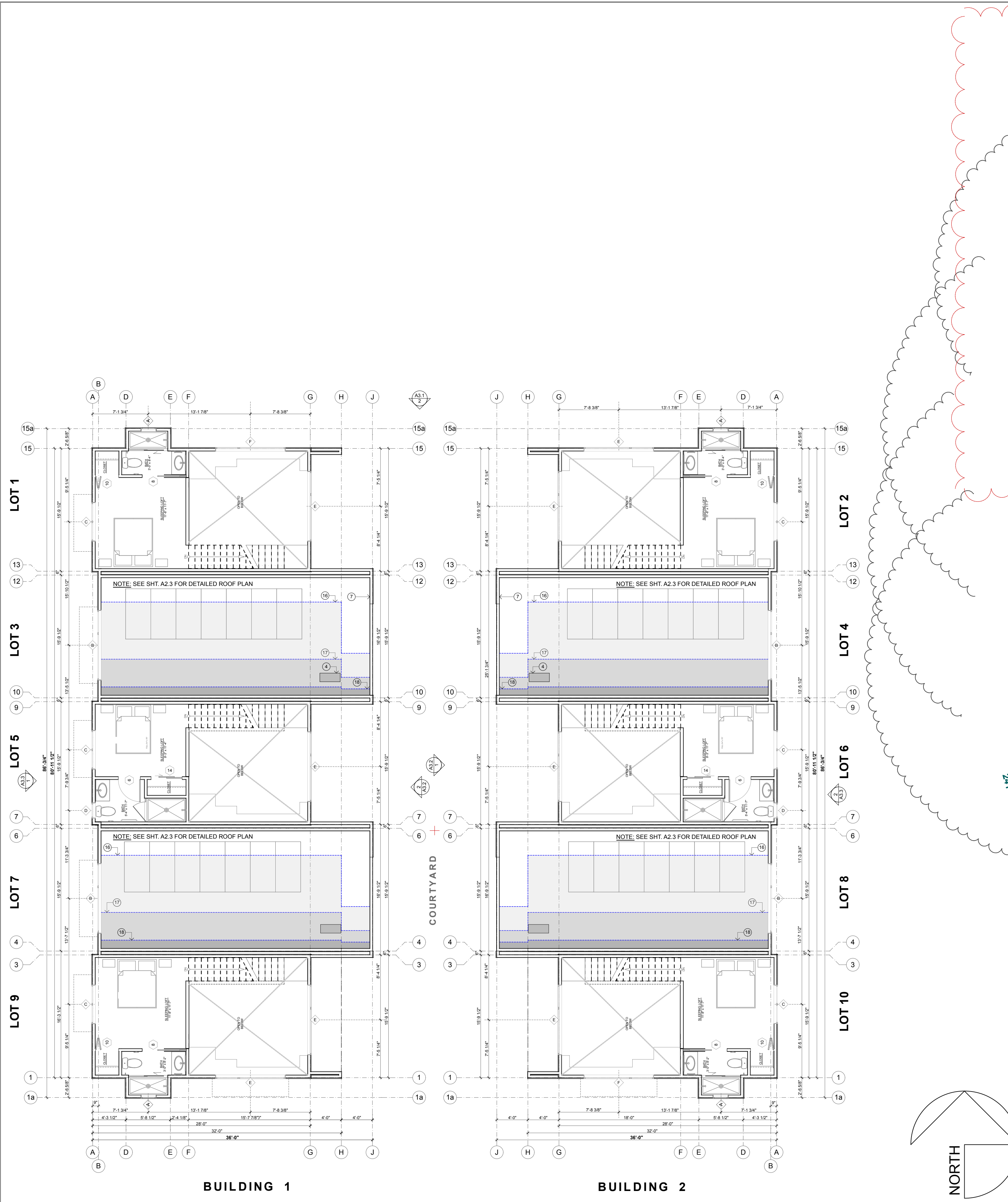
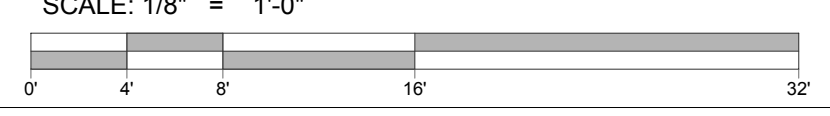
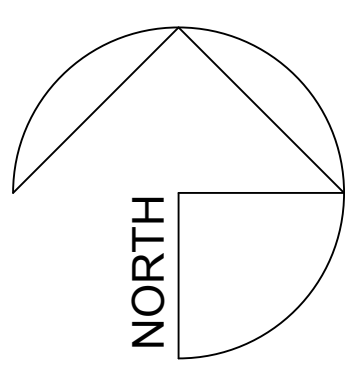
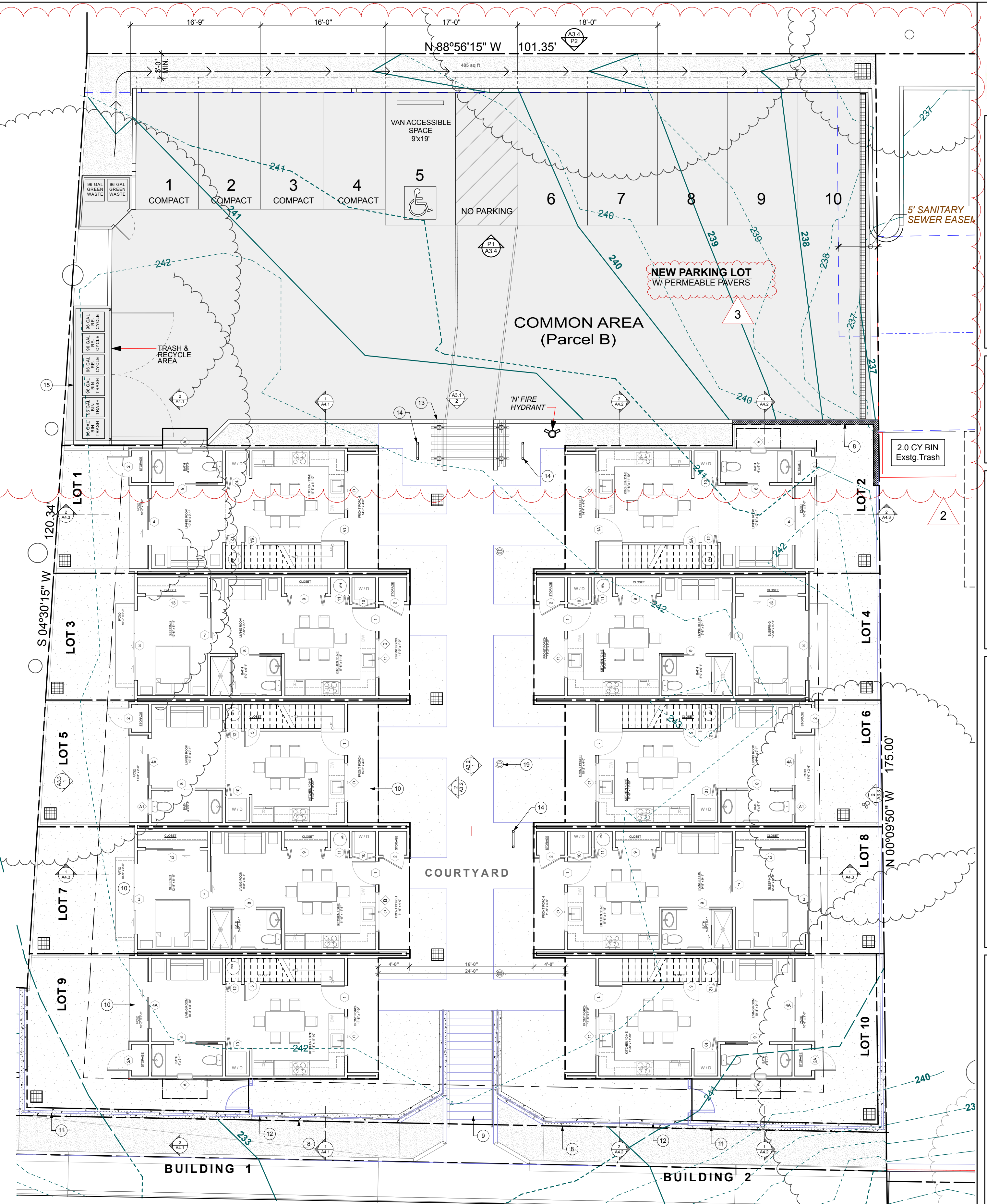
**GENERAL FLOOR PLANS**

**ISSUE/REVISIONS:**

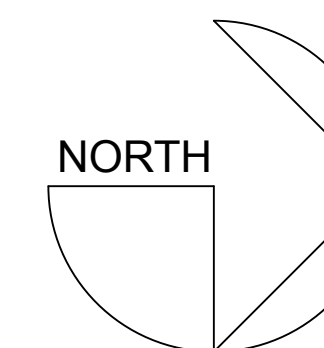
11-12-19	
REV. 9-10-20	2
REV. 8-31-21	3
DATE: 5/13/22	

DRAWN BY: ETR, AJL  
 SCALE: 1/8" = 1'-0"

SHEETNO.:  
**A2.0**



- KEYNOTES - PLAN** (NOT ALL NOTES USED ON EVERY SHEET)
- SOLAR PANELS MOUNTED AT ROOF LEVEL
  - SOLAR PANELS MOUNTED ON ELEVATED RACKS
  - N/A
  - HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP.
  - RAINWATER OVERFLOW SCUPPER
  - GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE
  - GSM COPING, TYP.
  - CONCRETE RETAINING WALL
  - CONCRETE FRONT STEPS
  - CONCRETE PATIO - SLOPE TO DRAIN (2% MAX.)
  - 5-FOOT TALL WOOD PRIVACY FENCE
  - 42" OPEN MESH GUARD RAIL ON TOP OF RETAINING WALL
  - TRELLIS
  - BICYCLE RACK FOR TWO BICYCLES
  - TRASH AND RECYCLING ENCLOSURE
  - SUN SHADOW AT 12:00 NOON DEC. 21
  - SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21
  - SUN SHADOW AT 12:00 NOON JUNE 21
  - SOLAR BOLLARD



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A.P.N. 004-350-024-000

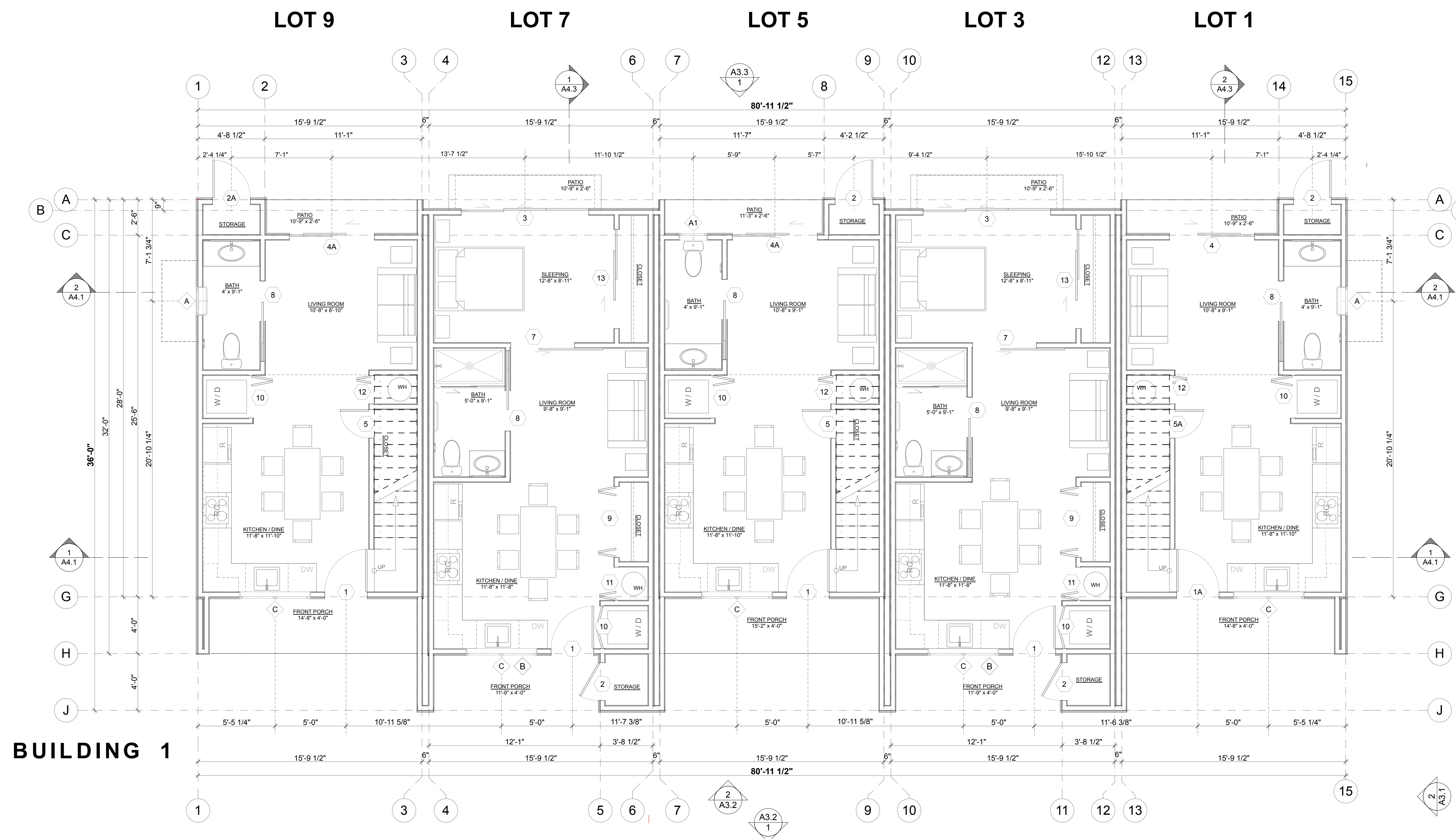
1ST FLOOR PLAN -  
BUILDING 1

ISSUE/REVISIONS:  
11-12-19  
REV. 9-10-20  
DATE: 3/29/22

DRAWN BY: ETR, AJL  
SCALE: 1/4" = 1'-0"

SHEETNO.:

A2.1



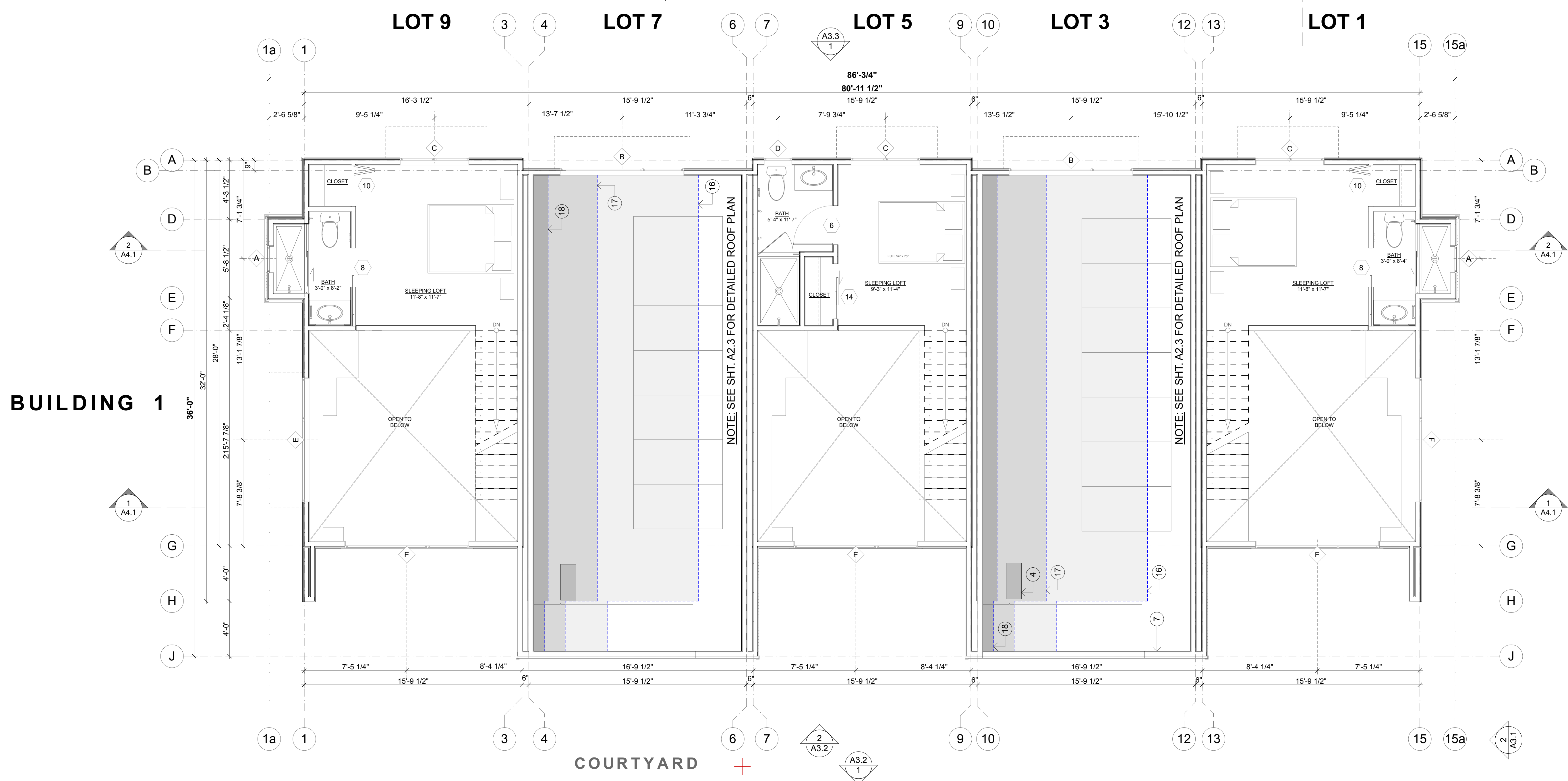
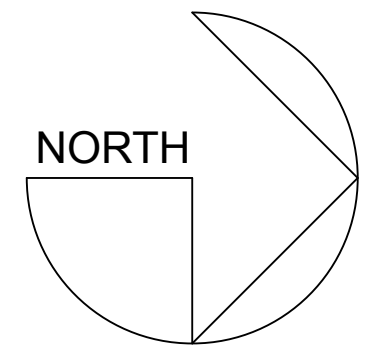
**1** FIRST FLOOR PLAN - BUILDING 1 (Building 2 similar)

SCALE: 1/4" = 1'-0"



**KEYNOTES - PLAN** (NOT ALL NOTES USED ON EVERY SHEET)

- |  |   |  |                   |
|--|---|--|-------------------|
| 1. SOLAR PANELS MOUNTED AT ROOF LEVEL                | 7. GSM COPING, TYP.                                   | 13. TRELLIS                                  | 19. SOLAR BOLLARD |
| 2. SOLAR PANELS MOUNTED ON ELEVATED RACKS            | 8. CONCRETE RETAINING WALL                            | 14. BICYCLE RACK FOR TWO BICYCLES            |                   |
| 3. N/A   | 9. CONCRETE FRONT STEPS                               | 15. TRASH AND RECYCLING ENCLOSURE            |                   |
| 4. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP. | 10. CONCRETE PATIO - SLOPE TO DRAIN (2% MAX.)         | 16. SUN SHADOW AT 12:00 NOON DEC. 21         |                   |
| 5. RAINWATER OVERFLOW SCUPPER                        | 11. 5-FOOT TALL WOOD PRIVACY FENCE                    | 17. SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21 |                   |
| 6. GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE      | 12. 42" OPEN MESH GUARD RAIL ON TOP OF RETAINING WALL | 18. SUN SHADOW AT 12:00 NOON JUNE 21         |                   |



**1 SECOND FLOOR PLAN - BUILDING 1 (Building 2 similar)**  
SCALE: 1/4" = 1'-0"  
0' 4' 8' 16'

**KEYNOTES - PLAN (NOT ALL NOTES USED ON EVERY SHEET)**

- |  |   |  |                   |
|--|---|--|-------------------|
| 1. SOLAR PANELS MOUNTED AT ROOF LEVEL                | 7. GSM COPING, TYP.                                   | 13. TRELLIS                                  | 19. SOLAR BOLLARD |
| 2. SOLAR PANELS MOUNTED ON ELEVATED RACKS            | 8. CONCRETE RETAINING WALL                            | 14. BICYCLE RACK FOR TWO BICYCLES            |                   |
| 3. N/A   | 9. CONCRETE FRONT STEPS                               | 15. TRASH AND RECYCLING ENCLOSURE            |                   |
| 4. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP. | 10. CONCRETE PATIO - SLOPE TO DRAIN (2% MAX.)         | 16. SUN SHADOW AT 12:00 NOON DEC. 21         |                   |
| 5. RAINWATER OVERFLOW SCUPPER                        | 11. 5-FOOT TALL WOOD PRIVACY FENCE                    | 17. SUN SHADOW AT 12:00 NOON MAR. 21/SEP. 21 |                   |
| 6. GALVANIZED DOWNSPOUT - GSM RECTANGULAR SHAPE      | 12. 42" OPEN MESH GUARD RAIL ON TOP OF RETAINING WALL | 18. SUN SHADOW AT 12:00 NOON JUNE 21         |                   |

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MINI HOME VILLAGE  
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A.P.N. 004-350-024-000

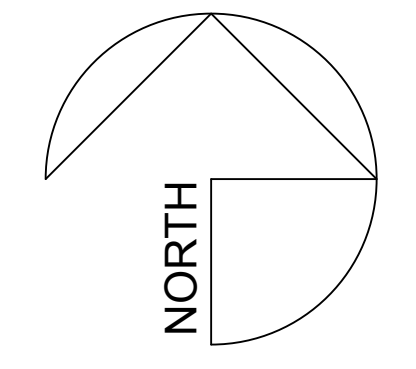
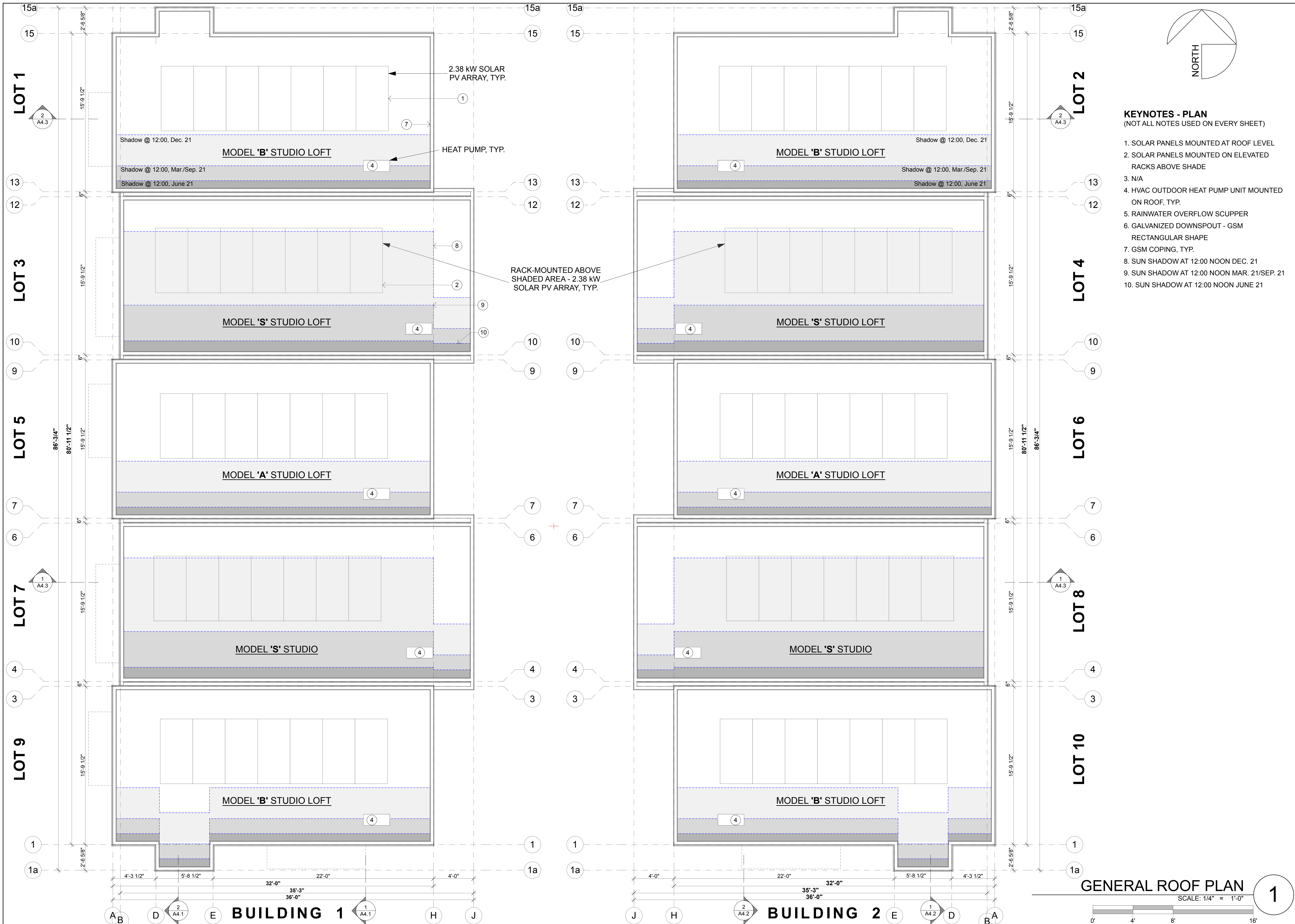
**2ND FLOOR PLAN**  
BUILDING 1

**ISSUE/REVISIONS:**

11-12-19	
REV. 9-10-20	2
DATE: 3/29/22	

DRAWN BY: ETR, AJL  
SCALE: 1/4" = 1'-0"

SHEETNO.:  
**A2.2**



**HEALTHY BUILDINGS**  
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**GENERAL ROOF PLAN**

**ISSUE/REVISIONS:**  
11-12-19  
REV. 9-10-20 2  
DATE: 3/29/22

DRAWN BY: ETR, AJL  
SCALE: 1/4" = 1'-0"

SHEET NO.:  
**A2.3**



**1 STREET SCAPE ELEVATION - South**  
 SCALE: 3/32" = 1'-0"

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 SEBASTOPOLE, CA 95472  
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**STREET SCAPE**  
**EXTERIOR ELEVATION**

**ISSUE/REVISIONS:**  
 8-31-21 NEW SHEET  
 DATE: 3/29/22

DRAWN BY: ETR, AJL, MTN  
 SCALE: 3/32" = 1'-0"

SHEETNO:  
**A3.0**  
 (NEW SHEET)  
 3

**KEYNOTES - ELEVATION**  
 (NOT ALL NOTES USED ON EVERY SHEET)

- |  |   |   |   |  |
|--|---|---|---|--|
| 1. RAINWATER OVERFLOW SCUPPER                  | 6. GSM COPING, TYP.   | 11. LED WALL LIGHT AND ADDRESS NUMBER - SEE M1.1    | 16. 42" TALL HOG WIRE FENCE - GUARD RAIL ON TOP OF RETAINING WALL | 21. 12" CURB @ BACK OF SIDEWALK W / 2:1 SLOPED PLANTING AREA |
| 2. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE      | 7. ALUMINUM CLAD WOOD WINDOWS & DOORS, TYP. - SEE SCHEDULES FOR TYPE. | 12. CONCRETE RETAINING WALL                         | 17. BICYCLE RACK FOR TWO BIKES                                    | 22. FIRE HYDRANT   |
| 3. PAINTED HORIZONTAL BOARD LAP SIDING         | 8. PERFORATED STEEL SUN AWNING  | 13. CONCRETE PATIO - SLOPE TO DRAIN (2% MIN.)       | 18. STEEL HAND RAILS AT FRONT STEPS                               | 23. RETAINING WALL @ BACKYARD                                |
| 4. SMOOTH PLASTER WITH METAL CHANNEL REGLET    | 9. POWDER COATED STEEL TRELLIS  | 14. CONCRETE FRONT STEPS                            | 19. PAINTED FIBERGLASS STORAGE DOOR                               | 24. 5' TALL FENCE @ PROPERTY LINE                            |
| 5. VERTICAL CORRUGATED GALVANIZED METAL SIDING | 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP.                         | 15. 5-FOOT TALL HORIZONTAL WOOD BOARD PRIVACY FENCE | 20. TRASH ENCLOSURE - 48" TALL                                    | 25. WALL MOUNT MAILBOX - SEE M1.2                            |
|  |   |   |   | 26. SOLAR BOLLARD (M1.2)                                     |
|  |   |   |   | 27. PARKING LIGHT (M1.2)                                     |

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**EXTERIOR ELEVATIONS**

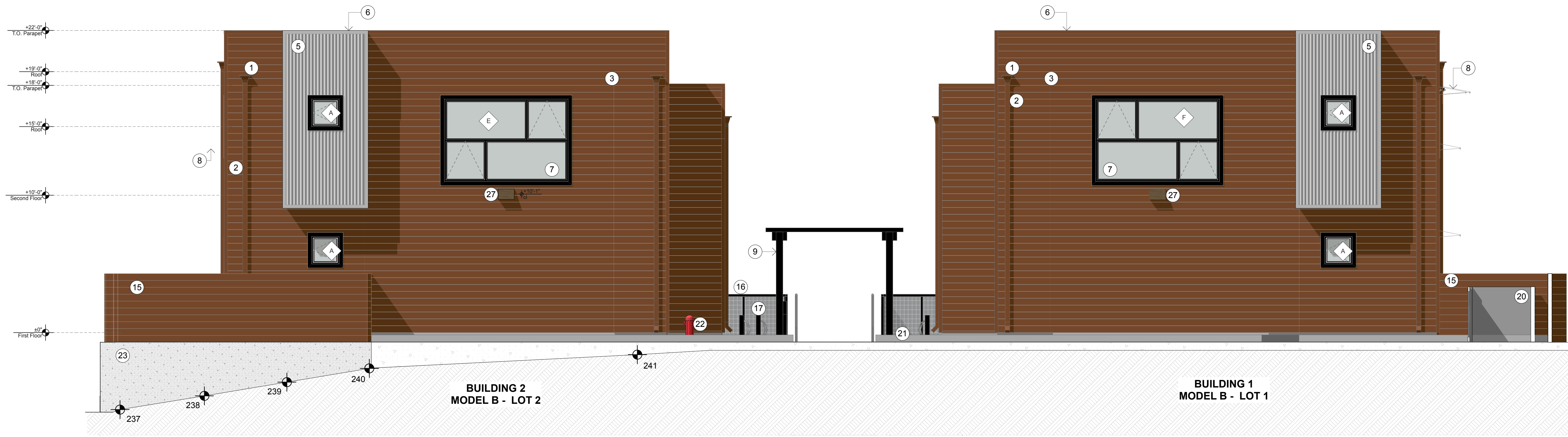
<b>ISSUE/REVISIONS:</b>
11-12-19
REV. 9-10-20 2
REV. 8-31-21 3
DATE: 3/29/22

DRAWN BY: ETR, AJL  
 SCALE: 1/4" = 1'-0"

SHEET NO.:  
**A3.1**



**1 BODEGA AVENUE ELEVATION - SOUTH**  
 SCALE: 1/4" = 1'-0"  
 0 2 4 8 16



**2 REAR ELEVATION - NORTH**  
 SCALE: 1/4" = 1'-0"  
 0 2 4 8 16

**KEYNOTES - ELEVATION**  
 (NOT ALL NOTES USED ON EVERY SHEET)

- |  |   |   |   |  |
|--|---|---|---|--|
| 1. RAINWATER OVERFLOW SCUPPER                  | 6. GSM COPING, TYP.   | 11. LED WALL LIGHT AND ADDRESS NUMBER - SEE M1.1    | 16. 42" TALL HOG WIRE FENCE - GUARD RAIL ON TOP OF RETAINING WALL | 21. 12" CURB @ BACK OF SIDEWALK W / 2:1 SLOPED PLANTING AREA |
| 2. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE      | 7. ALUMINUM CLAD WOOD WINDOWS & DOORS, TYP. - SEE SCHEDULES FOR TYPE. | 12. CONCRETE RETAINING WALL                         | 17. BICYCLE RACK FOR TWO BIKES                                    | 22. FIRE HYDRANT   |
| 3. PAINTED HORIZONTAL BOARD LAP SIDING         | 8. PERFORATED STEEL SUN AWNING  | 13. CONCRETE PATIO - SLOPE TO DRAIN (2% MIN.)       | 18. STEEL HAND RAILS AT FRONT STEPS                               | 23. RETAINING WALL @ BACKYARD                                |
| 4. SMOOTH PLASTER WITH METAL CHANNEL REGLET    | 9. POWDER COATED STEEL TRELLIS  | 14. CONCRETE FRONT STEPS                            | 19. PAINTED FIBERGLASS STORAGE DOOR                               | 24. 5' TALL FENCE @ PROPERTY LINE                            |
| 5. VERTICAL CORRUGATED GALVANIZED METAL SIDING | 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP.                         | 15. 5-FOOT TALL HORIZONTAL WOOD BOARD PRIVACY FENCE | 20. TRASH ENCLOSURE - 48" TALL                                    | 25. WALL MOUNT MAILBOX - SEE M1.2                            |
|  |   |   |   | 26. SOLAR BOLLARD (M1.2)                                     |
|  |   |   |   | 27. PARKING LIGHT (M1.2)                                     |

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**EXTERIOR ELEVATIONS**

ISSUE/REVISIONS:
11-12-19
REV. 9-10-20 2
REV. 8-31-21 3
DATE: 3/29/22

DRAWN BY: ETR, A.J.L.  
 SCALE: 3/16" = 1'-0"

SHEET NO.:  
**A3.2**



**1 EAST ELEVATION BUILDING 1 - COURTYARD**  
 SCALE: 3/16" = 1'-0"



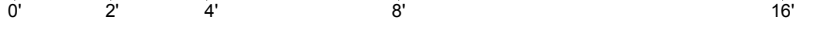
**WEST ELEVATION BUILDING 2 - COURTYARD**  
 SCALE: 3/16" = 1'-0"

- KEYNOTES - ELEVATION**  
 (NOT ALL NOTES USED ON EVERY SHEET)
- |  |   |   |   |  |
|--|---|---|---|--|
| 1. RAINWATER OVERFLOW SCUPPER                  | 6. GSM COPING, TYP.   | 11. LED WALL LIGHT AND ADDRESS NUMBER - SEE M1.1    | 16. 42" TALL HOG WIRE FENCE - GUARD RAIL ON TOP OF RETAINING WALL | 21. 12" CURB @ BACK OF SIDEWALK W / 2:1 SLOPED PLANTING AREA |
| 2. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE      | 7. ALUMINUM CLAD WOOD WINDOWS & DOORS, TYP. - SEE SCHEDULES FOR TYPE. | 12. CONCRETE RETAINING WALL                         | 17. BICYCLE RACK FOR TWO BIKES                                    | 22. FIRE HYDRANT   |
| 3. PAINTED HORIZONTAL BOARD LAP SIDING         | 8. PERFORATED STEEL SUN AWNING  | 13. CONCRETE PATIO - SLOPE TO DRAIN (2% MIN.)       | 18. STEEL HAND RAILS AT FRONT STEPS                               | 23. RETAINING WALL @ BACKYARD                                |
| 4. SMOOTH PLASTER WITH METAL CHANNEL REGLET    | 9. POWDER COATED STEEL TRELLIS  | 14. CONCRETE FRONT STEPS                            | 19. PAINTED FIBERGLASS STORAGE DOOR                               | 24. 5' TALL FENCE @ PROPERTY LINE                            |
| 5. VERTICAL CORRUGATED GALVANIZED METAL SIDING | 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP.                         | 15. 5-FOOT TALL HORIZONTAL WOOD BOARD PRIVACY FENCE | 20. TRASH ENCLOSURE - 48" TALL                                    | 25. WALL MOUNT MAILBOX - SEE M1.2                            |
|  |   |   |   | 26. SOLAR BOLLARD (M1.2)                                     |
|  |   |   |   | 27. PARKING LIGHT (M1.2)                                     |

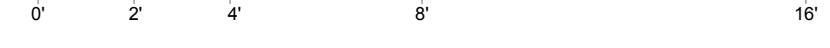




**1 WEST ELEVATION - BUILDING 1 - BACKYARDS**  
 SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION BUILDING 2 - BACKYARDS**  
 SCALE: 1/4" = 1'-0"



**KEYNOTES - ELEVATION**  
 (NOT ALL NOTES USED ON EVERY SHEET)

- 1. RAINWATER OVERFLOW SCUPPER
- 2. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE
- 3. PAINTED HORIZONTAL BOARD LAP SIDING
- 4. SMOOTH PLASTER WITH METAL CHANNEL REGLET
- 5. VERTICAL CORRUGATED GALVANIZED METAL SIDING
- 6. GSM COPING, TYP.
- 7. ALUMINUM CLAD WOOD WINDOWS & DOORS, TYP. - SEE SCHEDULES FOR TYPE.
- 8. PERFORATED STEEL SUN AWNING
- 9. POWDER COATED STEEL TRELLIS
- 10. PAINTED FIBERGLASS DOOR WITH WINDOW, TYP.
- 11. LED WALL LIGHT AND ADDRESS NUMBER - SEE M1.1
- 12. CONCRETE RETAINING WALL
- 13. CONCRETE PATIO - SLOPE TO DRAIN (2% MIN.)
- 14. CONCRETE FRONT STEPS
- 15. 5-FOOT TALL HORIZONTAL WOOD BOARD PRIVACY FENCE
- 16. 42" TALL HOG WIRE FENCE - GUARD RAIL ON TOP OF RETAINING WALL
- 17. BICYCLE RACK FOR TWO BIKES
- 18. STEEL HAND RAILS AT FRONT STEPS
- 19. PAINTED FIBERGLASS STORAGE DOOR
- 20. TRASH ENCLOSURE - 48" TALL
- 21. 12" CURB @ BACK OF SIDEWALK W / 2:1 SLOPED PLANTING AREA
- 22. FIRE HYDRANT
- 23. RETAINING WALL @ BACKYARD
- 24. 5' TALL FENCE @ PROPERTY LINE
- 25. WALL MOUNT MAILBOX - SEE M1.2
- 26. SOLAR BOLLARD (M1.2)
- 27. PARKING LIGHT (M1.2)

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 A.P.N. 004-350-024-000

**EXTERIOR ELEVATIONS**

**ISSUE/REVISIONS:**

11-12-19
REV. 9-10-20 2
DATE: 3/29/22

DRAWN BY: ETR, AJL  
 SCALE: 1/4" = 1'-0"

SHEET NO.:  
**A3.3**

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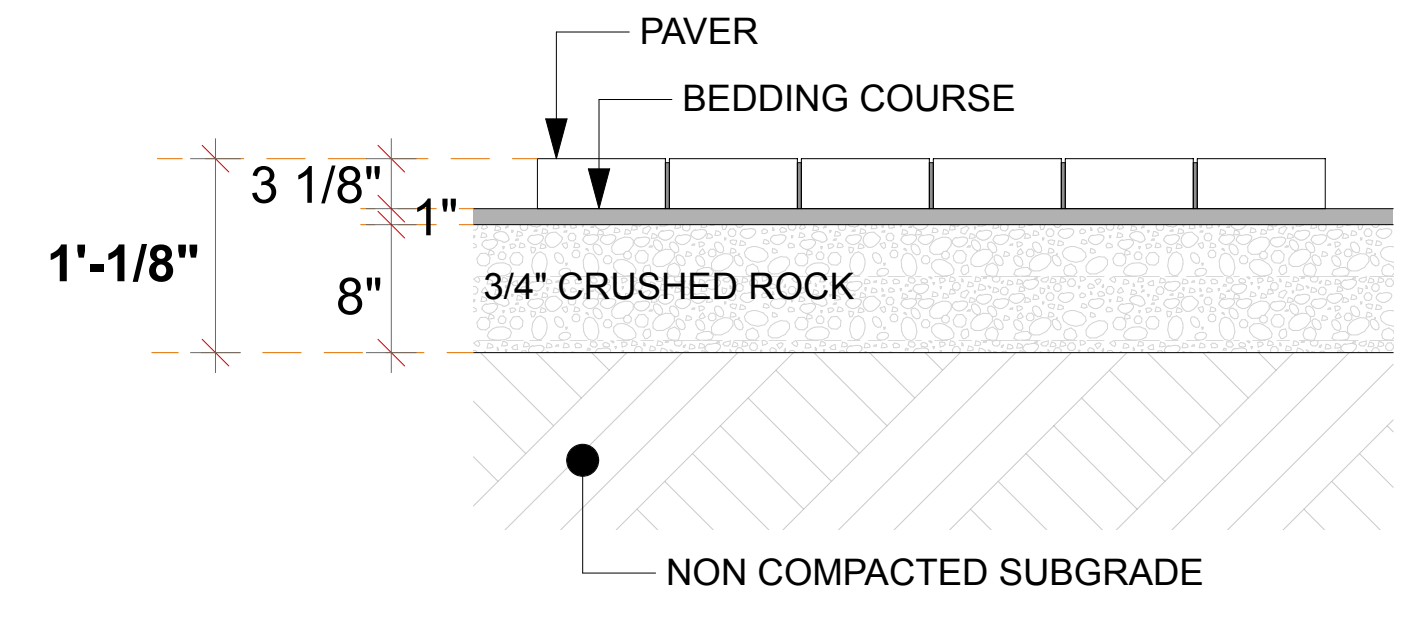
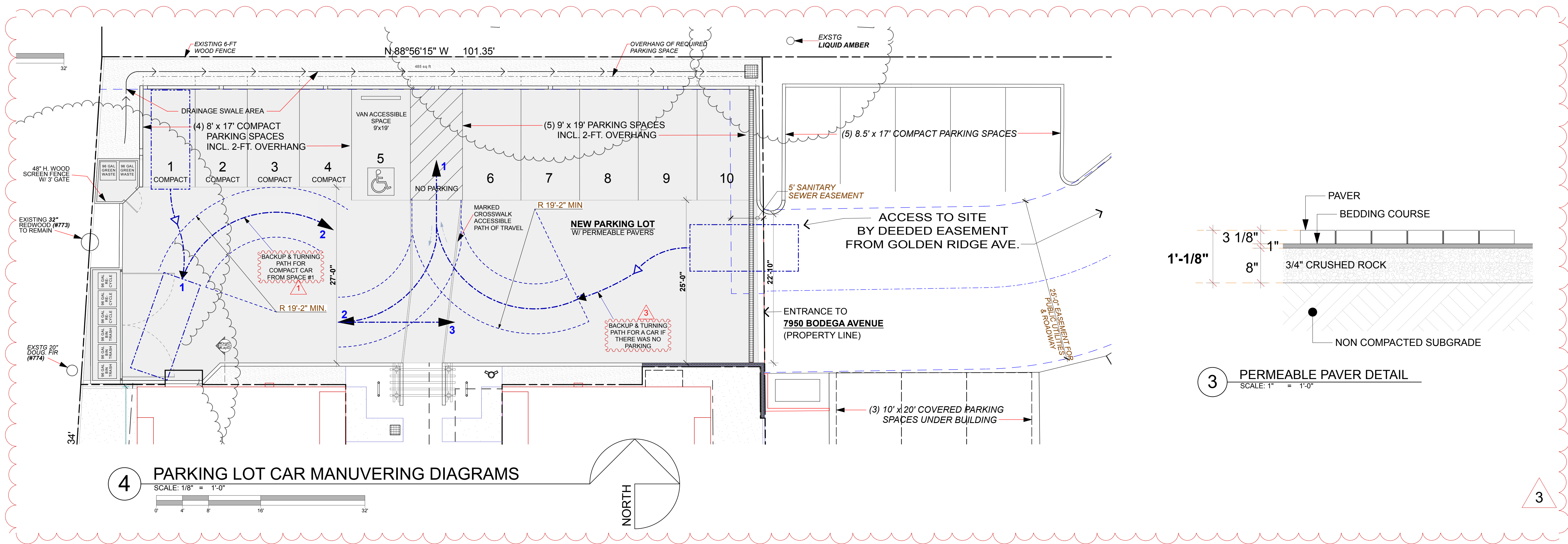
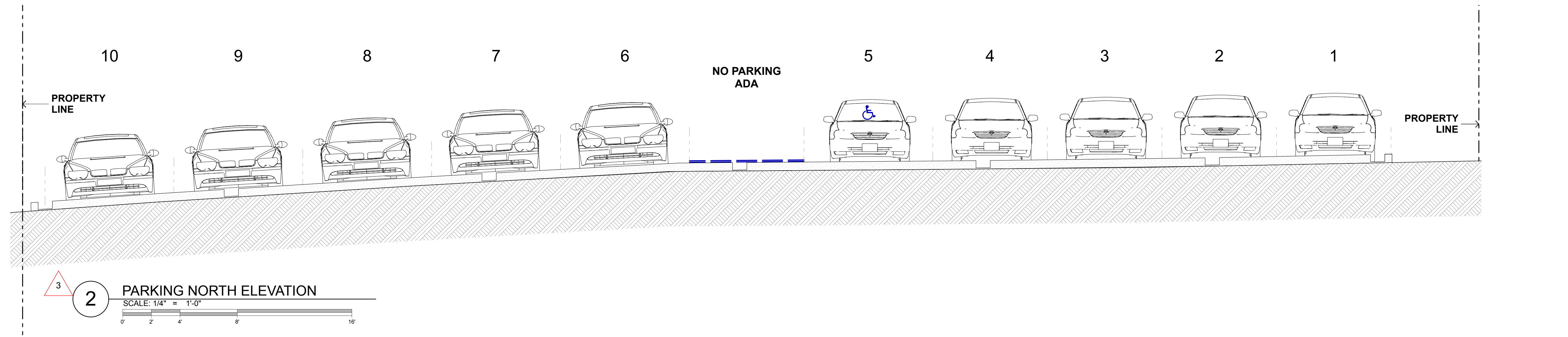
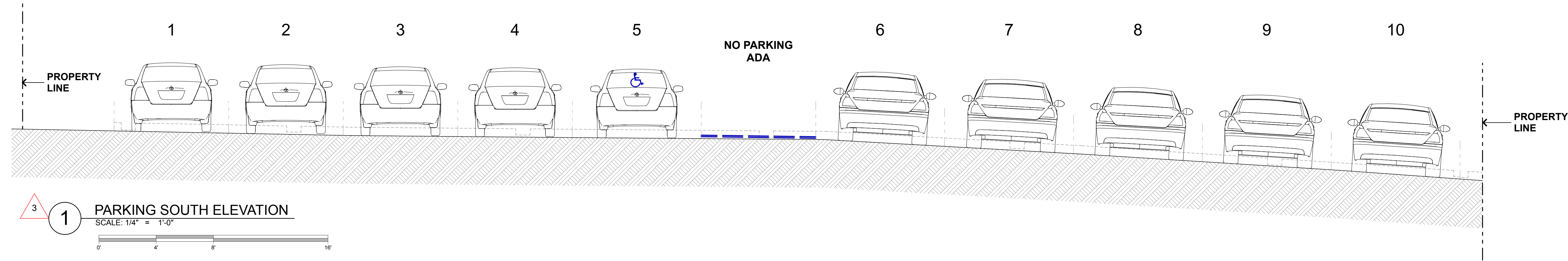
**PARKING:  
 ELEVATIONS  
 & GRADES**

**ISSUE/REVISIONS:**  
 REV. 5-14-20  
 9-10-20 NEW SHEET  
 REV. 8-31-21  
 DATE: 5/13/22

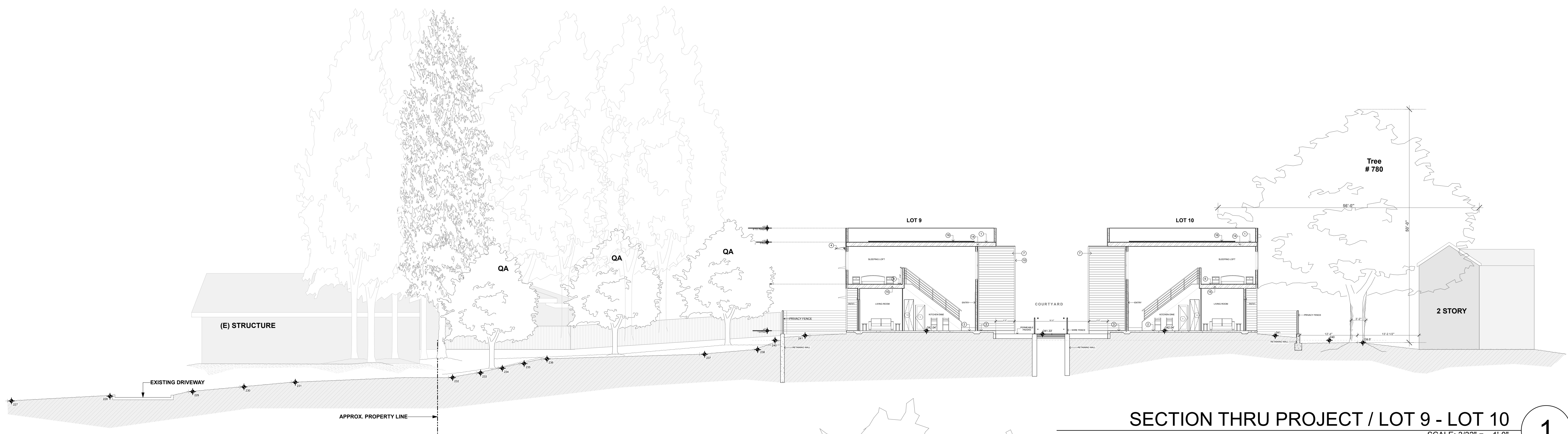
DRAWN BY: AJL  
 SCALE: AS NOTED

SHEET NO.:

**A3.4**  
 (NEW SHEET)



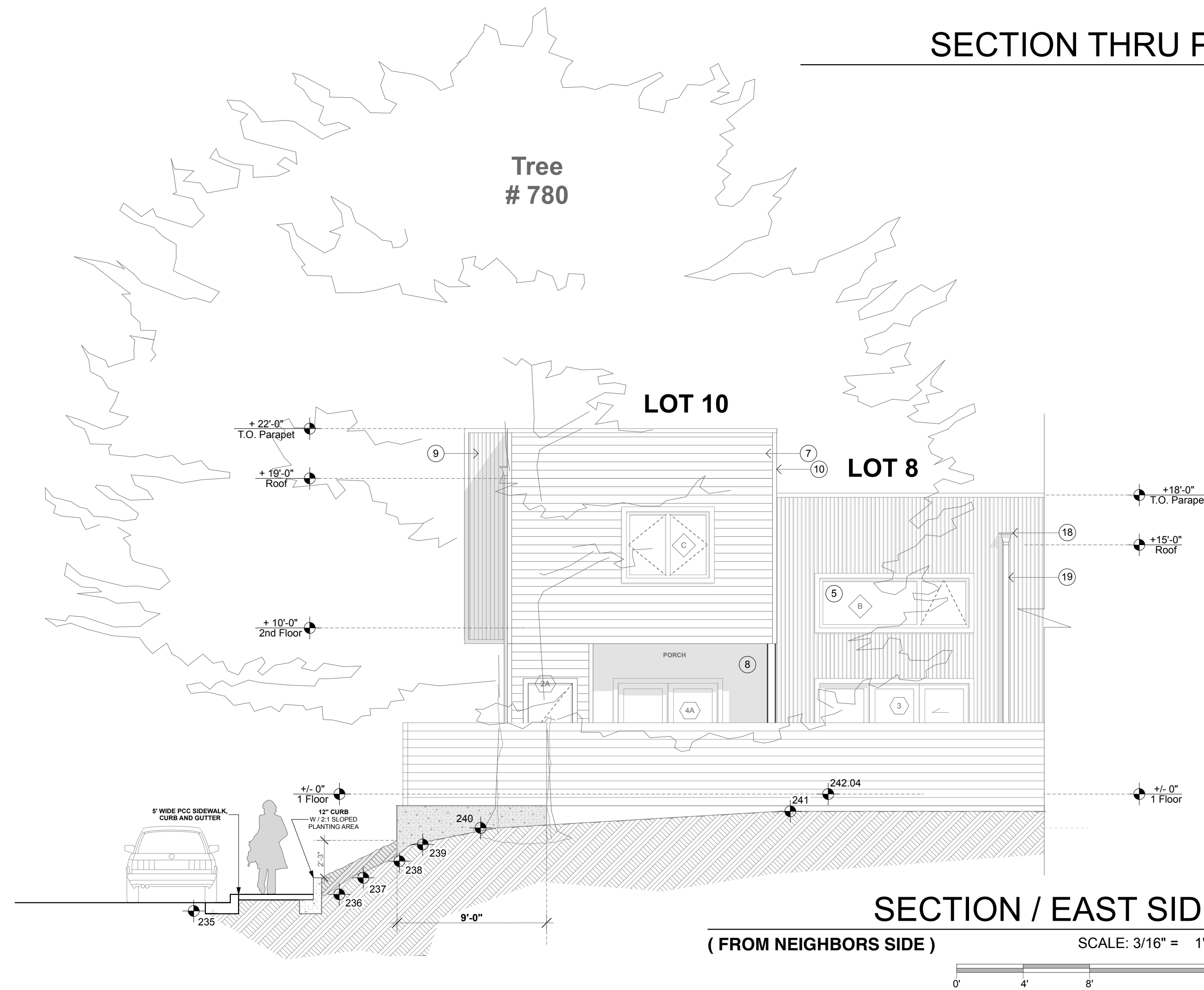
3



**SECTION THRU PROJECT / LOT 9 - LOT 10**

SCALE: 3/32" = 1'-0"

1



**SECTION / EAST SIDE**

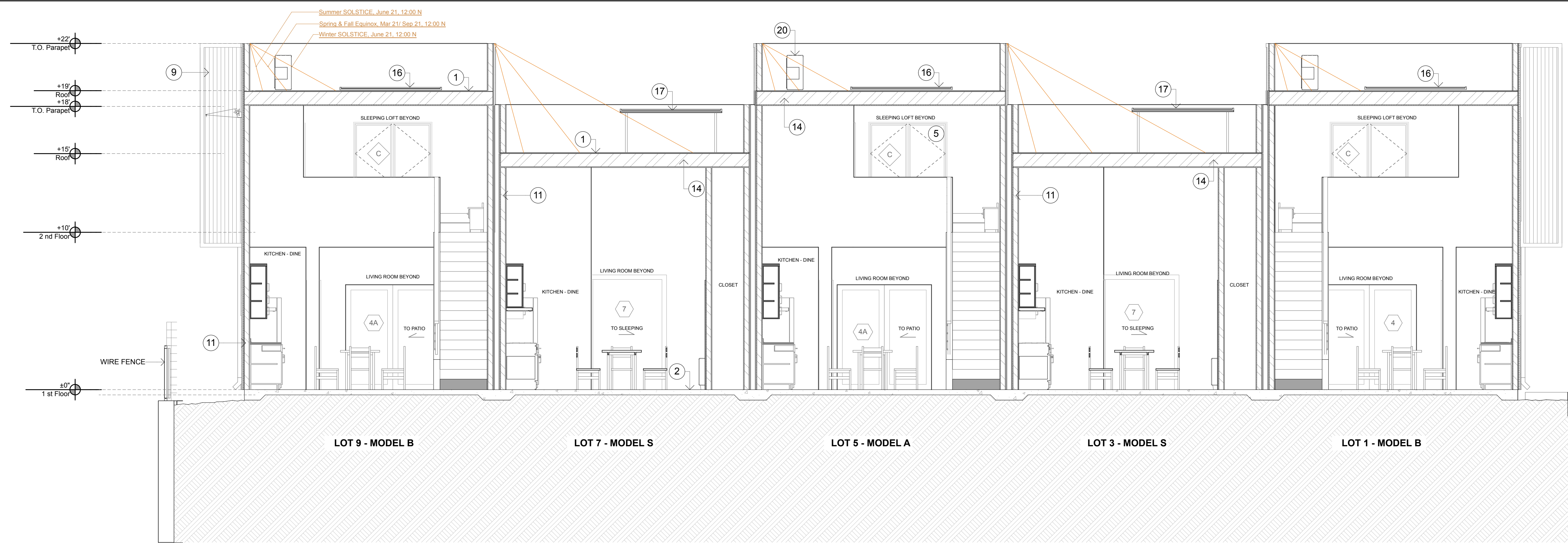
(FROM NEIGHBORS SIDE)

SCALE: 3/16" = 1'-0"

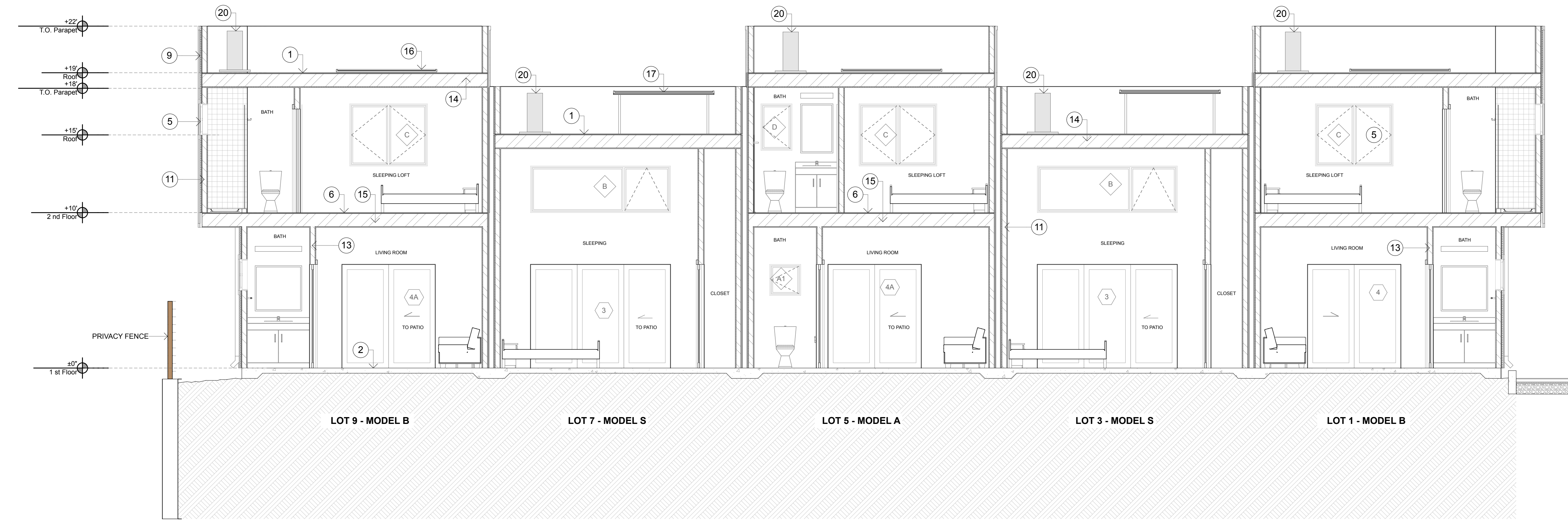
2

**KEYNOTES - SECTION (NOT ALL NOTES USED ON EVERY SHEET)**

- |  |  |   |
|--|--|---|
| 1. LOW-SLOPE SELF-ADHERING MEMBRANE ROOFING                  | 11. BLOWN-IN HIGH DENSITY OPTIMA FIBERGLASS INSULATION @ 2X4 WALLS TO FILL ENTIRE CAVITY TO ATTAIN R-15 MIN. | 17. SOLAR PANELS MOUNTED ON ELEVATED RACKS            |
| 2. FINISH FLOOR - STAINED AND SEALED CONCRETE SLAB           | 12. BLOWN-IN HIGH DENSITY OPTIMA FIBERGLASS INSULATION @ 2X6 WALLS TO FILL ENTIRE CAVITY TO ATTAIN R-19 MIN. | 18. RAINWATER OVERFLOW SCUPPER                        |
| 3. CONCRETE SLAB, SLOPED TO DRAIN (MAX. 2% IN ANY DIRECTION) | 13. R-19 SOUND BATT INSULATION @ BATHROOM AND BEDROOM WALLS  | 19. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE            |
| 4. WINDOW AWNING - PERFORATED STEEL                          | 14. FIBERGLASS THERMAL BATT INSULATION @ ROOF SLOPE BETWEEN JOISTS TO ATTAIN R-38 MIN.                       | 20. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP. |
| 5. ALUMINUM CLAD WOOD WINDOW                                 | 15. FIBERGLASS THERMAL BATT INSULATION @ FLOOR/CEILING JOISTS TO ATTAIN R-19 MIN.                            |   |
| 6. PLYWOOD SHEATHING OVER FLOOR JOISTS PER FRAMING PLAN      | 16. SOLAR PANELS MOUNTED AT ROOF LEVEL   |   |



**1 BUILDING 1 - LONGITUDINAL SECTION 1**  
 SCALE: 1/4" = 1'-0"  
 0 2 4 8 16



**2 BUILDING 1 - LONGITUDINAL SECTION 2**  
 SCALE: 1/4" = 1'-0"  
 0 2 4 8 16

**KEYNOTES - SECTION (NOT ALL NOTES USED ON EVERY SHEET)**

- |   |  |   |
|---|--|---|
| <ul style="list-style-type: none"> <li>1. LOW-SLOPE SELF-ADHERING MEMBRANE ROOFING</li> <li>2. FINISH FLOOR - STAINED AND SEALED CONCRETE SLAB</li> <li>3. CONCRETE SLAB, SLOPED TO DRAIN (MAX. 2% IN ANY DIRECTION)</li> <li>4. WINDOW AWNING - PERFORATED STEEL</li> <li>5. ALUMINUM CLAD WOOD WINDOW</li> <li>6. PLYWOOD SHEATHING OVER FLOOR JOISTS PER FRAMING PLAN</li> <li>7. PAINTED LAP SIDING</li> <li>8. SMOOTH PLASTER WITH METAL CHANNEL REGLET</li> <li>9. GALVANIZED CORRUGATED METAL SIDING</li> <li>10. PAINTED BOARD TRIM TYP.</li> </ul> | <ul style="list-style-type: none"> <li>11. BLOWN-IN HIGH DENSITY OPTIMA FIBERGLASS INSULATION @ 2X4 WALLS TO FILL ENTIRE CAVITY TO ATTAIN R-15 MIN.</li> <li>12. BLOWN-IN HIGH DENSITY OPTIMA FIBERGLASS INSULATION @ 2X6 WALLS TO FILL ENTIRE CAVITY TO ATTAIN R-19 MIN.</li> <li>13. R-19 SOUND BATT INSULATION @ BATHROOM AND BEDROOM WALLS</li> <li>14. FIBERGLASS THERMAL BATT INSULATION @ ROOF SLOPE BETWEEN JOISTS TO ATTAIN R-38 MIN.</li> <li>15. FIBERGLASS THERMAL BATT INSULATION @ FLOOR/CEILING JOISTS TO ATTAIN R-19 MIN.</li> <li>16. SOLAR PANELS MOUNTED AT ROOF LEVEL</li> </ul> | <ul style="list-style-type: none"> <li>17. SOLAR PANELS MOUNTED ON ELEVATED RACKS</li> <li>18. RAINWATER OVERFLOW SCUPPER</li> <li>19. GALVANIZED DOWNSPOUT - GSM ROUND SHAPE</li> <li>20. HVAC OUTDOOR HEAT PUMP UNIT MOUNTED ON ROOF, TYP.</li> </ul> |
|---|--|---|



**HEALTHY BUILDINGS**  
 630 AIRPARK ROAD, SUITE A  
 NAPA, CA 94558  
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 F. 707.676.8998  
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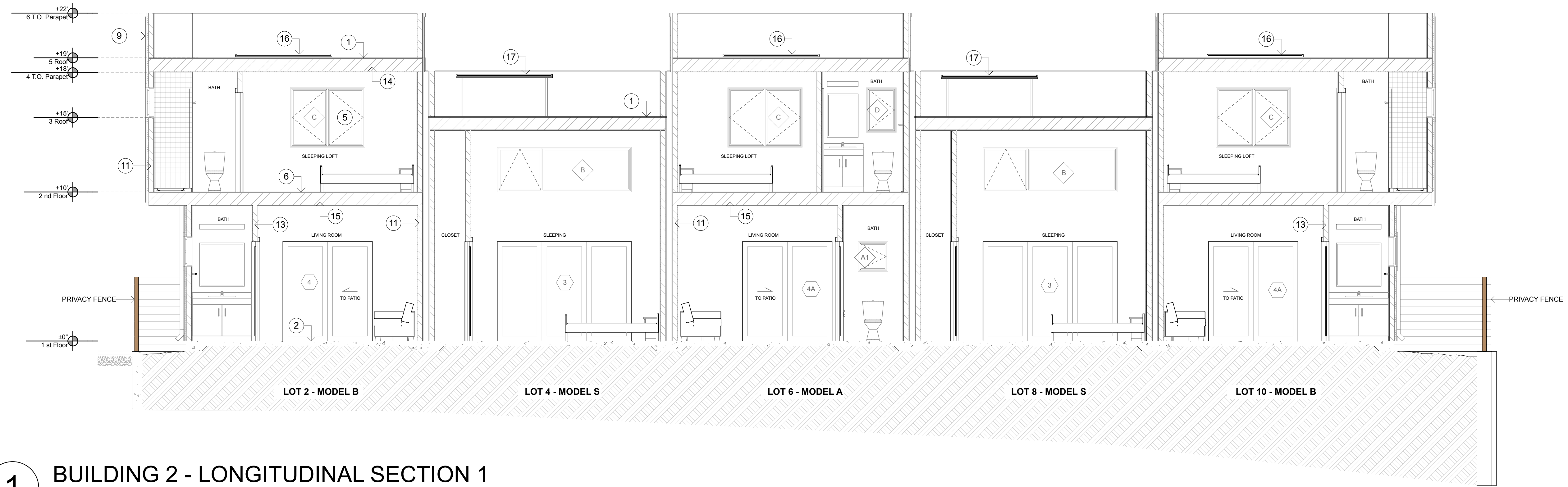
**HUNTLEY SQUARE**  
 MINI HOME VILLAGE  
 7960 BODEGA AVE,  
 SEBASTOPOL, CA 95472  
 A.P.N. 004-350-024-000

**SECTIONS - BUILDING 1**

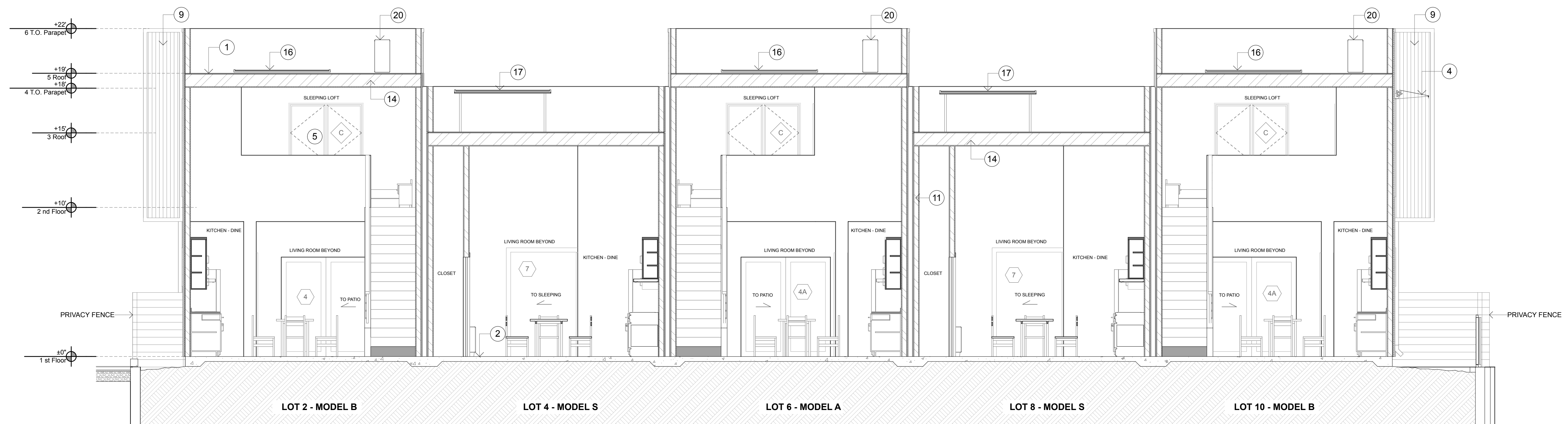
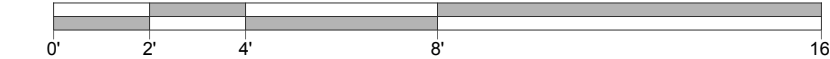
<b>ISSUE/REVISIONS:</b>
11-12-19
REV. 9-10-20 2
DATE: 3/29/22

DRAWN BY: ETR, AJL  
 SCALE: 1/4" = 1'-0"

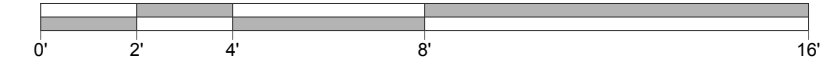
SHEETNO.:  
**A4.1**



**1 BUILDING 2 - LONGITUDINAL SECTION 1**  
SCALE: 1/4" = 1'-0"



**2 BUILDING 2 - LONGITUDINAL SECTION 2**  
SCALE: 1/4" = 1'-0"



**KEYNOTES - SECTION (NOT ALL NOTES USED ON EVERY SHEET)**

- |   |  |   |
|---|--|---|
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|---|--|---|



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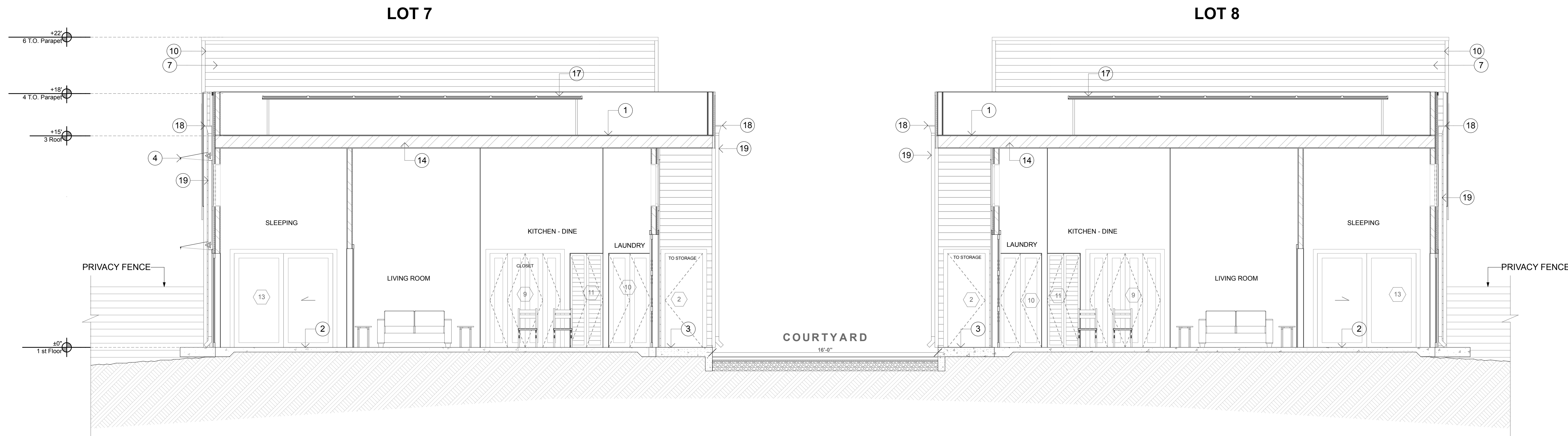
**SECTIONS - BUILDING 2**

**ISSUE/REVISIONS:**  
11-12-19  
REV. 9-10-20 2  
DATE: 3/29/22

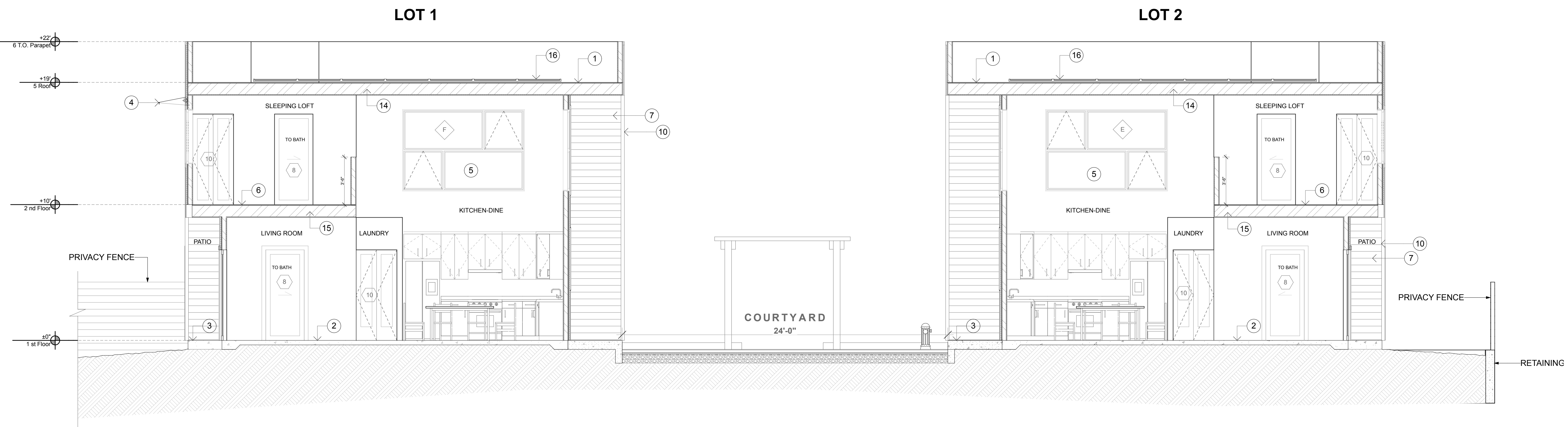
DRAWN BY: ETR, AJL  
SCALE: 1/4" = 1'-0"

SHEETNO.:

**A4.2**



**1 BUILDING 1 - 2 / TRANSVERSAL SECTION**  
 SCALE: 1/4" = 1'-0"



**2 BUILDING 1 - 2 / TRANSVERSAL SECTION**  
 SCALE: 1/4" = 1'-0"

**KEYNOTES - SECTION (NOT ALL NOTES USED ON EVERY SHEET)**

- |  |  |   |
|--|--|---|
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SMARTSIDE LAP SIDING 12" IN SIERRA REDWOOD SW7598



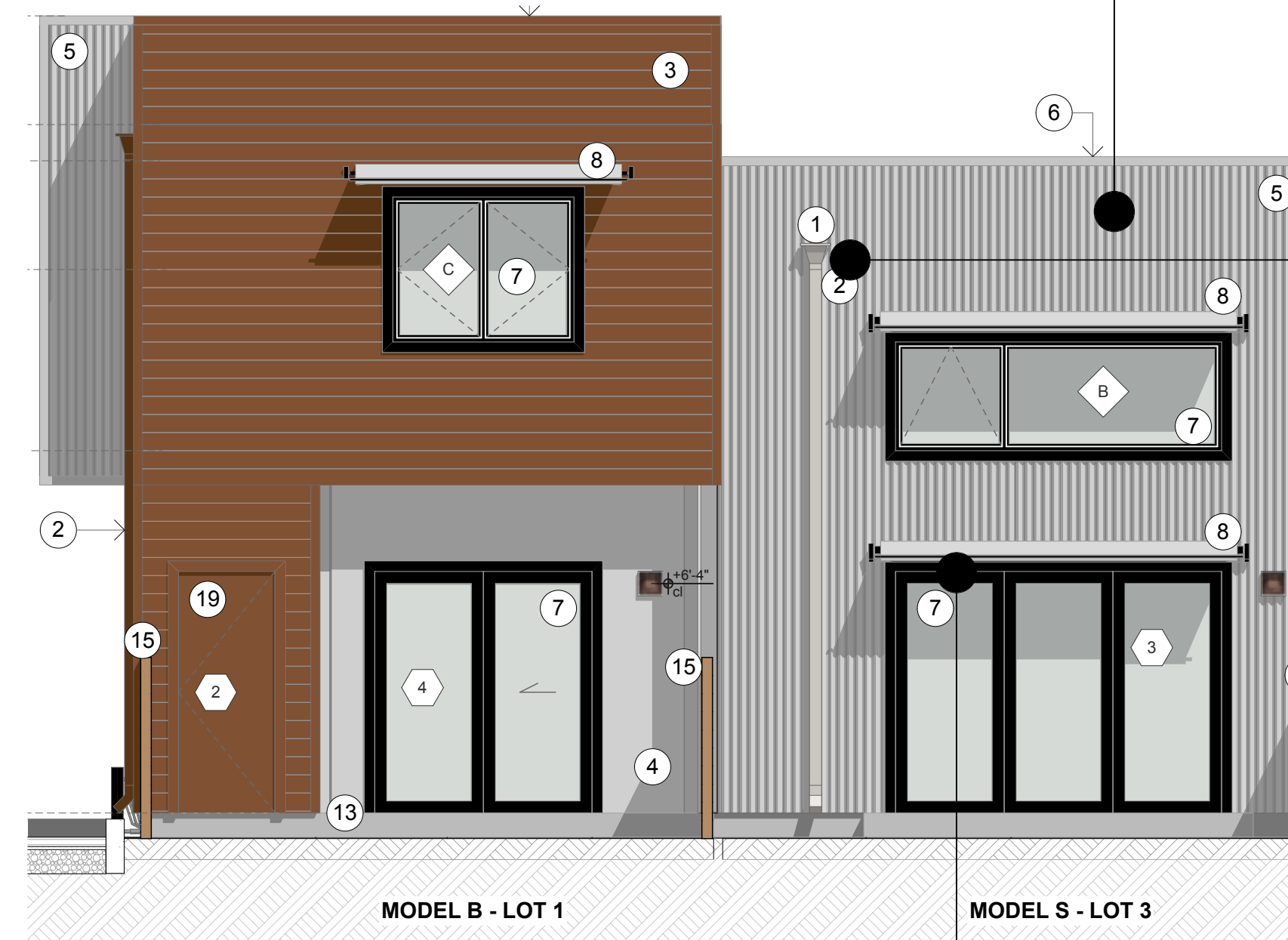
VERTICAL CORRUGATED GALVANIZED METAL SIDING



EXTERIOR WINDOWS & DOORS IN BLACK



EAST ELEVATION (Courtyard) - BLDG 2

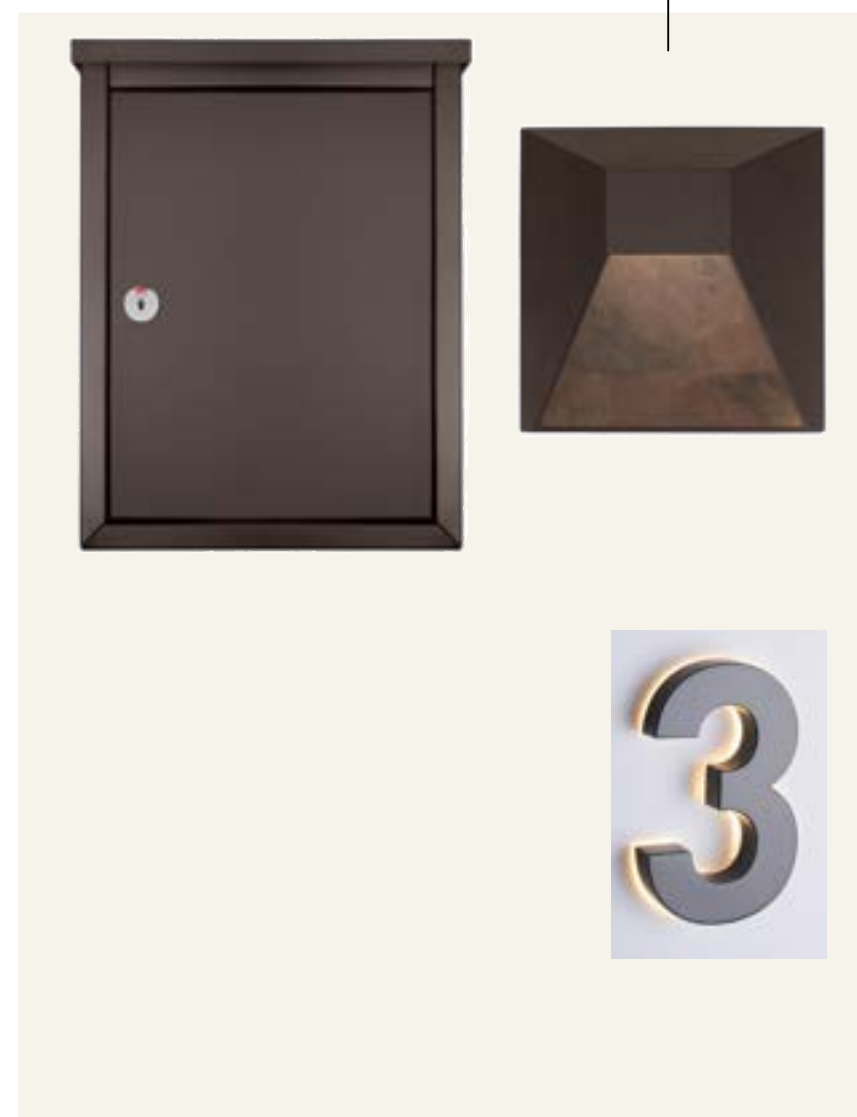


WEST ELEVATION (Backyard) - BLDG 1



GALVANIZED RAINWATER OVERFLOW SCUPPER AND ROUND SHAPE SPROUT

WALL MOUNT MAILBOX SEE 3 / M1.3



MODERN ESPRESSO LED OUTDOOR WALL LIGHT SEE 1 / M1.3

BACKLIT LED HOUSE NUMBER SEE 2 / M1.3

FACADE ACCENT: STUCCO WITH METAL CHANNEL REGLET IN SOFT WHITE SW7103



PERFORATED STEEL AWNINGS



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**MATERIAL BOARD**  
+ INSPIRATIONAL IMAGES

ISSUE/REVISIONS:

DATE: 3/29/22

DRAWN BY: DW

SCALE: NTS

SHEETNO.:

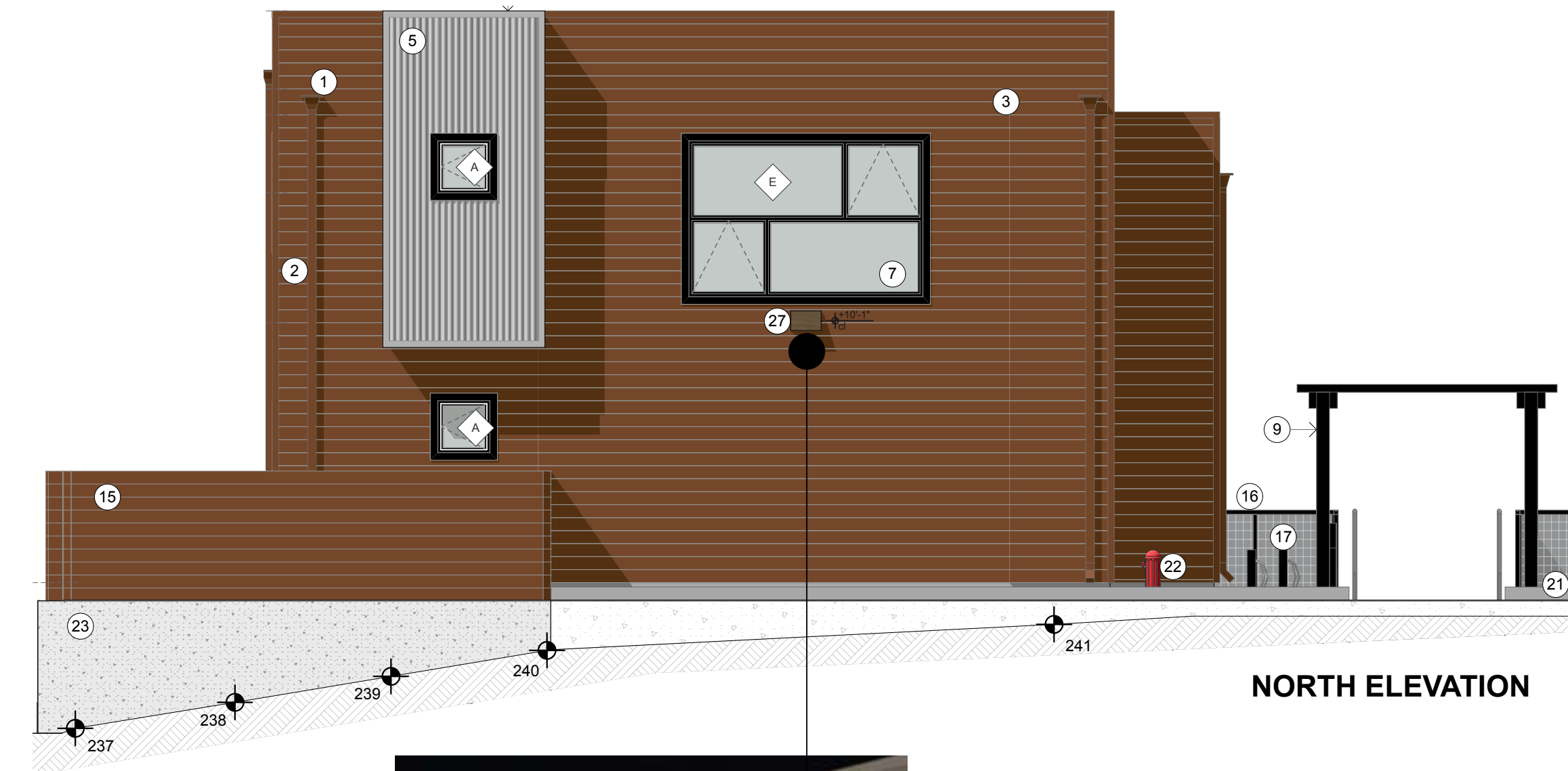
**M1.1**  
(NEW SHEET)



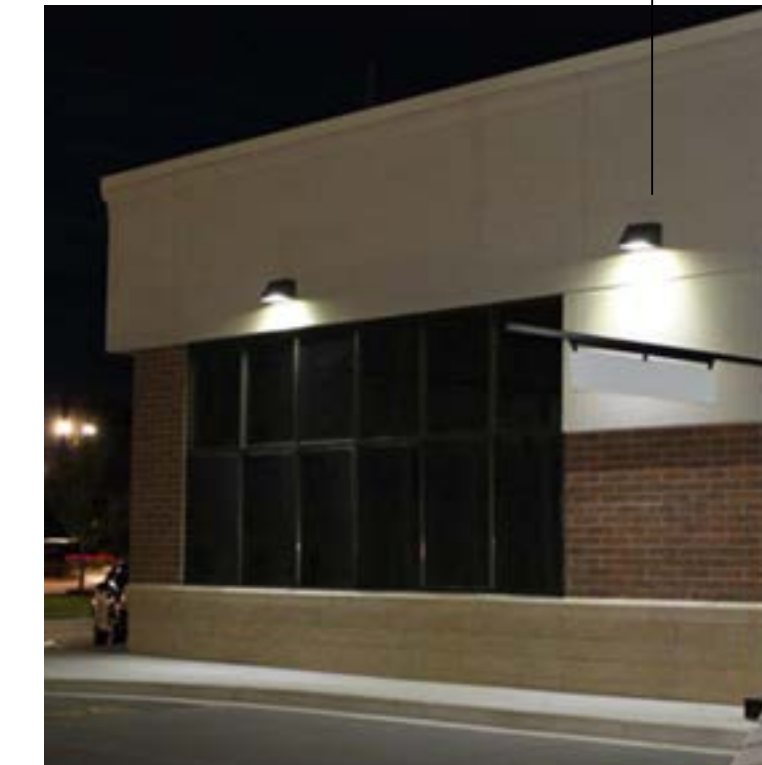
**5' TALL PRIVACY FENCE WITH HORIZONTAL WOOD BOARD AND STEEL POST ON RETAINING WALL - CLEAR REDWOOD**



**SOUTH ELEVATION**



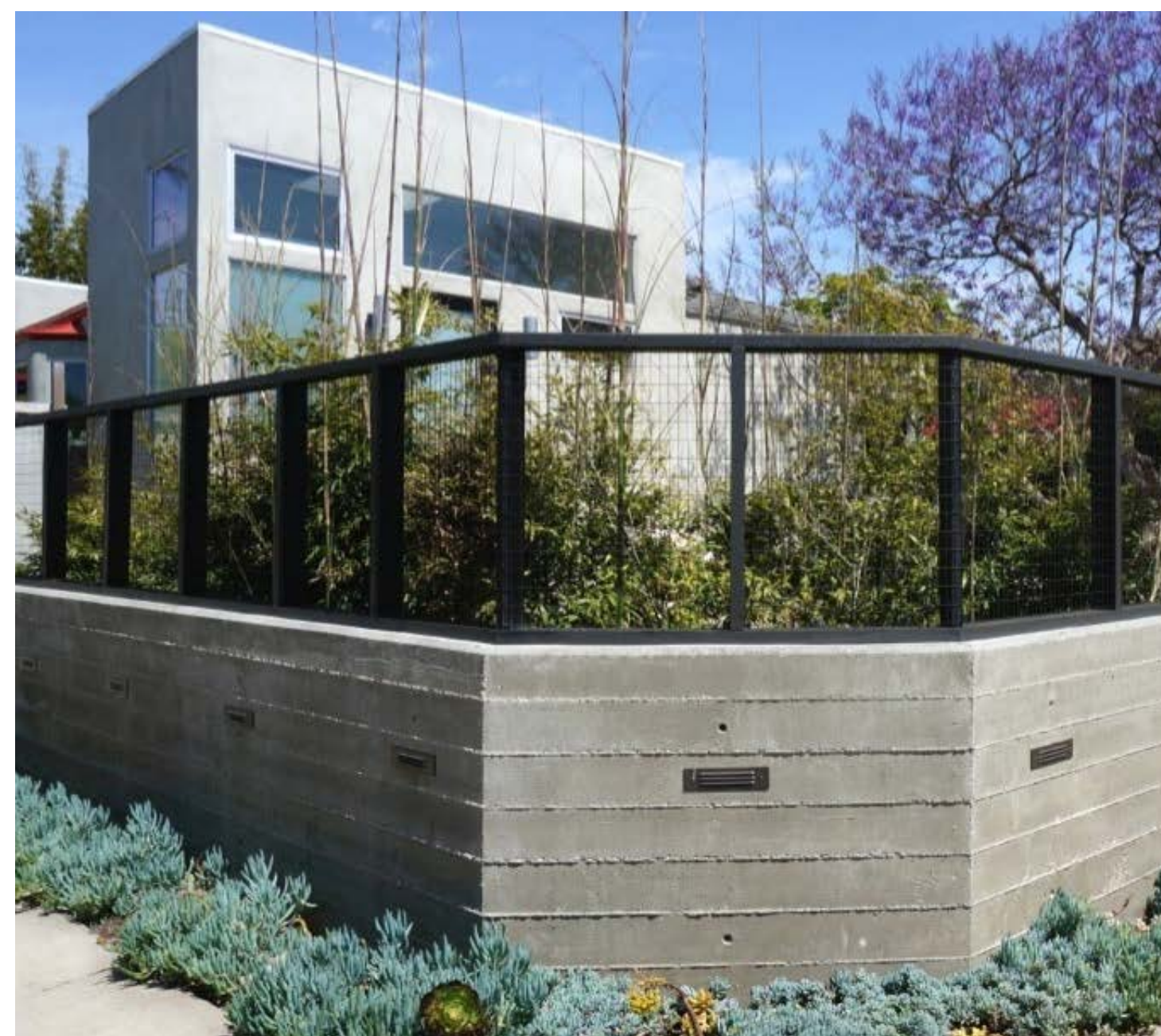
**NORTH ELEVATION**



**DUSK TO DAWN FULL CUTOFF LED WALL PACK LIGHT (MOTION SENSOR) - SEE 4/M1.3**



**EAST ELEVATION @ COURTYARD**



**42" TALL HOG WIRE FENCE WITH POWDER-COATED STEEL PANELS ON 2x12 HORIZONTAL ROUGH SAWN BOARD FORM CONCRETE RETAINING WALL**



**SOLAR BOLLARD SEE 5/M1.3**



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**MATERIAL BOARD**  
 + INSPIRATIONAL IMAGES

**ISSUE/REVISIONS:**  
 DATE: 3/29/22

**DRAWN BY:** DW, MTN  
**SCALE:** NTS

**SHEETNO.:**  
**M1.2**  
 (NEW SHEET)





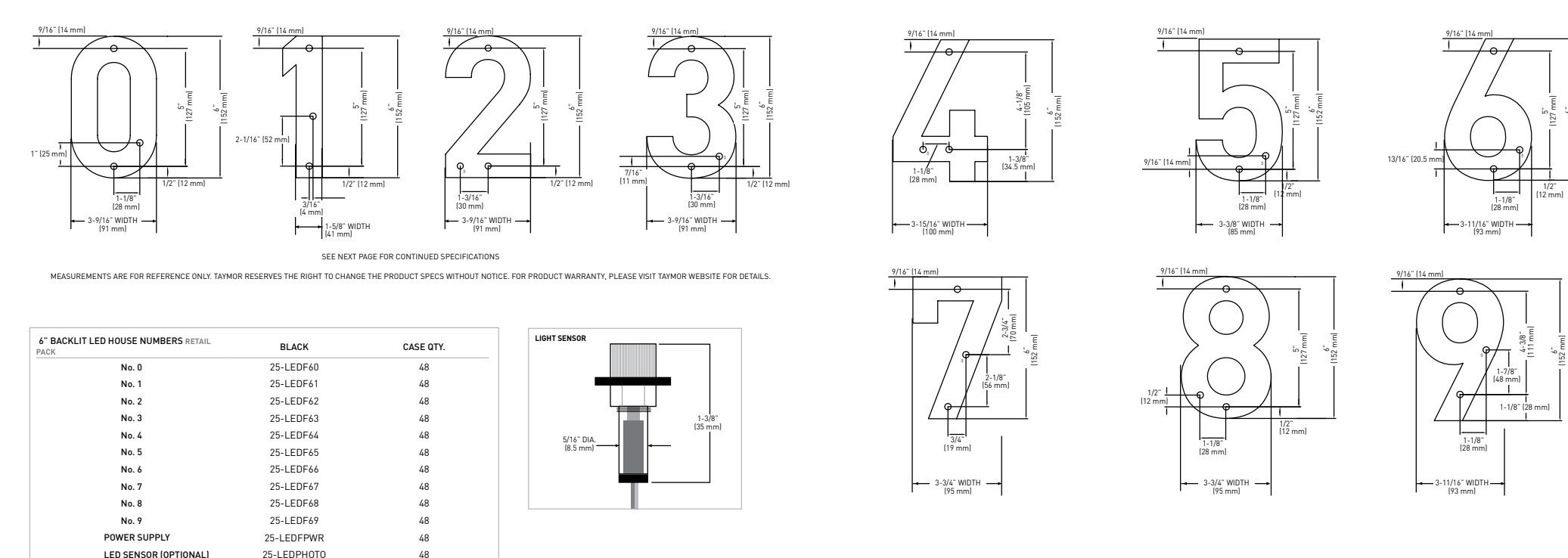
**Product Number:** P225445 or 635116  
**Manufacturer:** Kazoo Lighting  
**Model Number:** EW53908-E5  
**Collection:** Dawn  
**Manufacturer Finish:** Espresso  
**Shade Color:** None  
**Total Wattage:** 10 w.  
**Voltage Type:** Line Voltage  
**Average Rated Life:** 50,000 hrs  
**Dimmable:** With Electronic Dimmer  
**Height:** 8 in.  
**Width:** 8 in.  
**Depth:** 3.5 in.  
**Wattage:** 10  
**Bulb Type:** LED  
**Base Type:** Integrated LED  
**Number Of Bulbs:** 1  
**Bulb Included:** Yes  
**ADA Compliant:** Yes  
**Material:** Metal

**Certification Agencies:** ETL  
**Wet Location:** Yes  
**Damp Location:** Yes  
**Harsh Environ/Coastal:** No  
**Kelvin Temperature:** 3000  
**Lumens:** 169  
**Color Rendering Index:** 80  
**Made In America:** No  
**Dusk To Dawn:** No  
**Motion Sensor:** No  
**Title 24:** No

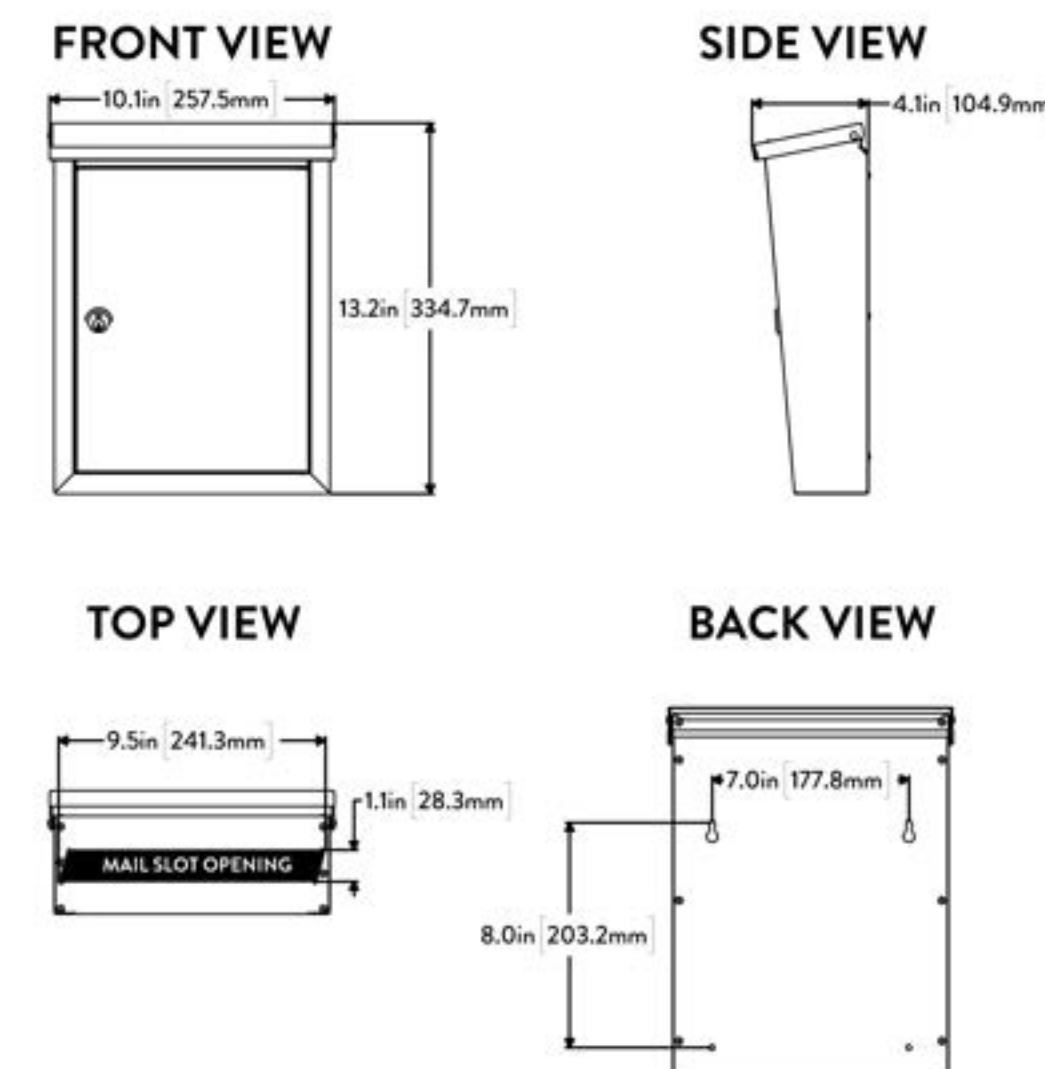
**1 EXTERIOR LIGHT**

**Taymor PRODUCT SPECIFICATIONS BACKLIT LED HOUSE NUMBERS**

**FEATURES**  
 > COME UP TO 3 HOUSE NUMBERS  
 > SOLID ALUMINUM HOUSING WITH POLYESTER POWDER COATING  
 > WHEN WHITE, COOL-LED LIGHT TECHNOLOGY LASTS A MINIMUM OF 50,000 HOURS (11 YEARS @ 11 HOURS PER DAY)  
 > PROTECTS AGAINST HACKING FOR BROTHER, SUPPOSED AND UNIFORM LIGHT DISPERSION  
 > VISIBLE RESISTANT  
 > OPERATING TEMPERATURE: -30°F TO +140°F  
 > PIN MOUNTED FOR EASY INSTALLATION AND NO VISIBLE HARDWARE  
 > HORIZONTALLY ALIGNED MOUNTING HOLES FOR EASIER INSTALLATION  
 > SMOOTH PATENTED SURFACE FOR EASY CLEANING AND MAINTENANCE  
 > BUILT-IN DRAIN HOLE TO PREVENT WATER ACCUMULATION  
 > OPTIONAL LIGHT SENSOR SOLD SEPARATELY  
 > POWER SUPPLY SOLD SEPARATELY  
 > OPTIONAL LIGHT SENSOR SOLD SEPARATELY  
 > ONE YEAR LIMITED WARRANTY



**2 ADDRESS NUMBER**



Wall Mount Mailbox | Model 2580

**BODY:** 24 gauge (0.6 mm) galvanized steel construction  
**ROOF:** 22 gauge (0.8 mm) galvanized steel construction  
**FINISH:** Fully powder coated  
**LOCK:** Stainless steel cam lock with lock/unlocked indicator and two keys  
**ITEM NUMBER:** 2580RZ-10  
**COLOR:** Rubbed bronze



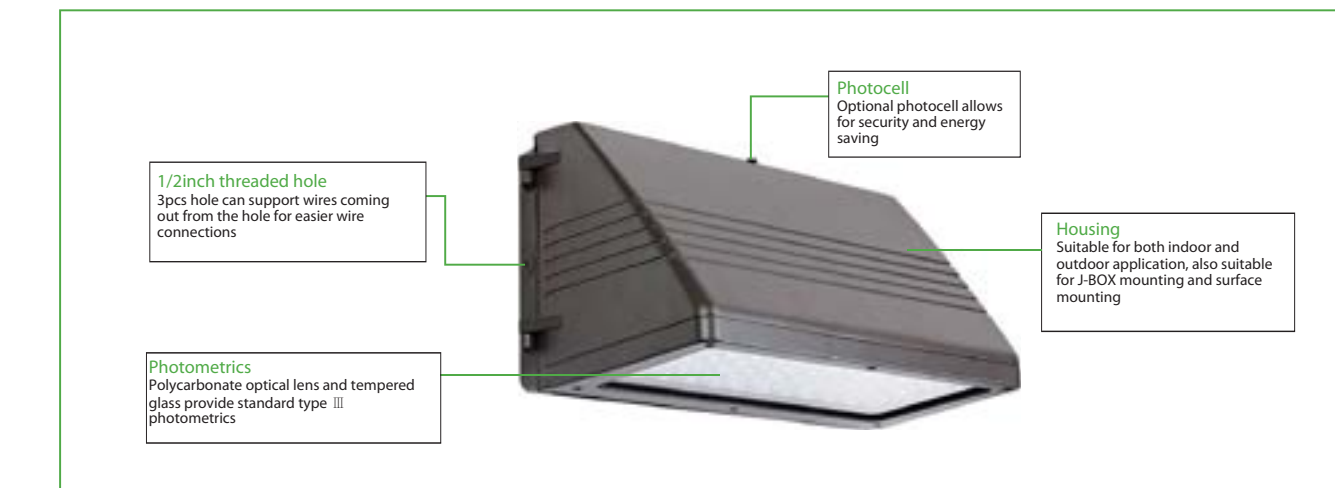
**3 WALL MOUNT MAILBOX**

INSTALLATION TEMPLATE INCLUDED

**FULL CUTOFF LED WALL PACK**

- Suitable for WET location/Outdoor
- Lumen output from 3900-18000lm, to replace 100-600W MH
- Full Cutoff and compliance to Dark Sky requirement
- Type III polycarbonate optical lens with UV stabilizers
- Built-in UL class 2 driver, optional photocell
- Available in durable polyester dark bronze
- UL/cUL wet location listed and DLC qualified

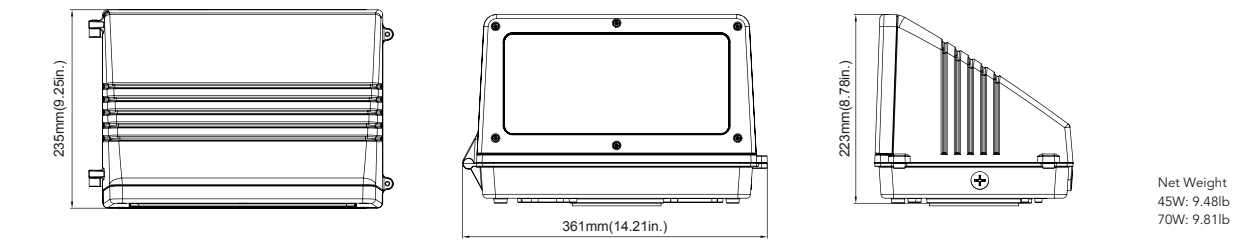
Medium Size: 27W/45W/70W



PART #:	Wattage	Lumens	CCT	Voltage	Weight	DLC Model #
RDWP02020274KNNWMLC	27W	3900 LM	4000K	120-277	8.5 lb	PVZ6NJB
RDWP02020275KNNWMLC	27W	3950 LM	5000K	120-277	8.5 lb	PSMF1MQL
RDWP02020454KNNWMLC	45W	6400 LM	4000K	120-277	9.5 lb	PPOW77FN
RDWP02020455KNNWMLC	45W	6450 LM	5000K	120-277	9.5 lb	PJMJZRKC
RDWP02020704KNNWMLC	70W	9700 LM	4000K	120-277	9.8 lb	P8957J9X
RDWP02020705KNNWMLC	70W	9800 LM	5000K	120-277	9.8 lb	PMHSQJNK
RDWP02020904KNNWMLC	90W	12,300 LM	4000K	120-277	12.9 lb	P9161Q58
RDWP02020705KNDWNMLC	90W	12,300 LM	5000K	120-277	12.9 lb	PNT1GV99
RDWP0221354KNNWMLC	135W	18,000 LM	4000K	120-277	13 lb	PH2M5I38
RDWP0221355KNNWMLC	135W	18,000 LM	5000K	120-277	13 lb	P8926EUB

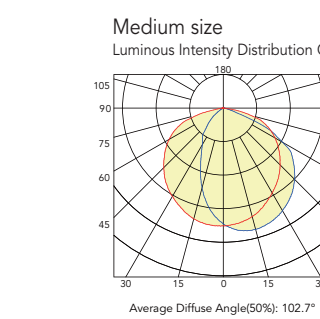
* Field Install Photocell Option	
Power Factor:	> 0.9
THD:	≤ 18%
CRI:	82
Operating Temp:	-40°F to 122°F
Lifetime:	> 50,000 hr
Dimensions:	See Diagram with Mount
Warranty:	5 Years
Certifications:	UL Wet Certified, DLC

**DIMENSIONS:**  
unit: inch/mm  
Medium Size



Brand	Konlite	DLC Part #	MWP0270W27V50KDY
Warranty	5 Years	UPC	717360774389
Input Voltage	120-277V	Dimmable	N/A
Input Wattage	70W	Equal to	300-400W MH
Delivered Lumens	9,800LM	CRI	>82
Efficacy	140 LM/W	Available CCT	5000K
Rated Life	>50,000 Hrs	THD	<18%
Power Fact	>0.9	Control	Dusk To Dawn Photocell
Operating Temp	-40°F to 122°F	Dimension	9.25"x14.21"x7.99"(27W/45W/70W)
Certifications	UL Wet Locations, DLC	Weight	9.8 Lbs

**PHOTOMETRICS**



RevolveLED Toll Free: 877-718-0806 | Web: www.revolveled.com | E-mail: info@revolveled.com

**4 DUSK TO DAWN LIGHT**

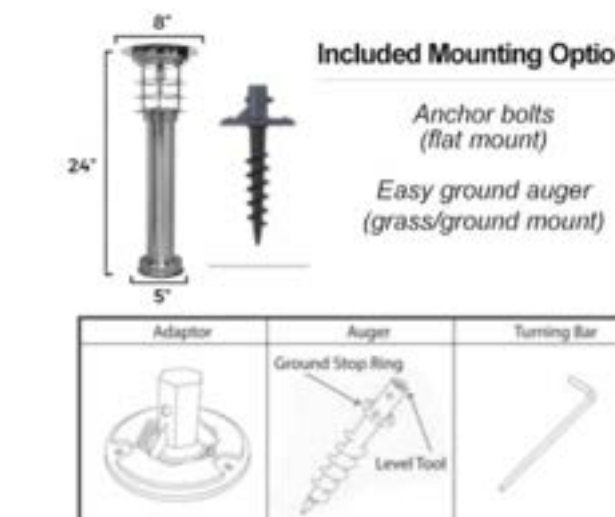
SCALE: 1" = 1'-0"



- Model Number: GS-214
- Automatic On/Off
- LED Color: 2700K
- Lumens: 100 low - 150 high
- Lights: 11 Super Bright LED's
- Battery: Li-ion
- Voltage: 3.2V
- Battery Capacity: 1000 mAh
- Solar Panel: Mono-Crystalline Solar Cell
- Light Duration: 12 Hours
- Measurements : 8" x 8" x 24"
- 1 Year Manufacturer Warranty
- It weighs 7lbs
- The LED temp is 2700K.

**Product Mounting Options**

Features both high and low settings and mounting options for both grass and flat surfaces.



**5 SOLAR BOLLARD**

SCALE: 6" = 1'-0"



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 A.P.N. 004-350-024-000

**SPECIFICATIONS**

ISSUE/REVISIONS:

DATE: 3/29/22

DRAWN BY: MTN

SCALE: NTS

SHEET NO.:

**M1.3**  
(NEW SHEET)

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SEBASTOPOLE, CA 95472  
A.P.N. 004-350-024-000

**SIGN DETAIL**  
+ SPECIFICATIONS

ISSUE/REVISIONS:

DATE: 3/29/22

DRAWN BY: MTN

SCALE: 1/2" = 1' - 0"

SHEETNO.:

**S1.0**  
(NEW SHEET)



**1** BODEGA AVENUE ELEVATION - South  
SCALE: 1/2" = 1'-0"

**SIGN DETAILS**

LETTER STYLE : CENTURY GOTHIC  
COLOR : BLACK  
MATERIAL : CONCRETE RELIEF  
LIGHT : GROUND MOUNTED



Light up your house, business, signs, trees or pretty much any feature with this super high-output solar spot light. This is by far the brightest solar spot light we have tested. Included is a 1/2" Heavy Duty PVC stake to secure the light into the ground.

This unit is 100% wireless and easy to install. Simply stick it into the ground in an area of your yard that receives sufficient daytime sunlight, point it where you want and you're done!

- Brightness: 125 Lumens
- Color: 5700K Cool White
- Operating Time: 8-10 Hours
- Measurements: Height: 10" X 8"
- 1X Light
- 1X Solar Panel
- 1X Yard Stake
- 1 Year Manufacturer Warranty

**HIGH OUTPUT SOLAR SPOT LIGHT**

OUTDOOR SOLAR STORE

**2**